

CITY OF



## City Council Special Meeting Agenda

**April 17, 2023 – 5:00 PM**

City Council Chambers - Yucaipa City Hall  
34272 Yucaipa Blvd., Yucaipa, California

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THE CITY OF YUCAIPA COMPLIES WITH THE AMERICANS WITH DISABILITIES ACT OF 1990. IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING (PURSUANT TO 28 CFR 35.102.35.104 ADA TITLE II), PLEASE CALL THE CITY CLERK'S DEPARTMENT AT (909) 797-2489 AT LEAST 48-HOURS PRIOR TO THE MEETING.

**CEQA STATEMENT:** UNLESS STATED OTHERWISE ON THE AGENDA, EVERY ITEM ON THE AGENDA IS EXEMPT FROM CEQA GUIDELINES SECTIONS 15060(c), 15061(b)(3), 15273, 15378, 15301, 15323 AND/OR PUBLIC RESOURCE CODE SECTION 21065.

PURSUANT TO GOVERNMENT CODE SECTION 54957.5, ANY DISCLOSABLE PUBLIC RECORDS RELATED TO AN OPEN SESSION ITEM ON A REGULAR MEETING AGENDA AND DISTRIBUTED BY THE CITY OF YUCAIPA TO ALL OR A MAJORITY OF THE CITY COUNCIL, LESS THAN 72 HOURS PRIOR TO THAT MEETING, ARE AVAILABLE FOR PUBLIC INSPECTION AT YUCAIPA CITY HALL, 34272 YUCAIPA BOULEVARD, YUCAIPA, CA 92399, DURING NORMAL BUSINESS HOURS.

IF YOU WISH TO ADDRESS THE COUNCIL DURING THE MEETING, PLEASE COMPLETE A SPEAKER'S FORM AND RETURN IT TO THE CITY CLERK PRIOR TO THE BEGINNING OF THE MEETING. THERE IS A THREE-MINUTE TIME LIMIT FOR SPEAKING.

**PUBLIC COMMENT VIA MAIL OR EMAIL must be submitted no later than three (3) business hours prior to the meeting at which the commenter seeks to provide comment.** Public comment may be submitted via U.S. Mail to the City Clerk at 34272 Yucaipa Blvd., Yucaipa, CA 92399 or via email to [publiccomment@yucaipa.org](mailto:publiccomment@yucaipa.org). All mail and email correspondence will be archived, distributed to City Council, and retained as part of the public record; however, submissions will not be read out loud during the meeting. The subject line should specify "Public Comment" and include the date of the meeting.

**WRITTEN PUBLIC COMMENT SUBMITTED ON SPECIFIC AGENDA ITEMS** will be made available to the public pursuant to the City of Yucaipa policy regarding the distribution of written public comments at City Council and Commission meetings, which may be accessed on the City's website at <https://yucaipa.org/agendas-minutes/>. Individuals should be aware that comments provided, including personal information, may be disclosable pursuant to the California Public Records Act.

**LIVE AUDIO STREAM/RECORDING OF CITY COUNCIL MEETINGS.** Members of the public may listen to city council meetings live at: <https://yucaipa.org/live>.

**CALL TO ORDER**

**PLEDGE OF ALLEGIANCE**

**ROLL CALL**

**PUBLIC HEARING**

The order of Business for the Public Hearing Shall Be:

- A. Open Public Hearing
- B. Staff Presentation
- C. Applicant/Representative Presentation (if necessary)
- D. Public Comments
- E. Applicant Rebuttal (if necessary)
- F. Public Hearing Closed
- G. Council Discussion
- H. Council Motion and Vote

**SPEAKERS ARE ENCOURAGED TO BE BRIEF AND REMAIN WITHIN THE ESTABLISHED TIMEFRAME OF THREE (3) MINUTES. ONCE THE PUBLIC HEARING HAS BEEN CLOSED, NO FURTHER TESTIMONY WILL BE TAKEN.**

P. 4 1. **SUBJECT:** PREMIUM LAND DEVELOPMENT ON BEHALF OF YUCAIPA 52, LLC

CASE NO. 22-150/PDP/FDP/TTM 20375: A PLANNED DEVELOPMENT PROJECT THAT INCLUDES A PRELIMINARY DEVELOPMENT PLAN AND TENTATIVE TRACT MAP (TTM 20375)/FINAL DEVELOPMENT PLAN FOR THE PROPOSED SERRANO ESTATES PROJECT, WHICH WILL ESTABLISH 51 SINGLE FAMILY RESIDENTIAL LOTS ON PARCELS GREATER THAN 12,000 SQUARE FEET AND AVERAGING OVER 20,000 SQUARE FEET, OF WHICH 41 OF THE LOTS WILL BE AGE RESTRICTED TO THOSE OVER 55, SEVERAL LETTERED LOTS FOR WATER QUALITY BASINS, AND A COMBINED 12-ACRE AREA AS PART OF A “LOT 52” AND REMAINDER LOT THAT WOULD INCLUDE SPACE FOR VINEYARDS, AND 13 ACRES OF PERMANENT OPEN SPACE, LOCATED ON THREE EXISTING PARCELS TOTALING 52 ACRES ALONG THE EAST SIDE OF YUCAIPA RIDGE ROAD DIRECTLY SOUTH OF THE CITY LIMITS TO UNINCORPORATED SAN BERNARDINO COUNTY. APNS: 0320-161-08, 09, AND 28.

**RECOMMENDATION:** That the City Council conduct a public hearing and consider the Planning Commission’s recommendation to:

- 1. Adopt Resolution No. 2023-03, approving a Preliminary Development Plan for the Serrano Estates Project; and
- 2. Approve Final Development Plan/Tentative Tract Map No. 20375 (Case No. 22-150/FDP/TTM 20375), subject to the Conditions of Approval as contained in this Agenda Report; and



3. Adopt the Findings as contained in this Agenda Report; and
4. Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and
5. Direct staff to file a Notice of Determination.

**ADJOURNMENT**

		<b>AFFIDAVIT OF POSTING</b>
State of California	}	
County of San Bernardino	} ss.	
City of Yucaipa	}	
<p>I, Ana V. Sauseda, City Clerk of the City of Yucaipa, California, do hereby declare that the foregoing agenda was posted on 04/13/2023, at least twenty-four (24) hours prior to the meeting per Government Code 54956, at the following locations:</p> <p style="text-align: center;">Yucaipa City Hall, 34272 Yucaipa Boulevard, Yucaipa, California City of Yucaipa website <a href="http://www.yucaipa.org">www.yucaipa.org</a></p> <p style="text-align: right;">Ana V. Sauseda, CMC City Clerk</p>		

**CITY OF YUCAIPA  
AGENDA REPORT**

**TO:** Honorable Mayor and City Council

**FROM:** Fermin Preciado, Director of Development Services/City Engineer   
Benjamin J. Matlock, Planning Manager/City Planner 

**FOR:** Special City Council Meeting of April 17, 2023

**SUBJECT:** Premium Land Development on behalf of Yucaipa 52, LLC

Case No. 22-150/PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lots on parcels greater than 12,000 square feet and averaging over 20,000 square feet, of which 41 of the lots will be age restricted to those over 55, several lettered lots for water quality basins, and a combined 12-acre area as part of a "Lot 52" and remainder lot that would include space for vineyards, and 13 acres of permanent open space, located on three existing parcels totaling 52 acres along the east side of Yucaipa Ridge Road directly south of the City limits to unincorporated San Bernardino County. APNs: 0320-161-08, 09, and 28.

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**RECOMMENDATION:**

That the City Council conduct a public hearing and consider the Planning Commission's recommendation to:

1. Adopt Resolution No. 2023-03, approving a Preliminary Development Plan for the Serrano Estates Project; and
2. Approve Final Development Plan/Tentative Tract Map No. 20375 (Case No. 22-150/FDP/TTM 20375), subject to the Conditions of Approval as contained in this Agenda Report; and
3. Adopt the Findings as contained in this Agenda Report; and
4. Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and,
5. Direct staff to file a Notice of Determination.

**BACKGROUND:**

*Surrounding Land Uses:*

Area Land Use Designations; Improvement Levels; and existing Land Uses:

Site:	RL-1 (Rural Living, 1-acre minimum (gross) lot size)	IL-3	Vacant
North:	Resource Conservation District – 40 acre minimum (San Bernardino County)	N/A	Winery/Vineyard and Single Family Residential
South:	RL-1	IL-3	Vacant
East:	RL-1	IL-3	Vacant
West:	RL-1	IL-3	Single Family Residential

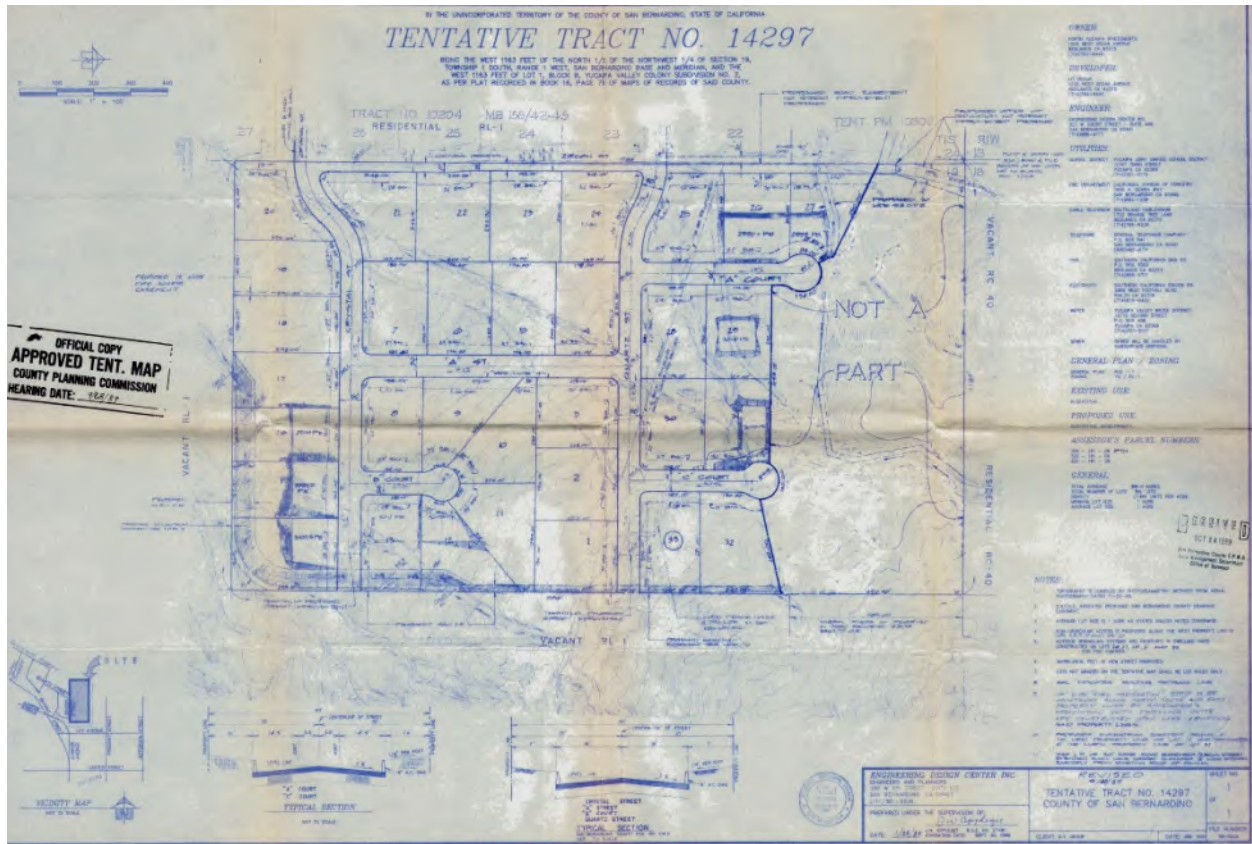
**DISCUSSION:**

**Location and Setting:**

The Project site is located on the east side of Yucaipa Ridge Road, north of Ivy Avenue, directly adjacent to Quartz Street and Crystal Street. The Project site is currently vacant undeveloped land, with an un-named creek located in the southeast corner of the site that connects with Spoor Creek approximately 300 feet south of the Project’s southerly property line. There is a notable change of elevation from the southern edge of the site, at 2,920 feet above sea level, to 3,090 along a ridge located near the northern property line. The site is designated Rural Living, one-acre minimum (RL-1) and the Custom Home (CH) Overlay District and is surrounded by properties also designated RL-1 within the City of Yucaipa, and is adjacent to unincorporated San Bernardino County to the north. The most adjacent property to the north is the location of the North Cork Vineyard and Winery, which includes planted vines, a production building for the fermentation of grapes, and an outdoor venue for wine tasting activities and events. The property also includes a single-family residence.

**Prior Approvals:**

The subject site has previously held land use entitlements for a residential subdivision dating back to September 1989, when the County of San Bernardino approved Tentative Tract 14297 for 33 residential lots of one gross acre or greater in two phases on 39 acres, with an 11.9-acre remainder parcel. After the expiration of that original project, subsequent entitlements were submitted for the same project, with the most recent approvals following the Planning Commission’s action of February 19, 2003, to entitle the map. In 2008, 2009, 2011, and 2013, the California Legislature passed AB 116, AB 208, AB 333 and SB 1185, respectively, in response to market conditions caused by the recession, which provided automatic State extensions to all active Tentative Maps, Vesting Tentative Maps, and Tentative Parcel Maps. The actions of the State resulted in a cumulative total of seven additional years to the expiration date of an active map. As a result of the previously-approved 36 month administrative extension and subsequent State extensions, the expiration date for TTM 14297 was March 1, 2016. The final two-year time extension for the project was approved at the City Council Meeting of March 28, 2016.



**Case No. 20-136:**



The proposed Project was reviewed at the regular Planning Commission Meeting of August 17, 2022. As part of the hearing, a total of 23 speakers provided comment, with 3 in favor of the Project and its efforts to support a viticultural industry, and 20 comments received in opposition to the Project over concerns with the proposed unit count and lot sizes, and related impacts that may occur with approval of the Project.

In their discussion, three commissioners identified their concerns with the proposed land use plan and the transition between the existing neighborhood and the proposed Project, while others noted that the overall design and approach help meet a variety of goals through the preservation of open space and the establishment of new vineyards. Several Planning Commissioners suggested that additional elements could be incorporated into the Preliminary Development Plan standards in order to help soften the transition between the existing neighborhood and the proposed residences, including a larger landscape buffer between Yucaipa Ridge Road and a proposed block wall. It should be noted that some of these suggestions also aligned with staff's general feedback to the developer during the processing of the application. Following a lengthy discussion, a motion was made to recommend approval of the Project that ultimately resulted in 3 votes in favor, 4 against, therefore constituting a recommendation for denial of the Project pursuant to Section 83.030210 of the Yucaipa Development Code.

As a result of the Planning Commission's recommendation for denial of case No. 20-136, the applicant filed an appeal application on August 23, 2022. As part of the appeal, the applicant's representative contended that the Planning Commission went beyond its purview and ultimately did not review the Project from a planning lens, and further asserted that the Commission was uninformed of the Planned Development process. It should be noted that the process requirements were provided in the Planning Commission agenda report and during staff's verbal presentation. Prior to the Council meeting, City staff reiterated some of the design recommendations from the Planning Commission, and suggested that the applicant explore a concept that would address those key issues.

The appeal was then heard by the City Council at their regular meeting of September 12, 2022. In their discussion, the City Council reiterated some of the design concerns with the proposed Planned Development application, and provided several different recommendations on the design that aligned with the initial feedback provided by the Planning Commission. During applicant rebuttal, the applicant noted that they would be willing to make such changes; however, the City Council ultimately voted to deny the Planned Development as it was proposed and provided feedback to the applicant to consider the recommendations that were provided should they decide to file a new application.

**Case No. 22-150 Planning Commission Recommendation:**

Following the denial of Case No. 20-136, the Project applicant submitted a revised Planned Development and Tentative Tract Map application that was intended to address the site design comments and recommendations offered by the Planning Commission and City Council. This revised Project, which is further discussed below, was reviewed at the regular Planning Commission hearing of March 15, 2023. During the hearing, the Planning Commission reviewed the facts of the Project, including information received during public comment, and ultimately voted 4-3 in favor of recommending the Project for City Council's consideration. The Commission acknowledged the

changes that had been made in response to the former project during their deliberation. Minutes of the meeting are provided as an attachment to this agenda report.

Following the Planning Commission meeting, several concerned residents met with staff to further discuss some questions they had regarding the Project. It should be noted that these residents indicated they were, and remain opposed to the Project, but did offer some suggestions they considered that would better facilitate the transition of the Project. These suggestions included the development of single-story residences to minimize the view of new homes from Yucaipa Ridge Road, and the removal of the proposed monument sign at the site entrance. Following those discussions, the applicant agreed to remove the monument sign in favor of additional landscaping and now proposes single story residences at the most western lots of the development.

Following the Planning Commission hearing, staff has also developed and presented to the developer three additional Conditions of Approval that will better memorialize the restrictions for the age-restricted lots and the agricultural land area.

### **Project Design and Description:**

#### **Preliminary Development Plan:**

Currently, the subject site is designated as RL-1, which permits the development of one single family unit per gross acre pursuant to the City’s General Plan and would therefore be permitted to accommodate up to 52 single family lots. Instead of proposing a project that adheres to those existing development standards, the Project proposal utilizes the Planned Development Review process set forth in Article 2, Planned Development Review (Section 83.030205 et seq.) of Chapter 3 of Division 3 of the Development Code, which creates a process for an applicant to propose alternate development standards that, while inconsistent with the existing underlying development standards, may be justified based on specific findings. The Planned Development Review process allows an applicant to propose new development standards that would be applicable to a site, in order to provide more flexibility in development based on the site’s characteristics.

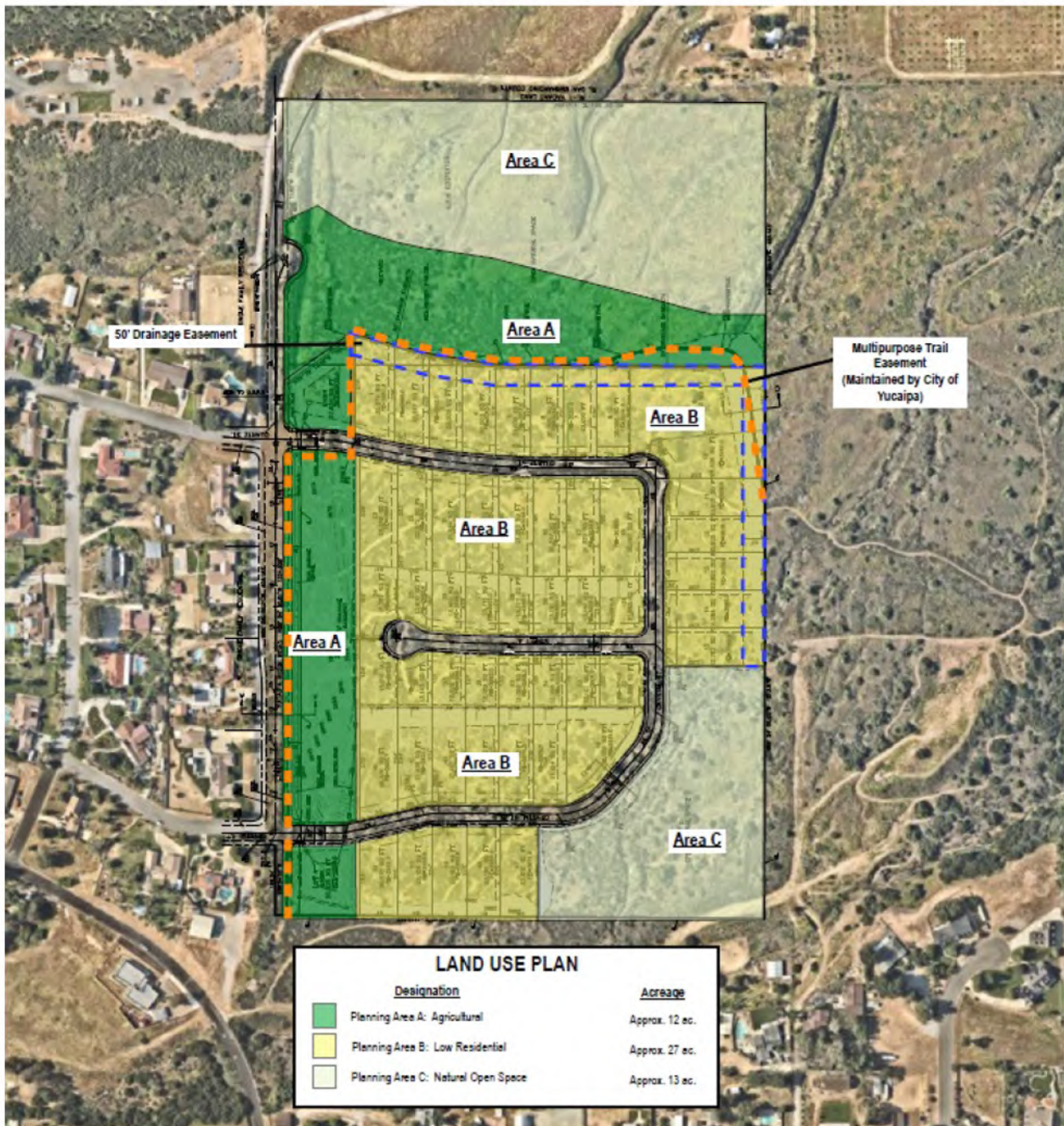


*Artist rendering of Project at Yucaipa Ridge Road and Crystal Street (without sign)*

Pursuant to these provisions, the Project includes a Preliminary Development Plan (“PDP”) that would create new development standards which, if approved, would replace the existing RL-1 standards otherwise applicable to the site, while maintaining the underlying density. As proposed,



these new development standards are inconsistent with the underlying RL-1 development standards and does not comply with the objective design standards of the RL-1 and Custom Home Overlay. However, the Planned Development process is being used to provide “[m]odifications to the development standards [that] include, but are not limited to setbacks, minimum lot size, and minimum dwelling unit street frontage” as identified by the Project applicant to accomplish additional site design flexibility and specific development standards to consolidate the residential development to design around the existing site conditions including topography. The new development standards form the basis for the applicant’s ability to develop the residential uses and agricultural uses as set forth in TTM 20375/Final Development Plan.



*Proposed Land Use Plan to be subject to new proposed standards*

Consistent with the General Plan designation of RL-1, which allows up to 52 residential lots on the subject site, the PDP provisions proposed would allow the development of 51 single family lots, as well as one additional lot that will consist of only open space and a vineyard or similar agricultural use. The proposed PDP includes four separate planning areas that would govern the development: Planning Area A, designated as Agriculture, is the proposed 12 acres for the agricultural planting area; Planning Area B, designated as Low Residential, encompasses 27 acres and would permit the 51 single family residences, of which 41 would be restricted to residents 55 years old or greater; and Planning Area C that would provide 13 acres of Open Space. Planning Area B features tailored development standards for the area, including 20,000 square foot lots along the periphery of the site, and smaller 12,000 square foot lots accessed by an internal cul-de-sac. Additionally, the age restriction for the development shall comply with all applicable requirements of state law, including any implementation of any elements to best ensure enforceability of these age-restricted covenants.

Planned Development applications require the approval of a PDP by the City Council, following a recommendation by the Planning Commission, to create the appropriate development standards, and the submittal of a Final Development Plan (“FDP”) to formally entitle a specific project. In order for the City Council to approve the Project adopting these new development standards, the City Council must make all of the following findings set forth in Section 83.030220 of the Development Code:

- a) The proposed development is consistent with the City’s General Plan and any other applicable plan.
- b) The physical characteristics of the site have been adequately assessed and the site for the proposed development is adequate in size and shape to accommodate said use and all yards, open spaces, setbacks, walls and fences, parking areas, loading areas, landscaping, and other features required.
- c) The site for the proposed development has adequate access, meaning that the site design and development plan conditions consider the limitations of existing streets and highways and provide improvements to accommodate the anticipated requirements of the proposed development.
- d) Adequate public services and facilities exist, or will be provided in accordance with the conditions of development plan approval, to serve the proposed development, and the approval of the proposed development will not result in a reduction of such public services to properties in the vicinity to be a detriment to public health, safety, and welfare.
- e) The proposed development, as conditioned, will not have a substantial adverse effect on surrounding property or the permitted use thereof and will be compatible with the existing and planned land use character of the surrounding area.
- f) The improvements required per the conditions of development plan approval and the manner of development adequately address all natural and manmade hazards associated with the proposed development and the project site including, but not limited to, flood, seismic, fire, and slope hazards.
- g) The proposed development carries out the intent of the planned development provisions by providing a more efficient use of the land and an excellence of design greater than that which would be achieved through the application of conventional development standards.
- h) If the development proposes to intermix residential and commercial uses, whether done in a vertical or a horizontal manner, the residential use is designed in such a way that it is buffered from the commercial use and is provided sufficient amenities to create a comfortable and healthy residential environment and to provide a positive quality of life for

the residents. Such amenities may include, but are not limited to, private open space, private or separated entrances, landscaping, etc.

Pursuant to Section 83.030205 of the City’s Development Code, the purpose of the Planned Development Review process is “to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations.” The proposed Project does not include the development of units beyond what is currently permissible under the City’s General Plan, but instead is intended to “provide(s) a more efficient use of land than would be possible through the strict application of land use district regulations” through the creation of new standards that would then apply, subject to Council approval. Based on the topographical elements of the site, in conjunction with the City’s Hillside Overlay District, the approach contemplated by this Planned Development application results in consolidation of the residential unit capacity towards the southerly portion of the site, which would avoid areas of steeper topography that might otherwise create conflicts with access requirements listed in the Development Code. These factors may be considered along with all other evidence, written and oral, presented to the City Council for its consideration, in order to determine if the required findings under Development Code Section 83.030220 may be made. It should be noted that other Planned Developments within the RL-1 Land Use District have been implemented in the City’s past and were developed to accomplish many of the same conceptual goals that is proposed with this Project. These projects are discussed in the Processing and Procedural section of this agenda report.



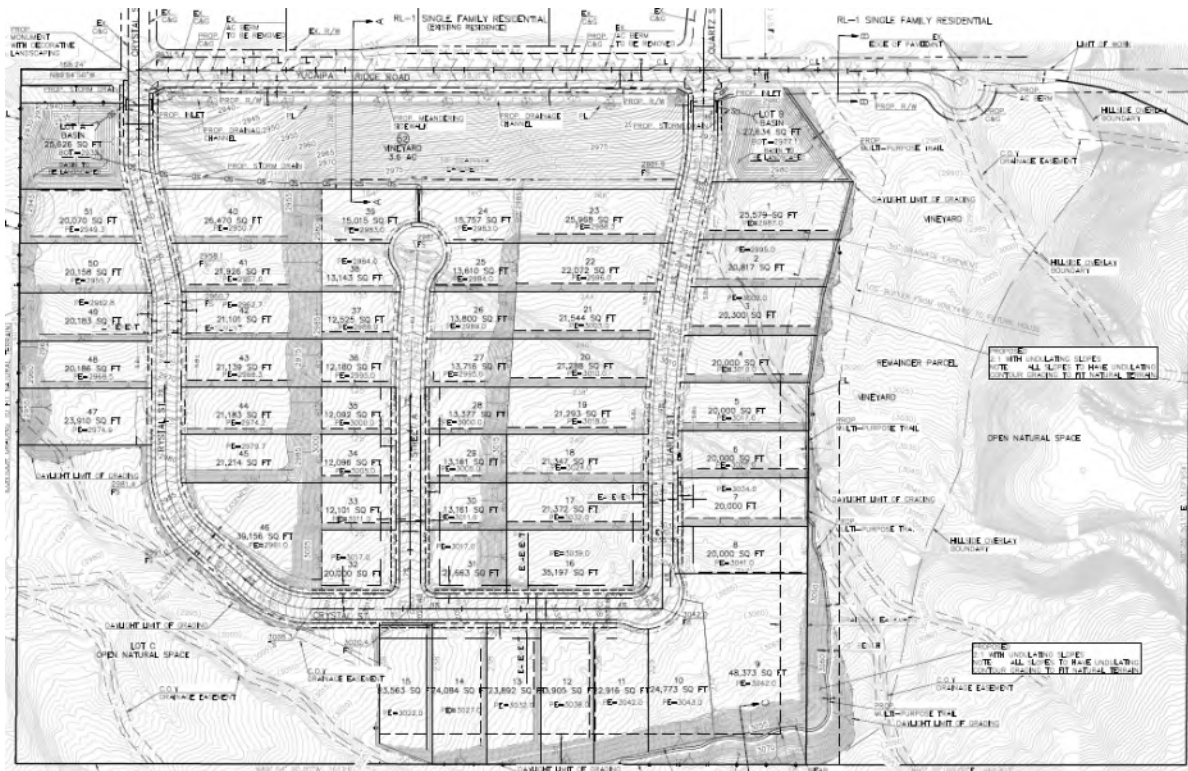
*Artist rendering of Project at Yucaipa Ridge Road*

**Tentative Tract Map/Final Development Plan:**

Along with the PDP, the proposed Project includes an FDP exhibit to implement the provisions of the PDP, which is provided through Tentative Tract Map (“TTM”) No. 20375. The TTM has the following elements: The Planned Development review process (Section 83.030225) permits the concurrent review of a subdivision with a PDP, provided separate application, review, and findings shall be made in accordance with the provisions of the City’s Development Code. As such, approval of the PDP is required first to establish the applicable development standards of the FDP.

In order to approve TTM 20375/FDP, the City Council must first approve the PDP. Approval of TTM 20375/FDP requires that the City make all of the findings required under Development Code Section 83.030220 (as listed above), and also all required findings in accordance Government Code

Section 66474 and Article 2 of Chapter 4 of Division 3 of the Development Code. Proposed findings for TTM 20375/FDP are included as an attachment to this Staff Report.



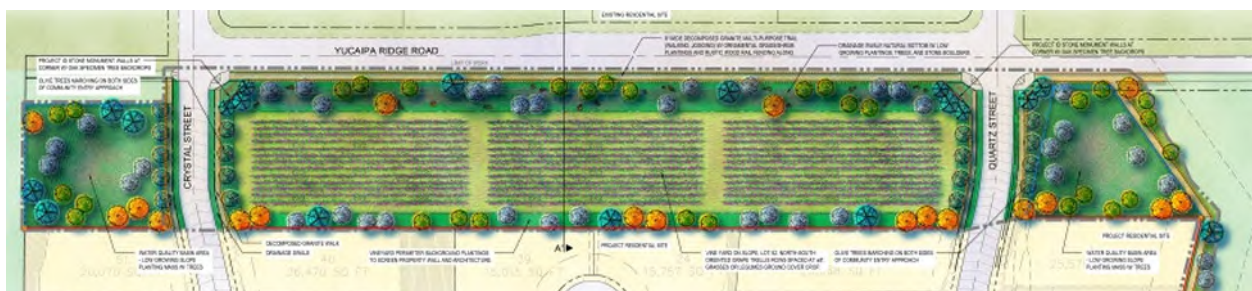
TTM 20375

Single Family Development:

The TTM includes 51 single family residential lots ranging from 12,000 square feet in size within the interior cul-de-sac, and 20,000 square feet for the standard residential lots along the primary streets, which have been arranged around the extension of Crystal Street that would loop around back to Yucaipa Ridge Road on Quartz Street.

Lot 52:

An area designated as “Lot 52” is proposed to correspond to Planning Areas A of the PDP, and would contain the future agriculture use and drainage area for the subdivision along Yucaipa Ridge Road. The PDP specifies that no commercial or residential activities which would result in traffic-related daily trips will occur on this lot, and the ultimate Tract Map and Conditions of Approval will include these restrictions.



Remainder Lot:

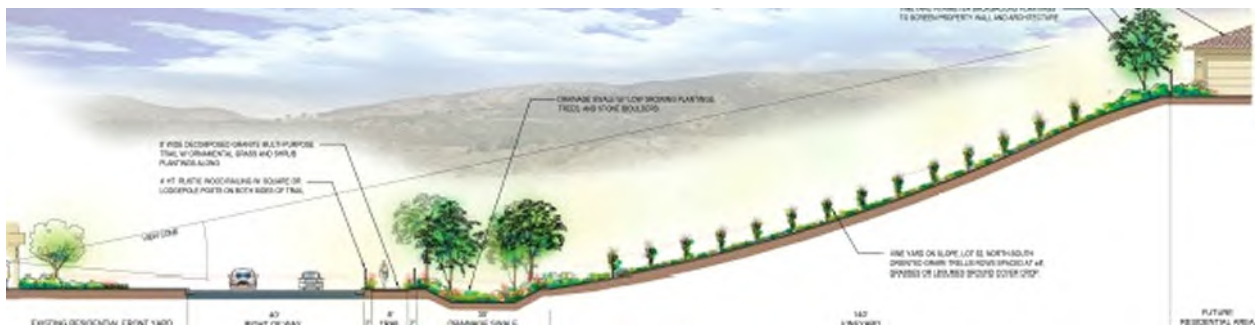
An area designated as a “Remainder Lot” is proposed to correspond to Planning Areas A and C of the PDP, and would therefore include the open space elements of the Project and the future agriculture use directly north of the residential subdivision. The proposed agricultural operations would be accessed from Yucaipa Ridge Road. The PDP specifies that no commercial or residential activities which would result in daily trips will occur on this lot, and the ultimate Tract Map and Conditions of Approval will include these restrictions.

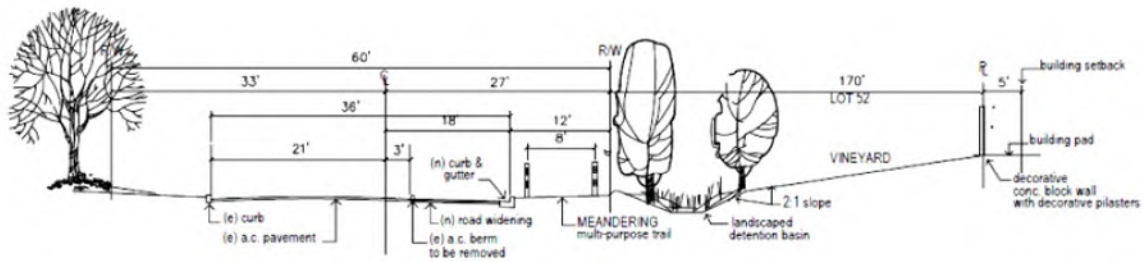
Lettered Lots/Drainage:

The site has been designed to maintain historic flows, and includes measures that will ensure that the Project complies with the onsite water retention and City’s water quality requirements. Three (3) lettered lots are included, with two of them designed to support landscaped detention basins that would accommodate water quality requirements and would integrate to Lot 52. The third letter lot is the open natural space for the existing drainage channel along the southeastern edge of the site.

Circulation:

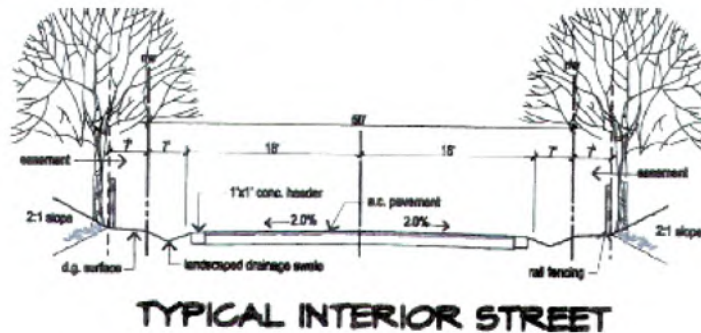
The Project site is located adjacent to Yucaipa Ridge Road, an existing 2-way local paved roadway that is partially constructed. The development of the site would be responsible for completing the Yucaipa Ridge Road improvements fronting the Project, including curb and gutter, and would include a multipurpose trail. Adjacent to the right of way of Yucaipa Ridge Road will include “Lot 52” that will include key site drainage elements including detention basins which have been designed as a 30-foot-wide landscaped stream bed, as well as vineyard plantings. Between the lot and the proposed residential lots will also include a decorative block wall.





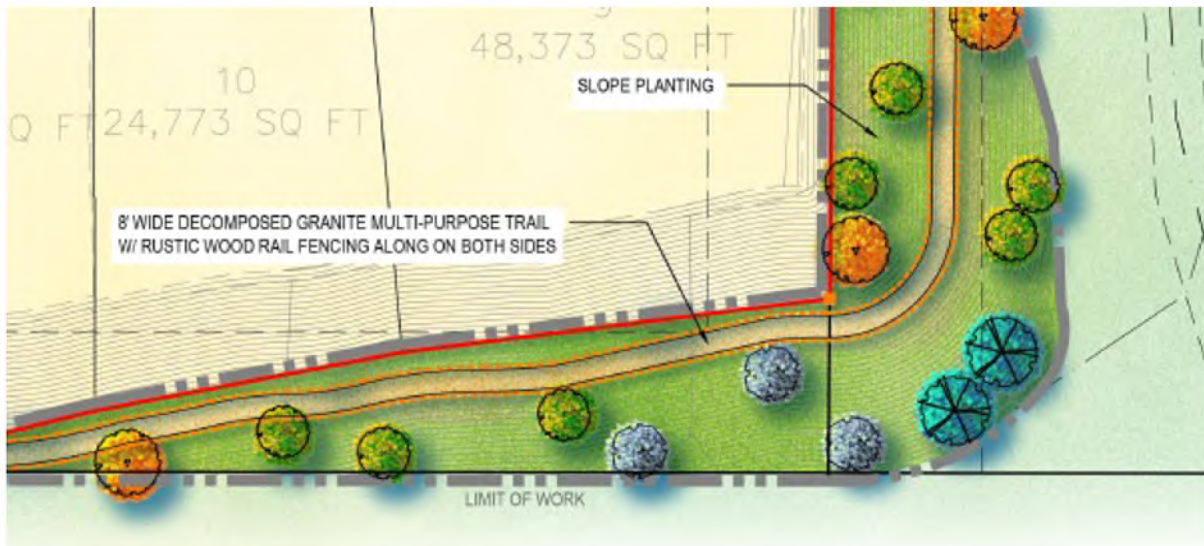
**A) EXHIBIT 13 – YUCAIPA RIDGE ROAD STREET SECTION**

All the proposed residences of the Project would receive access from the internal streets that are proposed, which would connect to Yucaipa Ridge Road via Quartz Street and Crystal Street. The proposed Project roadway design provides 50 feet of public right of way, and consists of streets measuring 36 feet (curb-to-curb) in width, and a 7-foot-wide landscaped drainage swale proposed to carry the rain runoff to the proposed detention basins. The street design also includes a decomposed granite multipurpose trail within a 7-foot easement into the residential lots, which will include split rail fencing provided along the streets to delineate the trail location.



**TYPICAL INTERIOR STREET**

In addition to these trails along the street network, an additional trail is provided north of the residential area. The trail design was developed with input from the City’s Engineering Division, and the conceptual trail alignment reviewed at the June 7, 2022, Trails & Open Space Committee Meeting. The Committee did not have any comments and found that this element of the Project was consistent with the General Plan Multi-use Trails Map.



Further, the Project would result in improvements adjacent to an existing United States Forest Service easement along Yucaipa Ridge Road, which supports fire department access along the ridge directly outside of the city limits, with these improvements conditioned to occur entirely within the subject site.

### **Project Phasing**

Pursuant to the TTM and PDP exhibits, the recordation and bonding of improvements for Tract 20375 will occur in a single phase. Individual homes are expected to be built out to meet market demand, but completed as part of an overall development instead of a “lot sales” approach. The vineyards are expected to be planted in the 2023 spring or fall season.

### **General Plan and Development Code:**

The Project proposes a development that is not consistent with the existing Citywide objective standards but may be permitted through the PDP process, provided that the findings for approval are made by the City Council. The Project consists of a PDP that establishes development standards intended to support the City’s General Plan, which would replace the development standards otherwise applicable to RL-1 land use designation. These include the following policies:

- CDL-1.1 Places to Live. Provide sites for a range of housing types, locations, and densities in a variety of neighborhood settings equipped with amenities that support a high quality of life.
- CDL-10.1 Development Review. Implement and adhere to development review procedures and design guidelines in the City of Yucaipa Municipal Code that advance the visual quality of the community.
- HN-2.1 Balanced Housing Stock. Designate adequate land for a broad range of types of housing, including single-family attached and detached, multiple-family housing, and mixed uses located in accordance with the land use and community design element.
- HN-3.3 Housing Incentives. Facilitate the development of market rate and affordable housing through regulatory incentives (e.g., density bonus), permit processing (e.g., planned development), and other incentives, where feasible and appropriate.

It should be noted that the PDP also provides the required analysis by the applicant of the City’s General Plan to demonstrate the approach made by the PDP will provide consistency with the City’s General Plan. The nature of the Planned Development procedures is to create specific standards that would replace existing standards that would apply to the subject site, and therefore the Project does not currently comply with the objective standards for the district. As such, approval of the FDP is first subject to Council making the determination that the development standards listed in the PDP are appropriate based on findings listed in Section 83.030220 of the Development Code, as outlined above, which would then establish the standards applicable to the FDP. The proposed PDP for the Serrano Estates Project has the following Development Standards that would pertain to the Residential Development, rather than the development standards of the underlying RL-1 land use designation:

**DEVELOPMENT STANDARDS – PLANNING AREA B – LOW RESIDENTIAL**

<b>PERMITTED USES</b>	
The following uses may be permitted:	Single family dwelling unit
	Small residential care facility
	Small family daycare home
	Accessory Dwelling Unit
	Animal Raising (pursuant to Development Code § 84.0320)
	Accessory uses as specified by Yucaipa Development Code § 84.0510, 84.0550, 84.0560, and 84.0570
The following uses are prohibited:	All uses not stated as “permitted uses”

<b>DEVELOPMENT STANDARDS</b>	
Minimum Lot Area:	12,000 Square Feet
Minimum Lot Width:	75' (at front bldg. setback line)
Minimum Lot Depth:	120'
Minimum Street Frontage:	60'
Minimum Habitable Floor Area:	2,200 sq. ft.
Front Setback to Residence:	25' minimum (from property line)
Rear Setback:	20' minimum
Side Setback (Interior):	10' and 5' minimum
Side Setback (Street Side):	15' minimum (from property line)
Height:	35' maximum (2.5 stories)
Building Coverage (max. percent):	40%
Lot Coverage (max. percent):	50%
Required Parking Spaces:	2.0 spaces w/in enclosed garage
Minimum Garage Area:	400 square feet with two (2) vehicle capacity
Minimum Driveway Length:	25' (from garage door to multipurpose trail)
Standard Driveway Stall Dimension:	9' x 20' (18' x 20' for 2 spaces)



Processing and Procedural Actions:

Notices of the Project were sent to all surrounding property owners within a 1,300-foot radius of the Project site, and a variety of responses were received by neighbors to the Project site with concerns about the Project and the proposed reduction of the lot sizes identified in the PDP.

Many of the comments and concerns are addressed with the Initial Study prepared for the Project, with responses summarized by topic below. The comments received are also included as an attachment to this agenda report.

Lot Sizes: Many of the comments received indicated concerns with the proposed lot sizes and included requests that lots be either half an acre or be maintained at one acre. As part of these requests, commenters noted the potential incompatibility of the smaller lots as well as the current land use designation for the site. Currently, the subject site is designated as RL-1 which permits one unit per gross acre pursuant to the City's General Plan and has a theoretical capacity of 52 single family lots. It should be noted that gross density refers to the overall parcel area that includes right of way areas, rather than just the individual parcel boundary and therefore does not require each individual lot to measure 43,560 square feet.

The proposed Project includes a PDP and associated FDP/TTM that is designed to implement the City's Planned Development Review procedures. Pursuant to Section 83.030205 of the City's Development Code, the Planned Development process "is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations." The Planned Development process specifically allows for modified standards to meet the site's needs. Based on the topographical elements of the site, in conjunction with the City's Hillside Overlay District, the applicant is proposing to use the Planned Development process and has created a land use design that results in the consolidation of the residential unit capacity towards the southerly portion of the site to avoid areas of steeper topography that might otherwise create conflicts with other elements listed in the Development Code.

However, as the Planned Development approach is to establish new development standards for a site rather than to comply with the current objective standards listed in the Development Code, the City Council is ultimately responsible for determining if the policy set forth by the PDP is appropriate once a recommendation has been provided by the Planning Commission. With this consideration, the City Council may amend in whole or in part the standards listed in the PDP to best suit the requirements of the General Plan. Further, the Yucaipa General Plan states "When implementing Yucaipa's General Plan, it is important to note that it addresses multiple objectives through its goals and policies. Adherence to an individual goal or policy is not intended to preclude achievement of other goals and policies. Implementing goals and policies often requires balancing priorities at a particular time or for particular circumstances and decisions. The City Council has final discretion over how to balance adherence to goals and policies when multiple ones affect a single decision." As such, Council may provide direction to achieve the rural and compatible neighborhood design that supports the existing neighborhood that surrounds the Project.

In an effort to address concerns regarding neighborhood compatibility, the Project has been designed around the internal street network and none of the proposed residences would be located directly along Yucaipa Ridge Road. This approach intends to insulate the neighborhood somewhat

from the subdivision rather than having the residential frontage directly across the street from existing homes. As part of the processing for Case No. 20-136, both the Planning Commission and City Council had recommended increasing the width of the buffer and additional landscape buffering adjacent to Yucaipa Ridge Road, which is proposed with the current subdivision design. In addition, all access points would connect to existing intersections along Yucaipa Ridge Road, which would preclude any traffic from directly facing an existing residence.

**One Lot on One Acre vs. Planned Development:** Many public comments were received with concerns that the RL-1 only allows for a single residence on a single acre, as identified in the summary above, and that the application of the Planned Development procedures is a novel approach that should not be applicable. However, it is worthwhile to note that Planned Developments have been approved and developed throughout different periods of the City's history. In particular, the City has several different RL-1 neighborhoods, including those known for being some of Yucaipa's most upscale custom home neighborhoods, that had been developed with the lot area transfer provisions permitted by that process. Three noteworthy neighborhoods, two of which are located in the North Bench, that had used the Planned Development concept includes the Stanley Ranch neighborhood adjacent to Grape Street, the Mountain Gate development located off of Highway 38, and the Reserve at Crafton located near Sand Canyon Road. All three of these neighborhoods, with lots from 10,000 to 20,000 square feet, feature attractive homes that currently command prices from \$700,000 to over \$1,000,000, and were developed with lots that are less than an acre. Details of these various projects are shown below to give context of the Planned Development approach to consolidate lot sizes for the deliberate purpose of managing different lot constraints.

*Stanley Ranch:* This neighborhood, located in the RL-1 District, was subdivided by Tract 13831 with the first phase of the map officially recorded in 1990. The lots range from approximately 5 acres along the hillside areas, to 20,000 square feet. Additionally, the Composite Development Plan on file includes the note "Because of the lot size transfer that has occurred within this subdivision, all lots may not be further subdivided in the future." Similar provisions would apply to the Serrano Estates project, and the proposed vineyard areas would not be permitted by the PDP nor the City to allow future residential uses on those areas.



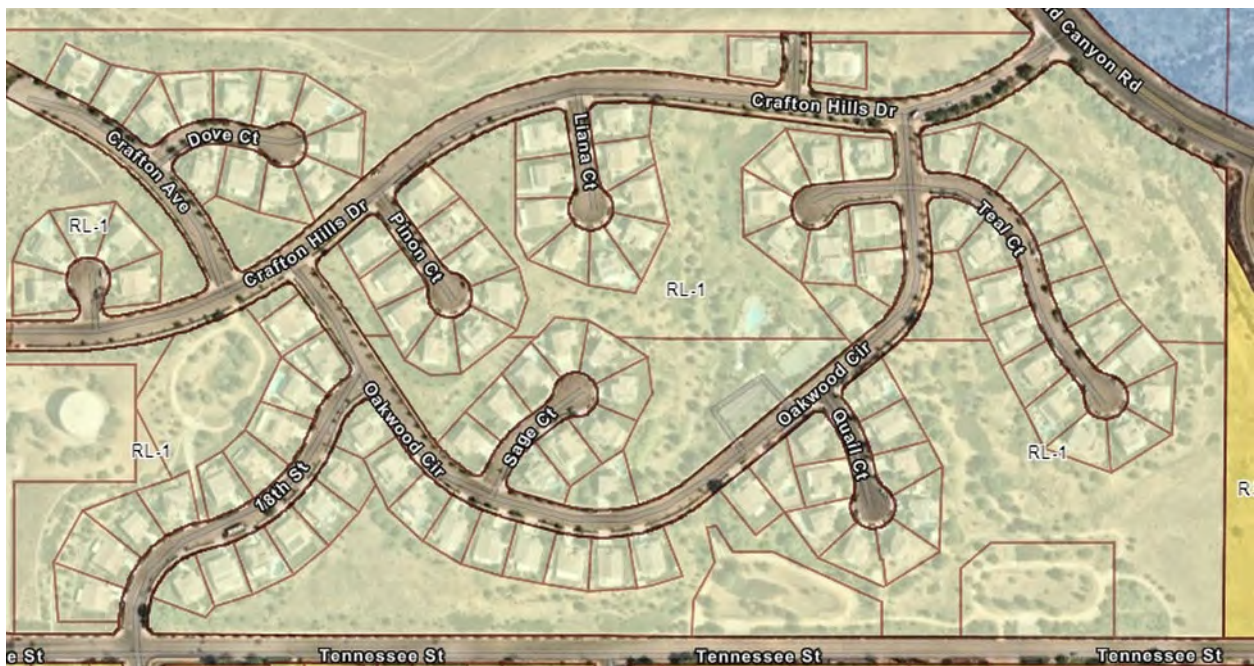
*Stanley Ranch Neighborhood*

*Mountain Gate:* This neighborhood, currently designated as the PD District but historically was designated as RL-10 (10 acre minimum) prior to City incorporation, was subdivided by Tract 14429 and officially recorded in 2005. The lots are generally 20,000 square feet in size, and includes a large open space area owned by the Crafton Hills Conservancy and the state of California.



*Mountain Gate Neighborhood*

*The Reserve at Crafton:* This neighborhood is designated as RL-1 and was subdivided by Tract 12222. The map officially recorded in 1992 and the project was later developed in the later 2000s. The lots are generally 10,000 square feet in size, and it includes a pool, tennis court and clubhouse common feature.



*Reserve at Crafton Neighborhood*

Traffic Impacts: To support the analysis of the Project, a Transportation Study Screening Assessment, dated May 26, 2022, was prepared by Ganddini Group, Inc. The City's Traffic Impact Analysis (TIA) Guidelines specify that a transportation impact study with level of service (LOS) analysis should be based on one or more of the following criteria:

- When the project AM or PM peak hour trip generation is 100 or more trips.
- Projects that will add 51 or more trips during either the AM or PM peak hour to any intersection.
- When determined by the City Engineer that existing or proposed traffic conditions in the project vicinity have unique characteristics that warrant evaluation.

Based on the previously proposed development consisting of 51 single family dwellings proposed, 16 of which would have been age restricted for seniors, the Project would not have resulted in enough traffic that would trigger these review requirements and would have been within the capacity for the adjoining existing roadways. Many of the comments received noted concerns with the introduction of 399 daily trips that was identified by the Transportation Study Screening Assessment. However, this number of trips amounts to 29 trips during the AM peak hour and 38 trips during the PM peak hour, or less than one car per minute, and is less traffic than what is currently generated by the existing neighborhood. The Project has since been amended to feature 41 age-restricted lots, which further reduce the average daily trips and the peak hour traffic assumptions provided by the Institute of Transportation Engineers (ITE) Trip Generation Manual. Further, no complaints are on file from the City's Neighborhood Traffic Calming program regarding congestion or other traffic-related issues that would indicate that the roadway LOS is deficient.

Juniper Street Access: A comment letter was received noting that it was difficult to make a left turn from Juniper towards the southbound direction of Bryant Street, which would be one of the primary exit routes from the development to other parts of the City. To address this concern, a Condition of Approval has been added that requires a traffic analysis to provide a stop sign/traffic signal warrant analysis for the intersection of Bryant Street and Juniper. If potential improvements are determined to be necessary, improvement plans and construction/bonding requirements shall be completed prior to the recordation of the subdivision, and the required improvements shall be constructed prior to the occupancy of individual residences within the Project.

Sewer Availability/Connections: Several different comments noted that the existing area does not feature existing sewer lines and therefore had concerns about the introduction of new septic tanks. As noted in the preliminary service evaluation for the Yucaipa Valley Water District (YVWD) and the PDP, the proposed Project would be required to extend sewer lines from Bryant Street to serve the development. An exhibit of this extension is provided below. Additional comments were received with concerns that existing properties would be required to connect to the proposed sewer line extension. Approval of the proposed PDP would not require other properties to connect to this infrastructure as YVWD does not currently require existing homes to connect to their sewer infrastructure.



**Keeping of Large Animals:** Several comments were received regarding concerns that the proposed Project would not permit the keeping of large animals such as horses and cattle. Pursuant to the City’s Development Code, the keeping of large animals are permitted on lots greater than 20,000 square feet. The site does not currently feature livestock or other large animals and the owner is not obligated to include them; other one-acre subdivisions, such as Tract 16060 and Parcel Map 16073 along Yucaipa Ridge Road and Holly Avenue, do not feature any livestock raising. However, the Project would not impact others from having large animals, and a condition of approval for the Project requires the disclosure that “all parcels may be located within 1,320 feet of existing accessory animal raising uses which existed prior to the creation of this subdivision” and that such uses will be protected from nuisance complaints pursuant to the City Development Code, Section 84.0560, entitled “Accessory Animal Raising”.

**Water Availability:** Various comments referred to the ongoing drought impacting the southwest area of the Country and noted concerns with approving development considering these issues. As part of the Project application, the applicant has obtained a letter from YVWD noting that they would be able to accommodate the proposed development, and the PDP includes details on the necessary connections to be made for water and sewer infrastructure. It should be noted that prior infrastructure improvements have been developed to increase the potable water storage capabilities to meet the demand of future residents and businesses based on the City’s General Plan. This includes the Wilson II and III Basins, and Wildwood Basins, that have been specifically designed to increase stormwater retention capability, increase groundwater recharge, and improve downstream water quality. These projects, along with other community investments made through various partners with the City, have increased the City’s groundwater supply to create a more sustainable

water supply for the future. These efforts have been included into the Yucaipa Subbasin Groundwater Sustainability Management Plan (YSGSMA) that was adopted by the City Council at their regular meeting of January 10, 2022, and is under review with the California Department of Water Resources. The YSGSP identified that the Plan Area is not currently experiencing undesirable results with regard to the chronic lowering of groundwater elevations, reduction of groundwater in storage, land subsidence and depletion of surface water as a result of groundwater production from the principal aquifer, and the basin is not projected to experience undesirable results over the 50-year planning and implementation horizon.

In addition, newer residential development is subject to both Title 24 energy standards and the City's Water Conservation Ordinance, which includes provisions regarding water fixtures, such as faucets and toilets, and landscaping, such as plant selection and irrigation design, to reduce the water usage relative to older homes. Further, smaller residential lots typically result in less water usage per capita than larger lots, as the larger lots have larger yards that ultimately use more potable water. As an additional element, vineyards require less water than other agricultural crops and, combined with the overall development, would use comparable amount of water relative to a standard RL-1 development. Further, as the state has maintained its housing development goals, it has not permitted any cities to declare a moratorium on new development because of the drought. Based on the initial Preliminary Service Evaluation from YVWD, recycled water was not specified as a required connection. Dual plumbing for potable and recycled water will be required, and recycled water connections may be also conditioned in a Development Agreement with YVWD.

**Electricity Impacts:** A comment was received regarding concerns on the capacity of the electrical grid and its ability to support the proposed Project. The Project would be required to meet or exceed the energy standards established in the California Green Building Standards Code, Title 24, Part 11 (CALGreen), which require new buildings to include materials and design elements that increase building system efficiencies, such as improved HVAC system, electrical equipment improvements such as LED lighting, and other related improvements. In addition, the new residences would be required to include solar panels.

**Earthquake Risk/Trenching:** Some comments referenced concerns with nearby earthquakes faults and the impacts may occur to the proposed residences. To support the analysis of the Project, responses have been provided by the applicant, dated July 8, 2022, and LOR Geotechnical Report dated June 15, 2022, in response to a Preliminary Geotechnical Investigation dated November 22, 2005, for the subject site. As part of the current Project review, LOR Geotechnical notes that the current PDP/TTM plan generally incorporates the recommendations that had been previously presented including their recommended restricted use zone (R.U.Z.) along the northern portion of the site which would be avoided with the proposed PDP configuration. The applicant had indicated that they are currently updating their geotechnical documents, including the preparation of a current fault study, to ensure compliance with today's codes and requirements that is a requirement consistent with a uniformly applicable policy related to the final engineering effort for future residential building permits. Additional concerns noted the backfill of trenches that was completed as part of prior geotechnical investigations, which will be assessed as part of the required documentation for building permits, and compaction reports will be required as part of the site grading process and prior to the construction of building foundations. Through the review process, the applicant noted to staff that this updated study was to be provided before the City Council meeting; this report has not yet been received.

**Fire Risk:** A variety of commenters noted the vegetation around the site and the associated risks that may result from wildfires as well as available access should residents need to evacuate. The Project site is located adjacent to Yucaipa Ridge Road, an existing 2-way local paved roadway that is partially constructed. The development of the site would be responsible for completing the Yucaipa Ridge Road improvements, including curb and gutter, and would not impact access to users traveling along the public right-of-way street. Figure S-5 of the Yucaipa General Plan does not designate Yucaipa Ridge Road as a local evacuation route, but does include Bryant Street as a Local Evacuation Route, which can be accessed from Azurite Street and Topaz Street. Further, the Project would result in improvements adjacent to an existing United States Forest Service easement along Yucaipa Ridge Road, which supports fire department access along the ridge directly outside of the city limits.

The Project site is also located approximately 2.19 miles, via paved roadways, to Yucaipa Fire Station #1 at 11416 Bryant Street, Yucaipa, CA 92399. Due to the proximity to the more rural areas of Yucaipa and the neighboring unincorporated community of Oak Glen, this fire station is equipped with Paramedic Engine 551, Reserve Engine 551A, and CAL FIRE Engines 3551 & 3569, and also includes a heliopad and quick response rescue equipment to aid in wildland fire response. Additional firecrews associated with the Mill Creek Hotshots are also located at the Mill Creek Ranger Station that is located at 34701 Mill Creek Rd, Mentone, CA 92359, approximately 1.1 miles away via paved roadways.

The Project will be required to adhere to the City's Standard Conditions of Approval as required by the City Fire Department, which includes provisions for adequate fire access that are addressed through the Project's internal circulation design, sprinkler water systems within habitable living spaces, and the placement of new fire hydrants at applicable intervals that meet the water flow requirements of the Fire Code. Documentation from the Project applicant notes that the existing hydrants adjacent to the site provide a flow rate of 850 gallons per minute, which exceeds the Code requirement of 500; however, it should be noted that several public comments received noted that the area has limited water pressure. As a standard Condition of Approval, a hydrant flow test will be required to verify the flow rate to serve the subdivision prior to the issuance of building permits. The water supply and pressure will need to meet code requirements before any combustible materials (lumber) is provided to the site, and the applicant will be required to make any such improvements to achieve that pressure.

**Utility Pole Relocation:** One comment was received with a request that the developer relocate the utility poles currently along the west side of Yucaipa Ridge Road to be instead along the Project's frontage. The City of Yucaipa's Development Code includes provisions where the undergrounding of utilities is required but does not include provisions to relocate equipment that would not otherwise be impacted by the Development's improvements to their street frontage.

**Habitat Impacts:** To support the analysis of the Project, a Biological Resources Assessment and Jurisdictional Delineation, dated June 2022, was prepared by Jennings Environmental. In addition, prior biological research and surveys had been completed on the site as part of the environmental review efforts associated with TTM 14297. In all cases, no candidate, sensitive, or special status species; riparian habitat or other sensitive natural community; wetlands; and wildlife corridors were discovered onsite. Further, various protocol surveys/trappings for the San Bernardino Kangaroo Rat have been completed within the North Bench area over the past several decades and each survey has been negative. The Project site does contain trees and shrubs that would be removed as part of the



mass grading activities for the site, and therefore could have a potential impact on nesting birds if they are present on the Project site at the time of grading and construction. Implementation of Mitigation Measure BIO-1 from the Initial Study would require a preconstruction nesting bird clearance survey to determine the presence/absence, location, and status of any active nests on or adjacent to the Project site and includes appropriate provisions consistent with law.

**Blue Line Stream Impacts:** A drainage feature is located along the southeastern edge of the site and is considered as a jurisdictional feature under the California Department of Fish and Wildlife, with an estimated jurisdictional area encompassing 0.4 acres of the site. However, the PDP and TTM for the Project has been designed to specifically avoid any development within or adjacent to this jurisdictional feature, and instead would designate this area as natural Open Space in perpetuity. This requirement is also reflected in the Project's Conditions of Approval.

**Yucaipa Ridge Road Right of Way:** A request was made by an adjoining property owner to have the northern Right of Way alignment for Yucaipa Ridge Road shift towards the east to better connect to an existing access easement and paved private drive for the properties to the north, which is shown below:



*Neighboring request to align Yucaipa Ridge Road ROW to existing easement*

**Development Review Committee:**

The City Development Review Committee reviewed the Serrano Estates Project (Case No. 20-136) on August 4, 2022, which discussed the Project's draft Conditions of Approval with the applicant's representative. The representative noted that they would complete the stop sign improvements along Yucaipa Ridge Road and will be working to address the concerns on the Juniper/Bryant Street intersection. Key revisions, which are also reflected in the proposed Conditions of Approval,

includes details such as the 40 ft ROW along the northern end of Yucaipa Ridge Road, and the proposed stop control at the Yucaipa Ridge Road intersections.

**Environmental Review:**

The Initial Study prepared for the initial Serrano Estates proposal, which was made available for comment for 20 days beginning on July 15, 2022, and ending on August 4, 2022<sup>1</sup>, considers the potential environmental impacts that could occur as a result of the Project. Based upon the analysis conducted by staff, all available evidence indicated that any adverse impacts that could occur are at a less-than-significant level, and consequently, staff had recommended the adoption of a Mitigated Negative Declaration (MND) if the City Council were to ultimately approve the Project. As noted previously, the initial Serrano Estates Project was denied and a new proposal was developed that was intended to address the site design shortcomings identified during those hearings. An Additional Analysis (AA) on the previously-developed MND was prepared pursuant to the provisions of the California Environmental Quality Act (CEQA) in response to Project design revisions that have been made following the public hearing process for Case No. 20-138 and that are now included as part of Case No. 22-150. The AA provides additional information and analyses that merely clarifies or amplifies, or makes insignificant modifications to the Draft MND after it was circulated for public comment in July, 2022 to best account for the current proposal. As such, recirculation is not required pursuant to Section 15073.5 of the CEQA Guidelines; however, this information is being provided for the benefit of public review and disclosure and is included as part of the overall MND adoption process, should Council approve the Project.

The Mitigation measures reflect the comments received through tribal consultation as part of SB18/AB52, as well as the standard protocols regarding biological resources and a paleontological resource evaluation. Other elements of the Project would be governed by uniformly applicable policy, including adherence with the Building Code and SCAQMD rules. No comments were received specifically on the Initial Study during the public review process by local, regional or state agencies, or by members of the public, though a variety of public comment letters were provided with concerns over the Project. These responses are included above as part of the Project processing section.

Alternatively, the City Council can find that the Project is exempt from CEQA pursuant to Sections 15061(4) and 15270 of the CEQA Guidelines if the Planned Development is denied. These sections state that CEQA does not apply to projects which a public agency rejects or disapproves.

**CONCLUSION:**

If approved, the proposed Preliminary Development Plan will establish a land use plan and development standards for a single-family residential subdivision consisting of 51 lots, including 41 that will be age restricted, and provides additional area for natural open space and vineyards on a 52-acre site along Yucaipa Ridge Road. As part of the Project, a Final Development Plan and Tentative Tract Map No. 20375 has been submitted to entitle the subject site in a design that is consistent with the Preliminary Development Plan.

<sup>1</sup> Initial Study was also submitted to the State Clearinghouse for review during the same period.

The City’s Development Code includes procedures for Planned Development applications, and notes that its purpose “is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations.” As a result, the proposed development does not meet the City’s objective design standards, including lot dimensions and setbacks, until a PDP has been approved that establishes new standards applicable to the site. The proposed standards of this PDP have been developed by the applicant, based on their application and letter of intent, to address the existing topographical challenges for the site, and includes “[m]odifications to the development standards [that] include, but are not limited to setbacks, minimum lot size, and minimum dwelling unit street frontage” to accomplish additional site design flexibility. The Planned Development process includes required findings of approval that are to be met in order to approve the Project. The Planning Commission has recommended the Project, and the City Council can make any necessary revisions to the draft findings and Planned Development standard to further support the discussion and decision on the Project as part of the Project record.

**FISCAL IMPACT:**

Based on a total number of 51 residential units on 27 net acres, the Project can be expected to generate **\$1,207,229.73** in Development Impact Fees, using the current 2022 fee schedule, as follows:

Drainage Facilities:	\$401,745.42
Traffic Facilities:	\$532,144.20
Public Facilities:	\$73,675.62
Fire Facilities:	\$46,726.71
<u>Park Facilities:</u>	<u>\$152,937.78</u>
<b>TOTAL:</b>	<b>\$1,207,229.73</b>

Fees collected by other agencies, such as Yucaipa Valley Water District and Yucaipa Calimesa School District, are in addition to this total.

Attachments: Preliminary Development Plan Findings for Approval  
Tentative Tract Map Findings for Approval  
Land Use District & Location Map  
Resolution 2023-07 for Approval  
Conditions of Approval  
August 17, 2022, Planning Commission Minutes  
September 12, 2022, City Council Minutes  
March 15, 2023, Planning Commission Minutes (Draft)  
Comment Letters Received  
Mitigation Monitoring and Reporting Program  
Additional Analysis to the MND  
Environmental Initial Study  
Project Plans

Approved by: 

## FINDINGS: PLANNED DEVELOPMENT REVIEW APPROVAL

1. The proposed development is consistent with the City's General Plan in that the current land use district designation is Rural Living, 1-acre minimum (gross) lot size that would permit up to 52 single family lots. The proposed Project includes the implementation of the Planned Development Review procedures listed in Article 2, Chapter 3 of Division 3 of the Yucaipa Development Code in lieu of direct application of the RL-1 standards to permit the approval of 51 single family lots and one additional lot for vineyards and permanent open space. Pursuant to Section 83.030205 of the City's Development Code, the Planned Development purpose "is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations." The proposed Project does not include the development of units beyond what is currently permissible under the City's General Plan but works to provide development standards intended to achieve different design goals, including the preservation of natural open space, and provide areas for viticulture.
2. The physical characteristics of the site have been adequately assessed through the proposed Preliminary Development Plan, which leverages the areas of the site that has limited topographical constraints to accommodate the residential capacity and preserves areas with greater slopes or naturalized drainage channels to remain as open space. The design also provides an opportunity for agrarian activities along visible areas intended to support a more rural community appearance and the local viticultural industry. As part of the Preliminary Development Plan, 51 single family homes is proposed within the 52 acre site, and development standards are included to accommodate 12,000 or greater square foot lots that includes design requirements pertaining to yards, setbacks, and walls and fences, while also establishing landscape buffers between the proposed vineyard and from the adjoining neighborhood along Yucaipa Ridge Road. In addition, the site has been arranged with larger lots along the Crystal Street/Quartz Street loop to best integrate with the existing neighborhood along Yucaipa Ridge Road.
3. The site for the proposed development has adequate access from Yucaipa Ridge Road, an existing 2-way local paved roadway that is partially constructed, and relevant condition of approval are required for the Project, including the completion of Yucaipa Ridge Road improvements, including curb, gutter, and a multipurpose trail, as well as the completion of additional improvements adjacent to an existing United States Forest Service easement along Yucaipa Ridge Road, as part of the consideration on the limitations of existing streets and highways and provide the necessary improvements to accommodate the proposed development. The Project would further access Bryant Street, the primary thoroughfare, from Azurite Street and Topaz Street which are developed as local streets.
4. Adequate public services and facilities will be provided as a condition of development plan approval to serve the proposed development and is identified in Section 4 of the Preliminary Development Plan. This includes the extension of the sewer line from Bryant Street and improvements to potable water service, to support the future development. In addition, these improvements consider the development surrounding the site, and through the permit review process with the utility companies will ensure that the development will not result in a reduction of such public services to the surrounding properties.

5. The proposed development has been designed to minimize any adverse effects on surrounding property by creating a land use design that can help buffer the differing lot sizes of proposed development (greater than a quarter (net) acre) to the existing development (one acre gross) through a landscaped basin along Yucaipa Ridge Road, and locating the permitted residential capacity towards interior streets to the Project. The proposed land uses for the site include single family residences and land for agrarian purposes, which will provide compatibility between land use activities of the surrounding area.
6. The improvements required per the conditions of development plan approval and the manner of development adequately address all natural and manmade hazards associated with the proposed development and the Project site including:
  - Flood: The Preliminary Development Plan proposes a land use plan that would avoid any development in drainage areas that may pose a flood risk and would instead preserve the existing drainage channels that feed towards Spoor Creek as natural open space.
  - Seismic hazards: The subject site is located within the Alquist Priolo Fault Zone boundary, and prior geotechnical studies completed for the site identify potential fault zone risks along the northern portion of the site. The Preliminary Development Plan would preserve such areas as open space, including natural open space and vineyards, in lieu of residential development. In addition, the proposed residential development would be subject to the California Building Code, and additional geotechnical studies will be completed as part of the permit process to provide for the structural design requirements for the new residences.
  - Fire: Risks to future development from fire hazards are addressed through adherence to the City's Standard Conditions of Approval as required by the City Fire Department, which includes provisions for adequate fire access that are addressed through the Project's internal circulation design, sprinkler water systems within habitable living spaces, and the placement of new fire hydrants at applicable intervals that meet the water flow requirements of the Fire Code. Prior to the issuance of building permits, a hydrant flow test will be required to verify the flow rate to serve the subdivision, and the development would be subject to any additional water improvements to meet the code requirements for flow. Other key elements supported by the Project is a roadway design that meets the California Fire Code (CFC), including a maximum 12% grade, all weather roadway design capable of supporting 75,000 pounds, and two (2) points of vehicular ingress and egress from streets. General Plan Policy S-1.8, Natural Topography, note that projects should "limit grading for future developments to the minimum amount needed to preserve Yucaipa's natural topography, preserve vegetation, and maintain soil and slope stability.
  - Slope hazards: The Preliminary Development Plan has been designed to locate future residential uses away from the steeper slopes located along the northern portions of the site, and instead concentrates the development along the flatter portion. The steeper areas are also more highly visible to the community at large, and therefore is also proposed for natural open space and vineyards.
7. The proposed development carries out the intent of the planned development provisions by providing a more efficient use of the land and an excellence of design greater than that which would be achieved through the application of conventional development standards as the land

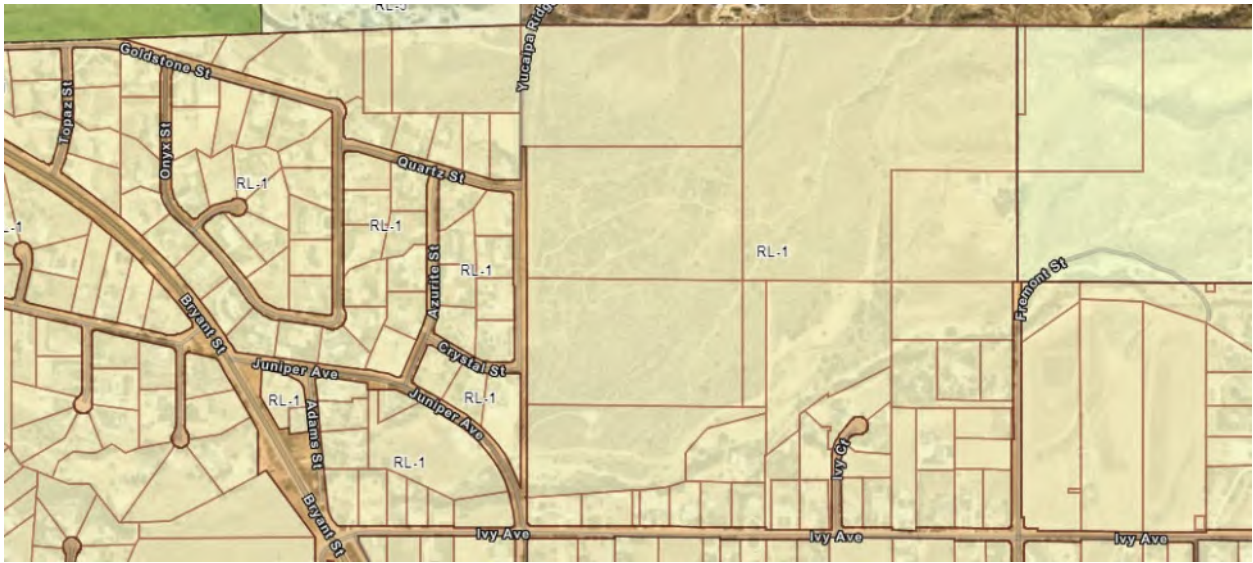
use plan provides for the consolidation of the residential unit capacity towards the southerly portion of the site, which would avoid areas of steeper topography that might otherwise create conflicts with access requirements listed in the Development Code, and leverages these other areas for natural open space and vineyards which would not be otherwise feasible with the strict application of the RL-1 Development Standards.

## FINDINGS: TENTATIVE MAP NO. 20375 APPROVAL

1. The proposed subdivision, together with the provisions for its design and improvements, is consistent with the General Plan, provided that the Preliminary Development Plan is approved, because the proposed use and overall density of 51 single family lots on 52 gross acres is consistent with the RL-1 (Rural Living, 1-acre minimum (gross) lot size) Land Use District that is augmented by the Preliminary Development Plan that includes standards that would apply specifically to the site, and the Conditions of Approval address the provision of public services and improvements.
2. The site is physically suitable for the proposed type and density of development, because the Project site would be graded to create pad areas for future units, and has been designed to accommodate the proposed development, roadways, and associated infrastructure for the Project. In addition, physical constraints such as a drainage course, topography, or another environmental constraint, have been taken into consideration during the development of the Preliminary Development Plan and avoided with the subdivision design.
3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage and substantially or avoidably injure fish or wildlife or their habitat, because the environmental review for the Project includes appropriate conditions or mitigation measures that demonstrate that the Project will have a less than significant impact to the environment.
4. The design of the proposed subdivision and any related types or proposed improvements are not likely to cause serious public safety and health problems because conditions are included to assure compliance with all City health and safety standards.
5. The design of the proposed subdivision or the type of improvements will not conflict with public easements within or through the site because conditions have been included to ensure non-interference with any existing public easements.
6. The design of the subdivision provides for the extent feasible, passive or natural heating and cooling opportunities, because the Project proposes residential lots that would include the installation of solar panels, as required by the with the most current building code, without interference from surrounding properties, which provide opportunities for the use of solar energy.
7. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulations of the Development Code and the regulations of any public agency having jurisdiction by law should the Preliminary Development Plan be approved pursuant to the provisions listed in Article 2 of Chapter 3 of Division 3 of the Yucaipa Development Code, and all public agencies that may be affected by this development have had their concerns addressed by the Conditions of Approval.
8. The proposed subdivision is not deemed to be a land project as defined by the Yucaipa Development Code, Section 812.12030.



LAND USE: RL-1 (RURAL LIVING, 1-ACRE MINIMUM (GROSS) LOT SIZE)



LOCATION



**RESOLUTION NO. 2023-03**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YUCAIPA ADOPTING THE SERRANO ESTATES PRELIMINARY DEVELOPMENT PLAN, APPROVING TENTATIVE TRACT MAP 20375/FINAL DEVELOPMENT PLAN, AND APPROVING THE ENVIRONMENTAL FINDINGS PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA), ADOPTING A MITIGATED NEGATIVE DECLARATION FOR CASE NO. 22-150/PDP/FDP/TTM 20375, AND ADOPTING A MITIGATION MONITORING AND REPORTING PROGRAM FOR THE SERRANO ESTATES PLANNED DEVELOPMENT PROJECT**

**WHEREAS**, the City Council of the City of Yucaipa (the "City Council") has before it a request for approval of Preliminary Development Plan (PDP) No. 22-150 (the "Project") for the Serrano Estates Planned Development; and

**WHEREAS**, The proposed "Project" consists of a Planned Development project that includes a Preliminary Development Plan (PDP) and Tentative Tract Map (TTM 20375)/Final Development Plan (FDP) for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lots on parcels greater than 12,000 square feet and averaging over 20,000 square feet, of which 41 of the lots will be age restricted to those over 55, several lettered lots for water quality basins, and a combined 12-acre area as part of a "Lot 52" and remainder lot that would include space for vineyards, and 13 acres of permanent open space, located on three existing parcels totaling 52 acres along the east side of Yucaipa Ridge Road directly south of the City limits to unincorporated San Bernardino County; and

**WHEREAS**, the proposed residential development shall include 41 lots that are specifically restricted for qualifying senior residents (55 years of age or older); and

**WHEREAS**, the proposed remaining lot for open space and agriculture will not be permitted for future residential development nor be permitted to have other uses that generate daily trips; and

**WHEREAS**, the General Plan contains a variety of goals and policies to encourage the development of housing for all incomes, to support high quality design for development projects in the City, and to protect key resources within the City; and

**WHEREAS**, Housing and Neighborhoods Policy HN-3.3 identifies that the City should facilitate the development of market rate and affordable housing through regulatory permit processes, such as planned development, where feasible and appropriate, and

**WHEREAS**, Public Safety Policy S-1.8 notes that projects should "limit grading for future developments to the minimum amount needed to preserve Yucaipa's natural topography, preserve vegetation, and maintain soil and slope stability; and

**WHEREAS**, the Project site is designated as Rural Living, one-acre minimum (RL-1) and the Custom Home (CH) Overlay District, and subject to certain development standards including but not limited to those set forth in Section 84.0320, Rural Living (RL) District of Chapter 3 of Division 4 of the Yucaipa Development Code and Article 5 Custom Home (CH) Overlay District (Sections 85.040501 and 85.040502) of Chapter 4 of Division 5 of the Yucaipa Development Code; and

**WHEREAS**, the Preliminary Development Plan proposed by the applicant includes development standards that are inconsistent with the existing development standards applicable to the Project site under the Development Code, including but not limited to, Section 84.0320, Rural Living (RL) District of Chapter 3 of Division 4 of the Yucaipa Development Code and Article 5 Custom Home (CH) Overlay District (Sections 85.040501 and 85.040502) of Chapter 4 of Division 5 of the Yucaipa Development Code; and

**WHEREAS**, in order to approve the Project, the City Council is required by Development Code Section 83.030220 to find that all of the following are true:

(a) The proposed development is consistent with the City's General Plan and any other applicable plan.

(b) The physical characteristics of the site have been adequately assessed and the site for the proposed development is adequate in size and shape to accommodate said use and all yards, open spaces, setbacks, walls and fences, parking areas, loading areas, landscaping, and other features required.

(c) The site for the proposed development has adequate access, meaning that the site design and development plan conditions consider the limitations of existing streets and highways and provide improvements to accommodate the anticipated requirements of the proposed development.

(d) Adequate public services and facilities exist, or will be provided in accordance with the conditions of development plan approval, to serve the proposed development, and the approval of the proposed development will not result in a reduction of such public services to properties in the vicinity to be a detriment to public health, safety, and welfare.

(e) The proposed development, as conditioned, will not have a substantial adverse effect on surrounding property or the permitted use thereof and will be compatible with the existing and planned land use character of the surrounding area.

(f) The improvements required per the conditions of development plan approval and the manner of development adequately address all natural and manmade hazards associated with the proposed development and the project site including, but not limited to, flood, seismic, fire, and slope hazards.

(g) The proposed development carries out the intent of the planned development provisions by providing a more efficient use of the land and an excellence of design greater than that which would be achieved through the application of conventional development standards.

(h) If the development proposes to intermix residential and commercial uses, whether done in a vertical or a horizontal manner, the residential use is designed in such a way that it is buffered from the commercial use and is provided sufficient amenities to create a comfortable and healthy residential environment and to provide a positive quality of life for the residents. Such amenities may include, but are not limited to, private open space, private or separated entrances, landscaping, etc.; and

**WHEREAS**, Article 2, Chapter 3 of Division 3 of the Yucaipa Development Code provides the processing requirements for a Planned Development application, which is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations”; and

**WHEREAS**, in order to approve the Tentative Tract Map (TTM 20375)/Final Development Plan (FDP), the City Council must also make all findings required by the Subdivision Map Act and Article 2 of Chapter 4 of Division 3 of the Yucaipa Development Code; and

**WHEREAS**, on July 14, 2022, a Draft Mitigated Negative Declaration (“MND”) was completed for the Project and a Notice of Intent (“NOI”) was issued. In accordance with the California Environmental Quality Act (“CEQA”) (Cal. Pub. Res. Code §21000 *et seq.*) and the State Guidelines (the “Guidelines”) (14 Cal. Code Regs. §15000 *et seq.*) promulgated with respect thereto, the City analyzed the potential impacts of a 51 single family lot planned development project (Case No. 20-136) on the environment; and

**WHEREAS**, the City circulated the MND and the Appendices for the Project to the public and other interested parties for a 20-day comment period, in accordance with the CEQA Guidelines, including posting of the document on the City’s website and the State Clearinghouse, from July 15, 2022, through August 4, 2022; and

**WHEREAS**, no written responses were received on the MND during the public review period; and

**WHEREAS**, an Additional Analysis (AA) on the previously-developed MND was prepared pursuant to the provisions of the CEQA in response to project design revisions that have been made following the public hearing process for Case No. 20-138 and that are now included as part of Case No. 22-150 that merely clarifies or amplifies, or makes insignificant modifications to the Draft MND after it was circulated for public comment in July, 2022 to best account for the current proposal, and where recirculation is not required pursuant to Section 15073.5 of the CEQA Guidelines; and

**WHEREAS**, the Planning Commission held a duly noticed public hearing on March 15, 2023, to consider testimony on the Serrano Estates Planned Development and ultimately recommended approval of the Project; and,

**WHEREAS**, the City Council held a duly noticed public hearing on April 17, 2023 to consider the recommendation of the Planning Commission, and to consider all other testimony on the Serrano Estates Planned Development; and

**WHEREAS**, the findings made in this Resolution are based upon the information and evidence set forth in the review of the Project, the MND, and upon other substantial evidence that has been presented at the hearings and in the record of the proceedings. The documents, staff reports, technical studies, appendices, plans, specifications, and other materials that constitute the record of proceedings on which this Resolution is based are on file for public examination during normal business hours at the Development Services Department, City of Yucaipa, 34272 Yucaipa Boulevard, Yucaipa, CA 92399. The custodian of records is Benjamin Matlock with the City of Yucaipa Development Services Department. Each of those documents is incorporated herein by reference; and

**WHEREAS**, based on the information presented in the MND, the Project would not result in any significant and unavoidable impacts; and

**WHEREAS**, the City has prepared mitigation monitoring and reporting program for any project for which mitigation measures have been imposed to assure compliance with the adopted mitigation measures. The Mitigation Monitoring and Reporting Program is attached hereto as Exhibit A, and is hereby incorporated herein by reference; and

**WHEREAS**, prior to taking action, the City Council reviewed, considered and has exercised its independent judgment in considering the MND and all of the information and data in the administrative record, and all oral and written testimony presented to it during meetings and hearings and finds that the MND is adequate and was prepared in full compliance with CEQA. No comments or any additional information submitted to the City have produced any substantial new information requiring additional recirculation or additional environmental review of the Project under CEQA; and

**WHEREAS**, The City Council hereby finds that the Serrano Estates Preliminary Development Plan provides development standards that further support the implementation of the General Plan and are appropriate for the conditions of the site, and makes all required Findings for approval of the Serrano Estates Preliminary Development Plan pursuant to Development Code Section 83.030220, as set forth in Exhibit B, attached hereto and incorporated herein by this reference; and,

**WHEREAS**, The City Council hereby finds that Tentative Tract Map (TTM 20375)/Final Development Plan (FDP) is consistent with the proposed Serrano Estates Preliminary Development Plan, subject to the Conditions of Approval specified in this resolution, and makes all required Findings for approval of TTM/20375/FDP pursuant to the Subdivision Map Act and Article 2 of Chapter 4 of Division 3 of the Yucaipa Development Code, as set forth in Exhibit C and Exhibit D, respectively, attached hereto and incorporated herein by this reference;

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF YUCAIPA HEREBY FINDS, DETERMINES, ORDERS, AND RESOLVES AS FOLLOWS:**

Section 1. The City Council hereby adopts the Serrano Estates Preliminary Development Plan and adopts the findings for the Preliminary Development Plan as set forth in Exhibit B; approves Tentative Tract Map (TTM 20375)/Final Development Plan (FDP) for Planned Development and adopts the findings for approval of TTM 20375/FDP and the Conditions of Approval set forth in Exhibits C and D, respectively; and adopts the Mitigated Negative Declaration and Additional Information for the Serrano Estates Preliminary Development Plan pursuant to the California Environmental Quality Act, and adopts the Mitigation Monitoring and Reporting Program attached hereto as Exhibit A and incorporated herein by reference. The mitigation measures set forth in the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program are hereby incorporated into the Project and shall be made conditions of the Project, as well as the Conditions of Approval associated with Tentative Tract Map No. 20375/Final Development Plan processed concurrently with the Preliminary Development Plan.

**PASSED, APPROVED and ADOPTED** on this 17th day of April, 2023.

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Justin Beaver  
Mayor

ATTEST:

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Ana V. Sauseda, CMC  
City Clerk

**EXHIBIT A**  
Mitigation Monitoring and Reporting Program  
(Under Separate Cover)

## Exhibit B

### Findings for Approval of Serrano Estates Preliminary Development Plan

1. The proposed development is consistent with the City's General Plan in that the current land use district designation is Rural Living, 1-acre minimum (gross) lot size that would permit up to 52 single family lots. The proposed Project includes the implementation of the Planned Development Review procedures listed in Article 2, Chapter 3 of Division 3 of the Yucaipa Development Code in lieu of direct application of the RL-1 standards to permit the approval of 51 single family lots and one additional lot for vineyards and permanent open space. Pursuant to Section 83.030205 of the City's Development Code, the Planned Development purpose "is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations." The proposed Project does not include the development of units beyond what is currently permissible under the City's General Plan but works to provide development standards intended to achieve different design goals, including the preservation of natural open space, and provide areas for viticulture.
2. The physical characteristics of the site have been adequately assessed through the proposed Preliminary Development Plan, which leverages the areas of the site that has limited topographical constraints to accommodate the residential capacity and preserves areas with greater slopes or naturalized drainage channels to remain as open space. The design also provides an opportunity for agrarian activities along visible areas intended to support a more rural community appearance and the local viticultural industry. As part of the Preliminary Development Plan, 51 single family homes is proposed within the 52 acre site, and development standards are included to accommodate 12,000 or greater square foot lots that includes design requirements pertaining to yards, setbacks, and walls and fences, while also establishing landscape buffers between the proposed vineyard and from the adjoining neighborhood along Yucaipa Ridge Road. In addition, the site has been arranged with larger lots along the Crystal Street/Quartz Street loop to best integrate with the existing neighborhood along Yucaipa Ridge Road.
3. The site for the proposed development has adequate access from Yucaipa Ridge Road, an existing 2-way local paved roadway that is partially constructed, and relevant condition of approval are required for the Project, including the completion of Yucaipa Ridge Road improvements, including curb, gutter, and a multipurpose trail, as well as the completion of additional improvements adjacent to an existing United States Forest Service easement along Yucaipa Ridge Road, as part of the consideration on the limitations of existing streets and highways and provide the necessary improvements to accommodate the proposed development. The Project would further access Bryant Street, the primary thoroughfare, from Azurite Street and Topaz Street which are developed as local streets.
4. Adequate public services and facilities will be provided as a condition of development plan approval to serve the proposed development and is identified in Section 4 of the Preliminary Development Plan. This includes the extension of the sewer line from Bryant Street and improvements to potable water service, to support the future development. In addition, these improvements consider the development surrounding the site, and through the permit review



process with the utility companies will ensure that there is not result in a reduction of such public services to the surrounding properties.

5. The proposed development has been designed to minimize any adverse effects on surrounding property by creating a land use design that can help buffer the differing lot sizes of proposed development (greater than a quarter (net) acre) to the existing development (one acre gross) through a landscaped basin along Yucaipa Ridge Road, and locating the permitted residential capacity towards interior streets to the Project. The proposed land uses for the site includes single family residences and land for agrarian purposes, which will provide compatibility between land use activities of the surrounding area.
6. The improvements required per the conditions of development plan approval and the manner of development adequately address all natural and manmade hazards associated with the proposed development and the project site including:
  - Flood: The Preliminary Development Plan proposes a land use plan that would avoid any development in drainage areas that may pose a flood risk and would instead preserve the existing drainage channels that feed towards Spoor Creek as natural open space.
  - Seismic hazards: The subject site is located within the Alquist Priolo Fault Zone boundary, and prior geotechnical studies completed for the site identify potential fault zone risks along the northern portion of the site. The Preliminary Development Plan would preserve such areas as open space, including natural open space and vineyards, in lieu of residential development. In addition, the proposed residential development would be subject to the California Building Code, and additional geotechnical studies will be completed as part of the permit process to provide for the structural design requirements for the new residences.
  - Fire: Risks to future development from fire hazards are addressed through adherence to the City's Standard Conditions of Approval as required by the City Fire Department, which includes provisions for adequate fire access that are addressed through the Project's internal circulation design, sprinkler water systems within habitable living spaces, and the placement of new fire hydrants at applicable intervals that meet the water flow requirements of the Fire Code. Prior to the issuance of building permits, a hydrant flow test will be required to verify the flow rate to serve the subdivision, and the development would be subject to any additional water improvements to meet the code requirements for flow. Other key elements supported by the Project is a roadway design that meets the California Fire Code (CFC), including a maximum 12% grade, all weather roadway design capable of supporting 75,000 pounds, and two (2) points of vehicular ingress and egress from streets. General Plan Policy S-1.8, Natural Topography, note that projects should "limit grading for future developments to the minimum amount needed to preserve Yucaipa's natural topography, preserve vegetation, and maintain soil and slope stability.
  - Slope hazards: The Preliminary Development Plan has been designed to located future residential uses away from the steeper slopes located along the northern portions of the site, and instead concentrates the development along the flatter portion. The steeper

areas are also more highly visible to the community at large, and therefore is also proposed for natural open space and vineyards.

7. The proposed development carries out the intent of the planned development provisions by providing a more efficient use of the land and an excellence of design greater than that which would be achieved through the application of conventional development standards as the land use plan provides for the consolidation of the residential unit capacity towards the southerly portion of the site, which would avoid areas of steeper topography that might otherwise create conflicts with access requirements listed in the Development Code, and leverages these other areas for natural open space and vineyards which would not be otherwise feasible with the strict application of the RL-1 Development Standards.

**EXHIBIT C**  
Conditions of Approval  
(Under Separate Cover)

**EXHIBIT D**  
TTM/FDP Findings of Approval  
(Under Separate Cover)

## ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

### PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Preliminary Development Plan (“PDP”) is for the establishment of development standards that would be applicable to the site and would permit the development of 51 single family lots, as well as one additional lot that will consist of only open space and a vineyard or similar agricultural use. The proposed PDP includes four separate planning areas that would govern the development: Planning Area A, designated as Agriculture, is the proposed 12 acres for the agricultural planting area; Planning Area B, designated as Low Residential, encompasses 27 acres and would permit the 51 single family residences; and Planning Area C would provide 13 acres of Open Space. As part of the PDP, Planning Area B is to include 41 lots that will be specifically age restricted for senior households with qualifying residents pursuant to state law (ages 55 or greater). With the PDP, Tentative Tract Map No. 20375 would subdivide the property. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. All lots shall have a minimum area of 12,000 square feet, a minimum depth of 100 feet, and a minimum width of 75 feet as measured at the building setback line delineated on the Composite Development Plan. Where lots occur on the bulb of a cul-de-sac, a minimum lot depth of ninety (90) feet may be permitted.
3. This Tentative Tract Map is for a project to be developed one subdivision phase. Residential units will not be completed in a “Lot Sales” approach.
4. This PDP and Tentative Tract Map shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. Up to two extensions of time pursuant to the provisions of Section 83.040220(e) of the Yucaipa Development Code may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.** Additionally, expiration of the subdivision map also will result in the expiration of the Planned Development pursuant to Section 83.030225 of the Yucaipa Development Code.
5. Water and Sewage disposal shall be by the Yucaipa Valley Water District. The Yucaipa Valley Water District letter provided as part of the Project application materials is included as a Condition of Approval.

6. The maintenance of graded slopes and landscaped areas shall be the responsibility of the developer until the transfer to individual ownership or until the maintenance is officially assumed by an approved maintenance authority.
7. Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.
8. All future development of this site shall be in accordance with the provisions of the PDP development standards and requirements.
9. A minimum of 12 acres of the proposed development shall be retained as open space for agriculture, and a minimum of 13 acres of the required open space shall remain as ungraded natural open space.
10. Areas to be dedicated for the purpose of meeting the natural open space requirements of this project shall possess no development rights since said development rights have been transferred to other portions of the project. Said open space shall remain in its natural condition, with maintenance occurring in an approved manner. No grading or structures of any type shall be permitted in the natural open space easements, including walls or fencing.
11. The applicant shall defend, indemnify and hold harmless the City, its agents, officers and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
12. The applicant/owner shall pay a fee of \$2,764.00, pursuant to Senate Bill 1535. This fee shall be submitted to the Planning Division **within three (3) days** after the effective date of conditional approval along with a \$50.00 administrative handling fee required by the Clerk. **Payments shall be made with a Check, Money Order or Cashier's Check for \$2,814.00 made payable to the "Clerk of the Board"**. The Planning Division shall then file the Notice of Determination within three (3) days after the effective date of conditional approval. The applicant should be aware that Section 21089(b) of the Public Resources Code provides that any project approved under CEQA is not operative, vested or final until the required fee is paid. Proof of fee payment will be required prior to issuance of building permits.

13. All future development of this site shall be in accordance with the provisions of Division 7, Chapter 11, of the Development Code regarding Hillside/Ridgeline development standards and requirements where applicable.
14. All future development of this site shall be in accordance with the provisions of Division 9, Chapter 5, of the Development Code regarding Oak Tree Conservation development standards and requirements.
15. The keeping of large animals in residential subdivisions, where such use is permitted by the Development Code, may be reasonably regulated by CC&R's, but it shall not be prohibited.
16. Developers of residential development projects greater than a single dwelling unit shall attempt to ensure that at least 25% of the total cost of the project will be spent with Yucaipa businesses and/or the hiring of Yucaipa residents.
17. All proposed road names shall be reviewed and approved by the City Planner.
18. The designated open space/agricultural lot shall not be further subdivided and be maintained in perpetuity.
19. The designated open space/agricultural lot shall not include activities that result in an increase in daily trips, as identified by the project proponent.
20. The project shall implement the mitigation measures listed in the adopted Mitigation Monitoring and Reporting Program.

**FIRE DEPARTMENT (909) 797-2489 EXT. 246**

21. This project is protected by the Yucaipa Fire Department/CalFire. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted California Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CalFire.
22. This project is in a Fire Safety Review Area 1. This is a high fire hazard area. This project shall comply with the construction and development standards for a FR-1 Area. Contact the Building & Safety Division for FR-1 Area construction and development standards.
23. Fire Department access roads and/or public/private streets shall meet the Fire Department minimum width standard of twenty-six (26) feet for the FR-1 zone. Access roads shall be paved (asphalt/concrete) and in place prior to placement of combustible material on site. Fire Department minimum paving thickness shall

- be no less than four (4) inches. This standard shall not lessen other agency requirements.
24. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.
  25. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).
  26. Cul-de-sac and dead-end streets shall not exceed 350 feet in length within the FR-1 zone unless otherwise approved by the Fire Marshall.
  27. Required fire flow for this project, as determined by California Fire Code Appendix 'B,' is as follows: gpm = 1,500; at 20 psi residual; for 2-hour duration. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
  28. Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants, meeting the required fire flow, shall be provided.
  29. Fire hydrants shall be installed at locations to be determined by the current (2022) California Fire Code Appendix "C" and the required fire flow shall be determined by the current (2022) California Fire Code Appendix "B". Minimum fire flow shall not be less than 1500 gpm.

**ENGINEERING DIVISION (909) 797-2489 EXT. 254**

30. Preliminary WQMP shall be submitted for review. If project will not require a WQMP, documentation indicating a WQMP is not required shall be submitted.
31. Submit WQMP Plan for Approval.
32. Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMP's), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region and/or as indicated in the "New Development/Redevelopment Guidelines". All provisions of the Water Quality Management Plan (WQMP) consistent with the 2010 MS4 permit and most recent regulatory mandates shall be met.



33. The natural drainage courses traversing the site shall not be occupied or obstructed.
34. All lots must drain to streets, per the approved WQMP if applicable. If lots do not drain to streets, the cross lot drainage will be reviewed and approved by the City Engineer under provision of the Uniform Building Code Appendix 33 and the Development Code.
35. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.
36. Yucaipa Ridge Road shall be designed as a water-carrying street and its water carrying capacity shall be retained.
37. Adequate elevations/geometry shall be provided on the entrance roads to the site along Yucaipa Ridge Road to minimize the possibility of street flow entering the site
38. Lots adjacent to water-carrying streets shall be adequately elevated above the top of curb, or block walls provided, or both, to minimize the possibility of street flows entering the lots.
39. Roads within this development shall be entered into the City Maintained Road System.
40. Road sections within and/or bordering the tract shall be designed and constructed with curbs, gutters, and sidewalks to City Road Standards, and in accordance with the General Plan Circulation Element. At intersections and driveways entering the street, the first 20 feet of slope shall not exceed 6%.
41. Final improvement plans and profiles shall indicate the location of any existing utility facility which would affect construction. Existing utility poles shall be shown on the improvement plans and relocated as necessary without cost to the City.
42. Slope rights shall be dedicated on the Final Tract Map where necessary.
43. An approved type wall/barrier shall be required along the rear of double frontage lots and shall be constructed outside the public right-of-way.
44. Private roads to be constructed within this development shall be built to public road standards per City policies and requirements (including Standard Number 102-0), and they shall not be entered into the City Maintained Road System.

45. Turnarounds at dead-end streets shall be in accordance with the requirements of the Fire Marshall.
46. A thirty-five (35) foot radius curb return is required for rounding the corner of intersecting roads when the half-width right-of-way of any intersecting road is forty (40) feet or greater. A twenty (20) foot radius curb return is required for rounding the corners of intersecting roads if the half-width right-of-way of all intersecting roads is less than forty (40) feet. At intersections, street dedication (right-of-way) shall be a corner cut-off from point of curb return (PCR) to PCR of property line.
47. Road profile grades shall not be less than 0.5% unless the engineer at the time of submittal of the improvement plans provides justification to the satisfaction of the City Engineer confirming the adequacy of the grade.
48. Paved access is required from each parcel being created to a publicly maintained road. City street name signs shall be installed indicating street names and if publicly maintained or not.
49. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

**THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO RECORDATION OF THE FINAL MAP:**

**FIRE DEPARTMENT (909) 797-2489 EXT. 246**

50. A greenbelt or fuel modification zone plan shall be required and bonded for this project. Fuel modification plan requirements shall be site specific to this project. The applicant shall submit a fuel modification plan to the Fire Department for review and comments or approval. Maintenance provisions of the fuel modification zone shall be approved by the Fire Department. Maintenance of the fuel modification zone, located in designated open space, and enforcement of the fuel modification zone, within the property of individual property owners, shall be the responsibility of a homeowners' association or other approved maintenance authority that is acceptable to the Fire Department.
51. Three sets of water delivery system plans, designed to meet the required fire flow for this project and/or development, shall be submitted to the Fire Department for approval.
52. Applicant-developer shall provide the Fire Department with a letter from the water provider serving the project-development verifying that financial arrangements

have been made and bonds posted for the required Fire Department approved water improvements.

**ENGINEERING DIVISION (909) 797-2489 EXT. 254**

53. A preliminary soils report shall be filed with and approved by the City Engineer.
54. A geology report, prepared by a Licensed Engineering Geologist, shall be submitted to and approved by the City Engineer. The report shall also include an updated fault study.
55. Fifteen (15) foot building setback lines shall be shown on the Composite Development Plan to preclude the construction of any structure in the overflow area of the natural drainage courses.
56. Adequate provisions shall be made to intercept and conduct the off-site tributary drainage flow around or through the site in a manner which will not adversely affect adjacent or downstream properties.
57. Adequate City Drainage Easements (minimum fifteen (15) feet wide) shall be provided over the natural drainage courses and/or drainage facilities, including WQMP identified BMP areas. The easements shall be designed to contain the 100-year frequency storm flow plus bulking and freeboard per City Standard Criteria. Flowage easements or City Drainage Easements shall be obtained where diversion or concentration of runoff from the site or drainage facilities dewater onto private property.
58. Detention basins shall be designed and constructed in accordance with the criteria set forth in the City Detention Basin Policy and the approved WQMP. All work shall be reviewed and approved by the City Engineer.
59. Detention basins for the purposes of water quality filtration shall be designed and constructed in accordance with the criteria set forth in the project WQMP, landscape plans and City Detention Basin Policy. All work shall be reviewed and approved by the City Engineer.
60. Should the use of detention basins be determined not appropriate in this case, the applicant shall design an alternate method, approved by the City Engineer.
61. The WQMP shall be approved and the developer shall provide a financial mechanism for the maintenance of the detention basins which shall be set in place and approved by the City Engineer. The WQMP maintenance agreement shall be executed and recorded by the applicant.
62. The major natural drainage course(s) traversing the site shall be delineated on the Final Map. Adequate easements and building setback lines should be

- designed, offered and dedicated on the Final Map as "City Easements". Survey data regarding top of bank and/or channel cross-sections shall be provided to the Engineering Division.
63. In addition to the drainage, traffic related, or other requirements stated herein, other "on-site" or "off-site" improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.
  64. A Registered Civil Engineer shall investigate and design adequate drainage facilities to intercept and conduct the drainage flows around or through the site in a manner which will not adversely affect adjacent or downstream properties. The Hydrology Study provided shall be revised to include the two existing drainage channels located on the northern side of the subdivision as part of the formal review.
  65. A thorough evaluation of the structural road section, to include parkway improvements, from a qualified materials engineer, shall be submitted to the Engineering Division.
  66. A traffic analysis shall be completed to provide a stop sign warrant analysis at the intersection of Yucaipa Ridge Road and Quartz Street, and a stop sign/traffic light analysis for the intersection of Bryant Street and Juniper. Street improvement plans and construction/bonding requirements shall be completed prior to recordation, and any required improvements shall be constructed prior to permit finals.
  67. Existing City roads which will require reconstruction shall remain open for traffic at all times, with adequate detours, during actual construction. A cash deposit may be required to cover the cost of grading and paving prior to recordation of the map. Upon completion of the grading and paving to the satisfaction of the Engineering Division, the cash deposit will be refunded.
  68. Trees, irrigation system, and landscaping required to be installed on public right-of-way within this project area shall be maintained by other than the City, with the exception of Landscape & Lighting Maintenance District areas, and shall be as specified in City standards for tree planting. Maintenance procedures acceptable to the Engineering Division shall be instituted.
  69. All required public road and drainage improvements shall be bonded in accordance with the Development Code and City Bonding Policy unless constructed and approved prior to recordation.
  70. In the event applicant fails to acquire the required off-site property interests, the developer shall at least 120 days prior to submittal of the final map, enter into an

agreement to complete the improvements pursuant to Government Code Section 66462 at such time as the City acquires the property interests required for improvements. Such agreement shall provide for payment by the applicant of all costs incurred by the City to acquire off-site property interests required in connection with the subdivision. Security for a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the applicant, at the applicant's cost. The appraiser shall have been approved by the City prior to commencement of the appraisal.

71. The applicant shall submit road improvement plans to the Engineering Division and bond for those improvements with the City.
72. A forty-foot grant of easement is required to provide a half-width right-of-way of 40 feet on Yucaipa Ridge Rd. An additional dedication shall be provided to connect to the access easements located north of the subject site for Yucaipa Ridge Road.
73. Curbs, gutters, sidewalks, and eighteen (18) or twenty-eight (28) feet of paving shall be installed on Yucaipa Ridge Road. Additional design elements will include a turnaround cul-de-sac at the terminus of Yucaipa Ridge Road. Plans for all improvements must be approved by the Engineering Division, prior to installation of said improvements. A cash deposit or surety bond may be placed to fulfill this requirement.
74. The applicant shall provide proof of legal and physical access to the proposed subdivision. As proof of access, the applicant shall submit one of the following: (a) existing dedication; (b) copy of the court decree establishing prescriptive rights that is acceptable to the City Engineer; (c) dedications by separate instrument from all property owners intervening between the proposed land division and the City Maintained Road System.
75. Right-of-way and improvements (including off-site) to transition traffic and drainage flows from proposed to existing shall be required as necessary.
76. Slope stability tests are required for road cuts or road fills in excess of a 2:1 slope.
77. A Registered Civil Engineer or Licensed Land Surveyor shall be retained to design the proposed road alignment to the approval of the City Engineer. A contour map at sufficient intervals to determine existing topography (not to exceed five feet) prepared by a Registered Civil Engineer or a Licensed Land Surveyor shall be submitted to and approved by the City Engineer delineating the alignment and grade of the proposed access roads designed to City standards.

78. Applicant shall present evidence to the City Engineer that he has obtained a non-interference letter from any utility company that may have rights of easement within the property boundaries.
79. Easements of record not shown on the tract/parcel map shall be relinquished or relocated. Lots affected by proposed easements or easements of record, which cannot be relinquished or relocated, shall be redesigned.
80. Any off-site grading easements shall be obtained and these areas shall be contour graded.
81. Applicant shall provide for street lighting within the tract as per adopted City standards and per Improvement Level requirements.
82. This project shall be required to annex into a Landscaping and Lighting Maintenance District (LLMD) or create a Homeowners Association (HOA) for new development if it is determined necessary for the provision of maintenance services per LLMD standards or specifications to public or common areas that may be a part of the development, and the applicant hereby agrees to waive the right to protest the formation of said district. Developer must submit to the City of Yucaipa two (2) blue-lines, full size, one (1) "as built" mylar landscape/irrigation plan, one (1) reduced 11 x 17 set, and one (1) 11 x 17 laminated set for the controller cabinet. Three copies of a Landscape Documentation Package, consistent with Division 10, Chapter 4, of the Development Code shall be submitted for review and approval. An Engineer's report shall be submitted and approved for the LLMD.
83. Prior to approval of the Final Map for recordation, annexation proceedings shall have been completed and the subdivision annexed into the City's Landscaping and Lighting Maintenance District for the provision of maintenance services to public and/or common areas within the subdivision. **The LLMD shall include a Dormant Homeowners Association to be activated should the LLMD for this project be disestablished.** As a condition of this subdivision approval, the applicant consents to the annexation of the subdivision into the Landscaping and Lighting Maintenance District, and agrees to waive and shall waive the right to protest said annexation, and assessment thereof for the provision of such maintenance services.

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84. An approved domestic water system and/or sewage collection system with adequate line and storage capacity to serve each parcel must be installed or bonded for. Contact Yucaipa Valley Water District for information regarding this procedure.

85. During installation of water and sewer lines, vehicular access along the public right of way shall be maintained and provide clearance for emergency vehicles. All necessary improvements shall be located within improved roadways that connect to the subdivision.
86. A Composite Development Plan, complying with Development Code Section 83.040505, shall be filed by the applicant with the Planning Division for review and approval.
87. The following building setback lines shall be delineated/noted on the Composite Development Plan:
  - A. A variable front yard building setback line of at least 25 feet.
  - B. A side yard building setback line of at least 15 feet adjacent to side streets on corner lots.
88. The Composite Development Plan shall include the following notes:
  - A. All parcels may be located within 1,320 feet of existing accessory animal raising uses which existed prior to the creation of this subdivision. Such uses will be protected from nuisance complaints pursuant to the City Development Code, Section 84.0560, entitled "Accessory Animal Raising".
  - B. Prior to occupancy, a minimum number of one (1) inch caliper/15 gallon, multi-branched trees and an appropriate groundcover shall be planted in the parkway within street right-of-way as follows:

Small trees: 25 feet on center  
Large trees: 30 feet on center

These trees are to be of a type and are to be placed in such a manner as indicated in note above.
  - C. Street trees in the parkway between sidewalk and curb shall be provided with a linear root barrier.
  - D. Specify three approved street tree types (actual variety is to be approved by the Planning Division) and detail the planting specifications as outlined in the City's Standards and Specifications for Tree Planting.
  - E. Prior to issuance of occupancy permits, slope planting shall be required for the surface of all cut slopes more than five (5) feet in height and fill slopes more than three (3) feet in height. Said slopes shall be protected against damage by erosion by planting with grass or ground cover plants.

Slopes exceeding eight (8) feet vertical height shall also be planted with shrubs, spaced at not to exceed ten (10) feet on centers; and trees, spaced at not to exceed thirty (30) feet on centers. The plants selected and planting methods used shall be suitable for the soil and climatic conditions of the site.

Trees 50% 15 gal.; 50% 5 gal.  
Shrubs 50% 5 gal.; 50% 1 gal;  
Groundcover 100% coverage.

- F. Prior to issuance of occupancy permits, slopes and parkways required to be planted shall be provided with an approved automatic system of irrigation, designed to cover all portions of the slope and parkway. A functional test of the system may be required. All irrigation systems, where required, shall be designed on an individual lot basis unless commonly maintained in an approved manner.
  - G. No grading or structures of any type shall be permitted in the open space easements, including walls or fencing. Fuel modification improvements, natural vegetation and/or re-vegetation in compliance with resource agency permits and regulations, drainage facilities, and trail improvements are permitted in the natural open space areas.
  - H. A six (6) foot decorative masonry wall shall be provided at the top of slope (if applicable) along the side and rear of lots adjacent to public roads and other walls as shown on the approved Tentative Map. All decorative walls shall be designed and constructed to incorporate design features such as tree planter wells, variable setback, split block face, columns, or other such features to provide visual and physical relief along the wall face. Decorative block walls may incorporate see-through features to take advantage of views, such as wrought iron or tubular steel sections between decorative block pillars, but must include a minimum two (2) foot masonry base. Walls along street frontage shall be provided with a seal coat of graffiti resistant paint and/or dense landscaping in front of the wall. No fence, wall, or retaining wall shall exceed six (6) feet in height (four (4) feet in front yard setback areas) unless a Variance is approved by the City.
89. Should a Mello-Roos Community Facilities District be formed to provide for City services, this project shall annex into the district if it is required by the City, and the applicant hereby agrees to waive the right to protest the formation of said district.



90. All lettered lots and open space easements for the preservation of natural undisturbed open space shall be dedicated to the City or other approved maintenance authority.
91. Proof of fee payment of Fish and Game fees pursuant to California State Assembly Bill 3158 shall be submitted.
92. The applicant/owner shall process a Condition Compliance Review through the City for verification of conditions prior to final map recordation.
93. The owner of the tentative tract map must establish a homeowners association (HOA) subject to covenants, conditions, and restrictions (CC&Rs) that are approved by the City Attorney. The CC&Rs must, at a minimum, set forth property maintenance standards that are enforceable by the City of Yucaipa. Furthermore, the CC&Rs must include provisions requiring that at least 80% of the housing units within the development be occupied by seniors aged 55 years or older in order to maintain the required ratio of senior-owned housing.
94. The owner must submit to the City of Yucaipa a viticulture conservation easement in favor of the City. The easement must ensure that the designated land within the tract will be preserved and used as a vineyard in perpetuity. In the event the land ceases to be used as a vineyard, the conservation easement must provide for the reversion of the land to the City of Yucaipa.
95. The owner is required to establish a Community Facilities District (CFD) for the purpose of financing the maintenance and operation of the vineyard property within the tract map. The CFD must include a default assessment mechanism that will take effect if the City of Yucaipa is required to maintain or operate the vineyard property. The CFD and its related assessments must be structured and implemented in accordance with applicable state and local laws, and the owner must cooperate fully with the City in the formation of the CFD.
96. The Covenants, Conditions & Restrictions (CC&Rs), which covenant shall run with the land, in a form satisfactory to the City Planner, shall require that the owners of the lots shall immediately remove any graffiti placed on publicly viewable trees, rocks or structures thereon to the City's satisfaction. The CC&Rs shall also prohibit the future subdivision of the site.
97. Two copies of the CC&R's shall be submitted to the Planning Division and City Attorney's office for review and approval to ensure consistency with City policies and standards.
98. Prior to recordation of the final map, the developer shall record Covenants, Conditions or Restrictions or other covenant establishing the 41 age-restricted lots (55 years and older) in accordance with applicable federal and state law, in a form satisfactory to the City Attorney.

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99. The project shall implement the mitigation measures listed in the adopted Mitigation Monitoring and Reporting Program.

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100. Three copies of a Landscape Documentation Package shall be submitted for Building and Safety Division review and approval. Said Landscape Documentation Package shall be consistent with the requirements of Chapter 4, of Division 10, of the Development Code and include all of the following elements:

A. Project Information

- (1) Date
- (2) Project Applicant
- (3) Project Address (if available, parcel and/or lot number(s))
- (4) Total Landscape Area (square feet)
- (5) Project Type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
- (6) Water Supply Type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
- (7) Checklist of All Documents in Landscape Documentation Package
- (8) Project Contacts (to include contact information for the project applicant and property owner)
- (9) Applicant Signature and Date (with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package").

(B) Water Efficient Landscape Worksheet

- (1) Hydrozone Information Table
- (2) Water Budget Calculations
  - (l) Maximum Applied Water Allowance (MAWA)

(II) Estimated Total Water Use (ETWU)

- (C) Soil Management Report
- (D) Landscape Design Plan
- (E) Irrigation Design Plan
- (F) Grading Design Plan
- (G) Certification of Substantial Completion (to be submitted after installation of the project).

A copy of the approved Landscape Documentation Package shall be provided to the property owner or site manager along with the record drawings and any other information normally forwarded to the property owner or site manager. A copy of the Water Conservation Concept Statement and the Certificate of Substantial Completion shall be sent by the project manager to the local retail water purveyor.

101. Three (3) copies of a Landscaping and Irrigation Plan shall be submitted for Building and Safety Division review and approval for all proposed lots (including areas to be maintained by a Landscape Maintenance District, which shall have separate landscape plans). Said Landscape and Irrigation Plan shall include all of the requirements specified in the current City of Yucaipa Landscape Design and Installation Guidelines, and shall also include the following:

A. The required slope planting. Slope planting shall be required for the surface of all cut slopes more than five (5) feet in height and fill slopes more than three (3) feet in height. Said slopes shall be protected against damage from erosion by planting with grass or ground cover plants. Slopes exceeding eight (8) feet in vertical height shall also be planted with shrubs, spaced at not to exceed ten (10) feet on centers; and trees, spaced at not to exceed thirty (30) feet on centers, per City Landscape Design and Installation Guidelines.

Trees 50% 15 gal.; 50% 5 gal.  
Shrubs 50% 5 gal.; 50% 1 gal.  
Groundcover 100% coverage

B. Parkway planting with trees and appropriate groundcover. Trees in the parkway between sidewalk and curb shall be provided with root barriers. Tree spacing/location:

Small trees: 25 feet on center  
Large trees: 30 feet on center

- C. A six (6) foot decorative masonry wall shall be provided at the top of slope (if applicable) along the side and rear of lots adjacent to public roads and as shown on the approved Tentative Map. All decorative walls shall be designed and constructed to incorporate design features such as tree planter wells, variable setback, split block face, columns, or other such features to provide visual and physical relief along the wall face. Decorative block walls may incorporate see-through features to take advantage of views, such as wrought iron or tubular steel sections between decorative block pillars, but must include a minimum two (2) foot masonry base. Walls along street frontage shall be provided with a seal coat of graffiti resistant paint and/or dense landscaping in front of the wall. No fence, wall, or retaining wall shall exceed six (6) feet in height (four (4) feet in front yard setback areas) unless a Variance is approved by the City.
- D. Neighborhood entry monuments, including elevations.
- E. All required and proposed multi-use trails, including specifications for construction.
- F. For landscape installations, Compost at a rate of a minimum of 4 cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six (6) inches into the soil. Soils with greater than six percent (6%) organic matter in the top six (6) inches of soil are exempt from adding Compost and tilling.
- G. Apply a minimum three- (3-) inch layer of mulch on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, leave up to five percent (5%) of the landscape area without mulch. Designated insect habitat must be included in the landscape design plan as such.
- H. Compost and mulch made by the City's franchised hauler or other designee from recovered organic waste products pursuant to 14 CCR Section 18993.1 shall take precedence over inorganic or virgin forest products when available locally.

102. All irrigation systems, where required, shall be designed on an individual lot basis unless commonly maintained in an approved manner.
103. All landscaping and irrigation systems shown on the approved landscape and irrigation plans, all required walls, trails, and/or other improvements shall be completed or suitable bonds shall be posted for their completion. Separate bonds are required for individual lots and Landscape Maintenance District Areas.

**THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:**

**BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263**

104. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.
105. The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
106. The structures shall comply with all structural and non-structural provisions of the California Building Code.
107. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer.
108. The perimeter of the jobsite shall have a properly installed, 6' high, construction fence with privacy cloth attached. The fencing and cloth shall be maintained and kept in good condition until such a time that the project has been completed, or a permanent perimeter wall is in place. All construction entrances/exits shall be approved in advance by city personnel.
109. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
110. New projects with a landscape area of 500 square feet or more, or projects rehabilitating an existing landscape area of 2,500 square feet or more shall comply with Sections 492.6(a)(3)(b) (c), (d) and (g) of the MWELo including the use of renewable organic waste products such as compost and mulch where applicable.
111. Three (3) copies of the grading plan shall be submitted to the Building and Safety Division for review and approval. A copy of the grading plan shall be submitted to the Planning Division when graded slopes exceed five (5) feet in height. All on-site cut and fill slopes shall:

- A. Be a part of the downhill lot when between individual lots, or as approved by the City Planner and City Engineer.
- B. Incorporate recommendations of the approved geology and soils reports.
- C. Be contour graded to blend with existing natural contours.
- D. Be limited to a maximum slope ratio of two-to-one (2:1) and a maximum vertical height of thirty (30) feet. Setbacks from the top and bottoms of slopes shall be a minimum of one-half (1/2) the slope height or per CBC.
- E. Preclude damage to the site and downstream properties during heavy storm run-off, especially during the construction stage by including a stringent slope, erosion, and sediment control program on the proposed grading plan. Any such damage allowed to occur will be the responsibility of the applicant.
- F. Be consistent with the requirements of Division 7, Chapter 11, of the Development Code, regarding Hillside/Ridgeline development standards and requirements. All open space easements and natural undisturbed open space shall be indicated as ungraded areas not to be disturbed.
- G. Provide letters of consent from adjacent property owners for proposed offsite grading.

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- 112. During installation of water and sewer lines, vehicular access along the public right of way shall be maintained and provide clearance for emergency vehicles. All necessary improvements shall be located within improved roadways that connect to the subdivision.
- 113. Any abandoned wells on the property or similar structures that might result in groundwater contamination shall be destroyed in a manner approved by the City.
- 114. Grading permits shall not be issued for any areas to be graded and remain undeveloped until a revegetation plan is approved by the Planning Division, and until bonds are posted for revegetation.
- 115. The project shall implement the mitigation measures listed in the adopted Mitigation Monitoring and Reporting Program.

**ENGINEERING DIVISION (909) 797-2489 EXT. 254**

116. Applicant shall submit a Notice of Intent and comply with the requirements of the General Construction Activity Storm Water Permit from the State Water Resources Control Board if the project site is one (1) acre or greater.
117. An on-site grading monitor shall be required in accordance with Development Code Section 87.1010 for all grading operations.
118. Prior to the alteration of any wetland habitats, the required permits or authorized clearance shall be obtained from the Department of Fish and Game in accordance with the Section 1600 et seq. of the State Fish and Game Code, from the United States Army Corps of Engineers in accordance with Section 404 of the Clean Water Act, and from the California Regional Water Quality Control Board Santa Ana Region in accordance with Section 401 of the Clean Water Act.
119. The applicant shall provide documentation indicating that the WQMP, grading plan, erosion control plan and landscape plan are consistent with each other. The documentation shall indicate that each document has been reviewed by the applicant for consistency.
120. Prior to signing of the improvement plans, any proposed grading within the road right-of-way shall be done under the direction of a Soils Testing Engineer, hired by the applicant. Compaction tests of embankment construction, trench backfill, and all subgrades shall be performed at no cost to the City. Prior to placement of any base materials, and/or paving, a written report shall be submitted by the applicant's engineer to the City Engineer for review and approval.
121. For any construction within City owned right-of-way, an encroachment permit, or authorized clearance, shall be obtained by the applicant from the Engineering Division.

**PRIOR TO ISSUANCE OF BUILDING PERMITS, THE FOLLOWING CONDITIONS SHALL BE MET:**

**BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263**

122. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.
123. The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
124. The structures shall comply with all structural and non-structural provisions of the California Building Code.

125. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer.
126. The perimeter of the jobsite shall have a properly installed, 6' high, construction fence with privacy cloth attached. The fencing and cloth shall be maintained and kept in good condition until such a time that the project has been completed, or a permanent perimeter wall is in place. All construction entrances/exits shall be approved in advance by city personnel.
127. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
128. For all required walls, the applicant shall submit plans to and obtain building permits from the Building and Safety Division.
129. Three copies of a Landscape Documentation Package shall be submitted for Building & Safety Division review and approval. Said Landscape Documentation Package shall be consistent with the requirements of Chapter 4, of Division 10, of the Development Code and include all of the following elements:
  - A. Project Information
    - (1) Date
    - (2) Project Applicant
    - (3) Project Address (if available, parcel and/or lot number(s))
    - (4) Total Landscape Area (square feet)
    - (5) Project Type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
    - (6) Water Supply Type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
    - (7) Checklist of All Documents in Landscape Documentation Package
    - (8) Project Contacts (to include contact information for the project applicant and property owner)
    - (9) Applicant Signature and Date (with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package").



- (B) Water Efficient Landscape Worksheet
  - (1) Hydrozone Information Table
  - (2) Water Budget Calculations
    - (I) Maximum Applied Water Allowance (MAWA)
    - (II) Estimated Total Water Use (ETWU)
- (C) Soil Management Report
- (D) Landscape Design Plan
- (E) Irrigation Design Plan
- (F) Grading Design Plan
- (G) Certification of Substantial Completion (to be submitted after installation of the project).

A copy of the approved Landscape Documentation Package shall be provided to the property owner or site manager along with the record drawings and any other information normally forwarded to the property owner or site manager. A copy of the Water Conservation Concept Statement and the Certificate of Substantial Completion shall be sent by the project manager to the local retail water purveyor.

130. Three (3) copies of a landscape and irrigation plan prepared by a Registered Landscape Architect for the planting (drought tolerant landscaping shall be utilized to minimize water consumption) and permanent irrigation system for the development, including setback areas and parkways, shall be submitted to the Building & Safety Division for review and approval. Said plans must be consistent with the City of Yucaipa Landscape Design and Installation Guidelines and include the following details:
- A. Voltage boxes, mailboxes, trash enclosures, maintenance structures, backflow devices, automatic controls, air conditioning/heating units, etc., to be shown on the plan and screened with landscaping and/or decorative fencing/trim.
  - B. A permanent automatically-controlled irrigation system.

C. Landscaping shall consist of drought tolerant vegetation appropriate to the local climate. Trees, shrubs and ground covers in the following quantities shall be required as follows:

1. Compost

Compost at a rate of a minimum of 4 cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six (6) inches into the soil. Soils with greater than six percent (6%) organic matter in the top six (6) inches of soil are exempt from adding Compost and tilling.

2. Tree planting (15 gallon size):

- a. 1 for each 600 sq. ft. of total landscaped area (one required, minimum);
- b. 80% of total trees required to be 15 gallon;
- c. 1 for every 12 parking stalls;

3. 24 to 96 inch box trees:

- a. 20% of total trees required (one required, minimum).

4. Tree Spacing/location:

- a. small trees: 20 feet O.C. max.;
- b. large trees: 30 feet O.C. max.;
- c. street trees: 15 gal. min./30 feet O.C. max.;
- d. min. 6 feet from curbs, paving and sidewalks;  
trees in parkway between sidewalk and curb shall be provided with a linear root barrier.

5. 5 gallon shrubs:

- a. 60% of total shrubs required to be 5 gallon;
- b. 10 for each 300 sq. ft. of landscaped area.

6. 1 gallon shrubs:

- a. 40% of total shrubs required.

7. Ground Cover:

- a. Drought tolerant adapted when mature, or native;

- b. Maximum spacing: 12 inches O.C., or as suitable for planting material;
  - c. Hydroseeding (establish recommended mixture); specify weight or volume per unit area.
7. Mulch:
- a. Apply a minimum three- (3-) inch layer of mulch on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, leave up to five percent (5%) of the landscape area without mulch. Designated insect habitat must be included in the landscape design plan as such
- D. Parking/vehicular circulation areas screened with landscaped berms adjacent to streets.
- E. Landscape detail of trash enclosures, to be located within 200 ft. of building pad.
- F. All walls and fences shall be shown, at the top of slope (if applicable), with the style, design, materials, and colors indicated.
- G. Design features to direct storm water run-off into landscaped pervious areas to achieve percolation into the ground before run-off flows reach the public rights-of-way.
- H. Detector-check valve assembly screening and camouflage, which shall include landscaped berms and/or depressions, shrub screening, and the painting of the equipment to match the landscaping. The height of the equipment shall not exceed the minimum ground clearance established by the applicable code. It is not permitted to be located within the front yard building setback area, unless otherwise approved by City Inspector.
131. New projects with a landscape area of 500 square feet or more shall comply with Sections 492.6(a)(3)(b) (c), (d) and (g) of the MWELo including the use of renewable organic waste products such as compost and mulch where applicable.
132. Compost and mulch made by the City's franchised hauler, Yucaipa Disposal, Inc. (909) 797-9125, or other designee from recovered organic waste products pursuant to 14 CCR Section 18993.1 shall take precedence over inorganic or virgin forest products when available locally.

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133. The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.
134. The City of Yucaipa has implemented development impact fees for various infrastructure and capital facilities needs generated by new development. These fees will provide for various capital facilities including, but not limited to, roads, parks, flood control and drainage, public facilities, and fire fighting facilities. This project shall be subject to all such development impact fees which are in effect at the time building permits are issued.
135. Provide plans for conceptual landscaping, fencing, and detailed building elevations including materials, finishes and colors for all houses for Planning Commission review and approval prior to issuance of building permits.
136. The project shall implement the mitigation measures listed in the adopted Mitigation Monitoring and Reporting Program.

**FIRE DEPARTMENT (909) 797-2489 EXT. 246**

137. Prior to any construction, the entire fuel modification zone required and approved by the Fire Department shall be completed. Any phased implementation of the required fuel modification zone shall be done only with prior approval of the Fire Department.
138. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.
139. An additional fuel modification zone of 100 feet shall be provided on all side(s) of the proposed structure(s). Fuels in this zone are to be thinned and/or removed or otherwise modified to provide a reasonable level of fire defense protection to the proposed structure(s).
140. Fire hydrants shall be installed and operational as per approved water system delivery plans **prior to any framing, construction, or delivery of combustible materials to project site.**
141. An alternative type of construction providing a higher level of fire resistance is required. Contact the Fire Marshall or City Building Official for more information.

**SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:**

**FIRE DEPARTMENT (909) 797-2489 EXT. 246**

142. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.
143. Fire Department access roadways and/or public/private streets exceeding one hundred fifty (150) feet in length shall have a Fire Department approved turn-around at the terminus (cul-de-sac). Minimum radius shall be not less than 40 feet.
144. Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).
145. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.
146. The Development and/or project, and each phase thereof, shall have a minimum of two (2) remote points of access, including a secondary access, for fire and other emergency equipment and for routes of escape which will safely handle evacuations.
147. The public roadways serving this project shall be named.
148. Street name signs shall be installed with approved names.
149. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated ("Knox" type) locks. For automatic gates, a "Knox" keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "Knox box" request forms are available from the Fire Department.

150. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single-family dwellings shall have numbers of 4" height, 1/2" stroke on contrasting background. Address numbers shall be low voltage, automatically electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4" in height, 1/2" stroke, on contrasting background shall be displayed at property access entrance.
151. Approved fire hydrant pavement markers shall be installed.
152. Residential automatic fire sprinklers shall be installed according to NFPA 13D, or Section R313 of the California Residential Code, and Fire Department requirements. Submit three (3) sets of shop plans with material cut sheets and hydraulic calculations for Fire Department review and approval prior to an installation. Submit copy of California C-16 license. Minimum water meter supplying a 13D system shall be 1" steel pipe, or 3/4" if other than steel pipe. Minimum pipe size for interior use shall be 1" steel pipe, or 3/4" if other than steel pipe (actual pipe size to be hydraulically calculated). Residential sprinkler heads of proper temperature rating shall be installed in attic and built-up storage spaces where mechanical equipment (fau, water heater, etc.) is installed.
153. Smoke detectors, hard wired in series with battery back-up, shall be installed in all sleeping areas and in all hallways and areas/rooms leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways. At least one smoke detector shall be installed on the first floor level.
154. Carbon Monoxide detectors shall be installed pursuant to manufacturer specifications.
155. For each chimney used in conjunction with any fireplace or heating appliance in which solid or liquid fuel is used, an approved spark arrester shall be installed and visible from the ground. Spark arrester shall be of stainless steel, copper or brass, woven galvanized wire mesh, twelve (12) gauge, and minimum of 3/8" to 1/2" maximum openings.
156. A class "A" roof covering structure with "bird stops" shall be installed.
157. High Fire Hazard Areas FR-1 & FR-2: one-hour fire resistive construction is required for exterior walls. Contact Fire Marshall or City Building Official for more information.
158. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.
159. Water heater (fuel fired) shall be property vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.

160. A one-hour fire rated, solid core, self closing door shall be installed between an attached garage and living space.
161. Submit to Fire Marshal's office building and/or structure plans for Fire Department Review.
162. High fire zone building requirements are required. Refer to California Building Code Chapter 7A and Yucaipa Development Code Section 85.020220.

**ENGINEERING DIVISION (909) 797-2489 EXT. 254**

163. Construction of private roads and private road related drainage improvements shall be inspected and certified by the City Engineer.
164. All required road and drainage improvements shall be completed. This also includes intersection improvements completed during the stop sign/traffic light traffic warrant analysis.
165. Projects subject to a building permit shall have all required on and off-site improvements, required for each phase, completed and approved prior to final inspection of any buildings or structures. The term "phase" as used here shall mean the following: "The block of building permits drawn on less than the whole project" or "A plan of building construction which indicates blocks of construction of less than the whole project." In each phase the installation of any on or off-site improvements shall be sufficiently completed so as to assure protection from storm or drainage run off, a safe and driveable access for fire and safety, and the ordinary and intended use of buildings or structures. The Building Official, with the concurrence of the City Engineer, may approve any plan or approve a change to an approved plan, which complies with the intent of this policy.
166. Developer shall be required to place construction traffic control in public right-of-way during the construction of off-site improvements. Traffic control devices shall be maintained 24 hours a day 7 days a week as directed by the City Engineer.
167. The Applicant shall submit the signed original Water Quality Management Plan (WQMP) Certification form to verify consistency of the BPMs shown on the as-built grading plans and landscape plans. In case of inconsistency, the Applicant shall revise the WQMP to match the as-built plans.

**PLANNING DIVISION (909) 797-2489 EXT. 224**

168. A minimum number of one (1) inch caliper/15-gallon, multi-branched trees shall be planted in the parkway within street right-of-way as follows:

Small trees: 25 feet on center  
Large trees: 30 feet on center

The variety of tree to be provided is subject to City approval and to be maintained by the property owner. Trees in the parkway between sidewalk and curb shall be provided with a linear root barrier.

169. The designated open space landscaping and vineyards identified in the PDP shall be installed.
170. The applicable planting, irrigation, walls, monuments, and other improvements shown on the approved landscaping and irrigation plan shall be installed.
171. Developers of residential development projects greater than a single dwelling unit shall submit a report detailing the percentage of project costs spent in the City of Yucaipa. At a minimum, this report shall contain a list of local businesses/individuals that have been solicited for bids and/or received contracts for materials or services.
172. Developers shall ensure that they recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste.
173. Developers of residential development projects greater than a single dwelling unit, commercial properties and multi-family dwellings shall submit a report, including invoices or proof of recovered organic waste product procurement (either through purchase or acquisition) pursuant to 14 CCR Section 18993.1, and submit records to the City's designee. Records shall include the source of product, including name, physical location, and contact information for each entity, operation, or facility from whom the recovered organic waste products were procured, type of product, quantity of product in tons or yards, invoice or other record demonstrating procurement.
174. The project shall implement the mitigation measures listed in the adopted Mitigation Monitoring and Reporting Program.



City of Yucaipa  
Planning Commission Minutes  
Regular Meeting of August 17, 2022

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A Regular meeting of the Planning Commission of the City of Yucaipa, California was called to order in the Council Chambers, 34272 Yucaipa Boulevard, Yucaipa, California, on August 17, 2022, at 6:30 PM.

**PRESENT:** J.R. Allgower, Chair  
Christopher Markarian, Vice Chair  
Richard Beck, Commissioner  
Tony Hicks, Commissioner  
Lloyd Rekstad, Commissioner  
Bart Brizzee, Commissioner  
Aron Wolfe, Commissioner

**ABSENT:** None

**CITY STAFF:** Benjamin Matlock, City Planner/Planning Manager  
Madeline Jordan, Assistant Planner  
Christian Farmer, Assistant Planner  
Katrina Kunkel, Associate Engineer  
Maria Koolhoven, Planning Commission Assistant

**CONVENE PLANNING COMMISSION**

The meeting was called to order at 6:31 PM, with the Pledge of Allegiance led by Commissioner Rekstad.

**ROLL CALL**

**PUBLIC COMMENT**

One public comment was received by mail from Bill McEwin for an item not on the agenda.

## **CONSENT AGENDA**

1. **SUBJECT:** Approve Planning Commission Minutes of July 20, 2022
2. **SUBJECT:** Approve Planning Commission Minutes of August 3, 2022

**ACTION:** MOTION BY Commissioner Rekstad, SECOND BY Commissioner Beck, CARRIED, 4-0-0-3, TO APPROVE CONSENT AGENDA ITEMS NO. 1.

**ACTION:** MOTION BY Commissioner Rekstad, SECOND BY Commissioner Beck, CARRIED, 5-0-0-2, TO APPROVE CONSENT AGENDA ITEMS NO. 2.

### **OLD BUSINESS:**

3. **SUBJECT:** Premium Land Development. Case No 21-085/GPA/LUCR/DBA: A General Plan Amendment to change the land use district from RM-10M (Multiple Residential) to RM-24 (High Density Multiple Residential) an affordability provision that will be executed through a Density Bonus Agreement and a Land Use Compliance Review to permit a privately gated 200-unit multi-family apartment Project on four parcels totaling 8.39 acres with a Density Bonus Agreement to covenant ten (10) percent of the units as low-income affordable; to be located between 3rd Street to the west, and 2nd Street to the east, at approximately 375 feet north of County Line Road. A lot merger will also be processed to consolidate all four parcels into a single lot. APNs 0319-253-28, -29, -30, -84. **(ITEM CONTINUED FROM AUGUST 3, 2022, PLANNING COMMISSION MEETING).**

**RECOMMENDATION:** That the Planning Commission discuss the project, and if the Planning Commission decides to support the approval of this proposal, recommend to the City Council that they:

- A) Adopt Resolution No. 2022-41, approving the minor General Plan Amendment / Land Use District Change of a property from RM-10M Multiple Residential, 10,000 square foot minimum lot size) to the land use designation of RM-24 (High Density Multiple Residential); and
- B) Approve first reading, by the title only, as read by staff, of Ordinance No. 412, amending Ordinance No. 343, amending the Official Land Use Plan and Zoning Ordinance as adopted by the City of Yucaipa; and
- C) Approve the Land Use Compliance Review (Case No. 21-085), subject to the Conditions of Approval as contained in this Agenda Report; and
- D) Adopt the Findings as contained in this Agenda Report; and
- E) Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and

- F) Direct staff to file a Notice of Determination; and,
- G) Review, and if it is considered acceptable, approve the architectural design and conceptual landscaping for the proposed Project.

**DISCUSSION:** Planning Manager/City Planner Ben Matlock informed the Commissioners that no new information had developed since the August 3, 2022, Planning Commission Meeting. Planning Manger Ben Matlock reminded the Commissioners that Public Comment was closed at the time, however there is the opportunity to re-open if they so choose to.

Commissioner Bart Brizzee and Commissioner Aaron Wolfe both informed staff and the public that they had reviewed the minutes and listened to the audio from the August 3, 2022, Planning Commission Meeting. Planning Manager Ben Matlock explained to the Commission that is up to the Planning Commission to review and make recommendations to City Council, noting that the General Plan Amendment is ultimately for City Council to make the final decision. Commissioner Bart Brizzee noted that he had concerns with the Project and felt that he would have difficulty meeting Findings 4 & 6 that are required for approval of the General Plan Amendment, Commissioner Rekstad, and Vice Chair Markarian agreed with the concerns over the Project and the appropriateness of the General Plan Amendment for this site. Commissioner Wolfe also noted concurrence with the concerns provided regarding the Amendment but iterated that the multiple-family project that was proposed with the Amendment was an attractive proposal.

**ACTION: MOTION BY Vice Chair Markarian, SECOND BY Commissioner Beck, CARRIED, 4-3-0-0, TO DENY AGENDA ITEM NO. 3 based on the inability to meet the required findings for approval.**

**PUBLIC HEARINGS:**

The order of Business for the Public Hearing Shall Be:

- |  |                                      |
|--|--------------------------------------|
| A. Staff Presentation                    | D. Applicant Rebuttal (if necessary) |
| B. Applicant/Representative Presentation | E. Public Hearing Closed             |
| C. Public Comments                       | F. Commission Discussion             |

- 4. **SUBJECT: Case No. 19-116/CUP:** A Conditional Use Permit (CUP) to provide a continuous authorization and holding of Project annual-held events in lieu of currently holding Special Event Permits. The CUP for the Project (aka Pumpkin Factory L.L.C) includes the construction of permanent vendor booth displays that will replace existing temporary structures and would memorialize implementation of traffic-related elements, traffic control provisions, street improvements, and other terms to facilitate the annual-held events. The 64-acre Project site is located at the southeast corner of Live Oak Canyon Road and the I-10 eastbound on-ramp. APN(S) 0301- 201-38, -39 and 0301-211-11.

**RECOMMENDATION:** That the Planning Commission conduct a public hearing; and:

- A) Approve the Conditional Use Permit, subject to the Conditions of Approval as contained in the Agenda Report; and
- B) Adopt the Findings as contained in this Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to Section 15323 (Class 23), as well as 15301 (Class 1) and 15311 (Class 11), of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and,
- D) Direct staff to file a Notice of Exemption.

**DISCUSSION:** Commissioner Hicks recused himself from this item due to a conflict of interest.

Assistant Planner Madeline Jordan presented the Agenda Report.

The applicant's representative, Paul Toomey addressed the Commission regarding this project. Paul Toomey noted that this is an annual event that has been happening for many years, but that it is not a year-round activity. He noted that the completion of this process will give the property owner the certainty that he will be able to have the event every year, while delineating clear requirements, and concluded that this event creates a positive impact to the community.

The applicant's other representative, Jasmine Hancock, also addressed the Commission regarding this project, and noted that conditions are included to ensure that there is a traffic control plan in place.

The applicant, Chris Rameson addressed the Commission regarding this project. Chris noted that he loves the City of Yucaipa and that he's worked hard to make the Pumpkin Patch a nice place for families to visit. He noted that he employs 700 employees during the season, and that by going through this process, he will have the assurance to hold the event.

**Public Comments:** No comments received.

**ACTION:** MOTION BY Commissioner Wolfe, SECOND BY Commissioner Brizzee, CARRIED, 6-0-0-1, TO APPROVE CONSENT AGENDA ITEM NO. 4.

5. **SUBJECT:** Premium Land Development on behalf of Yucaipa 52, LLC (Case No. 20-136/PDP/FDP/TTM 20375): A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lots on parcels greater than 12,000 square feet, several lettered lots for water quality basins, and a 27-acre remainder lot that would include space for vineyards as well as 13 acres of permanent open space, located on three existing parcels totaling 52 acres along the east side of Yucaipa Ridge Road directly south of the City limits to unincorporated San Bernardino County. APNs: 0320-161-08, 09, and 28.

**RECOMMENDATION:** That the Planning Commission conduct a public hearing; and if the Planning Commission decides to support the approval of this proposal, recommend to the City Council that they:

- A) Adopt Resolution No. 2022-47, approving a Preliminary Development Plan for the Serrano Estates Project; and
- B) Approve Final Development Plan/Tentative Tract Map No. 20375 (Case No. 20-136/FDP/TTM 20375), subject to the Conditions of Approval as contained in this Agenda Report; and
- C) Adopt the Findings as contained in this Agenda Report; and
- D) Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and,
- E) Direct staff to file a Notice of Determination.

**DISCUSSION:** Planning Manager/City Planner Ben Matlock presented the Agenda Report. He noted that additional written comments were received and have been added to the packet.

The applicant's representative, Travis Heaps addressed the Commission. Mr. Heaps noted that the development of this site has been in the works for 30 plus years. He emphasized that this was a Planned Development Project and not a General Plan Amendment. Mr. Heaps noted that the density is still consistent with the base density that is permitted, and that because the project is in the hills, the design would maintain the northern end of the property as natural open space. He also noted that their team held a community meeting to help answer questions and concerns, and from the comments that were received at the meeting, they had modified the multi-purpose trail and fencing for the development.

Vice Chair Markarian noted that an issue he has with the Project is with the Planned Development design. He noted that he recognizes that the design serves to implement the viticultural goals of the community, but that the flow and transition from the existing neighborhood to the proposed

project with this specific proposal appears too abrupt. He referenced the efforts for the Wine Specific Plan, noting how the proposed land use district locations and development standards were deliberately designed to make a more logical transition from the vacant areas and the surrounding area and asked if potential revisions could be made to improve the transition.

**Public Comments:** Twenty-three speaker forms were received.

Teri Boon - Yucaipa Ridge Road - She noted that the proposed project is on the main San Andreas fault area and is also a current flood zone. She noted that there will be an issue with the wildlife in the area. She noted that she is not opposed to a project developed on the site but is opposed to less than a 1-acre property and iterated that a minimum of 1 acre is required if a family wants to grow their own food due a manufactured food crisis, and that families should be able to raise their animals on their property. She also noted that while the nearby winery owner has been a great and helpful neighbor, those visiting the winery are driving down the road too fast and concluded that she is opposed to this project.

Heather Dent - Country Lane - She noted that she has lived in Yucaipa all her life. She noted that she likes the 1-acre lot idea and believes that this proposal presents a sweetheart deal with the developer to retain ownership of half of his property after being allowed to build 51 houses on 12 acres and would allow him to lease back the property for perpetual income. She noted that building 51 homes on 12 acres is not congruent with the General Plan and does not want to see what would appear like a mobile home park in the neighborhood. She loves the idea of vineyards in the area however would like a better presented project with 1-acre minimum lots.

Lucinda Brinks - Diamond Street - She noted that she and her husband built their home and have lived in Yucaipa since 1987. She noted that they were attracted to the rural living of the North Bench and objects the proposed land use change. Additional concerns she had in regard to past fires, mudflows and earthquakes that have called for mandatory evacuations for that area in the past five years.

Joshua Morgan - Fremont Street - He noted that he was representing his four brothers and himself, and wanted to share a young person's perspective. He noted that they previously lived in a track home area and moved to the North Bench noting that he and his sibling are excited to be in the North Bench. He noted that he would not like to see smaller homes built like where he originally lived.

Daniel Morgan - Fremont Street - He noted that he had written a letter that was included in the Packet and read the letter to the Commissioners to reiterate his opposition to the project.

Ramona Etheredge - Ivy Court - She noted that she loves the 1-acre lots and being able to have animals. She also noted that the evacuations they had during the past fires was very scary and could not imagine having additional residents in harm's way from the fires and the floods that from the aftermath. She also noted that the area has low water pressure. Before commenting that she is opposed to the project.

Steve Freeman - Juniper Ave - He noted that traffic is a big concern as well as, a seismic area along the northern side of the project, commenting that this area is not buildable land and therefore should not count towards the development potential. He also referenced that when

he purchased his property in 2008, he had met with City Staff, and was informed that that area would remain as 1-acre lots, and therefore opposes to the project.

Ross McGinnis - Azurite Street - He noted he moved to the North Bench 20 years ago, to have a rural lifestyle and that 400 additional vehicles in the area would cause metropolitan traffic conditions that would completely change the atmosphere, and therefore opposes the project.

Alice Ames - Yucaipa Ridge Road - She noted that traffic is a big concern due to there only being one way in and one way out of the neighborhood as well as that the wildlife, such as bears, bobcats, birds, and foxes will all be affected. She noted that this proposed project, is everything the North Bench isn't.

Sherry Todd - Quartz Street - She noted that she has been at her home since 1983 and had at that time always knew she would be on a 1-acre lot, and this proposal is therefore a big surprise to her, and she anticipated it to remain the same. She noted that the current property owner purchased the property in 2014 and should have been aware of the minimum 1-acre ordinance, disagreeing with the comments made at the community meeting, stating that 1-acre lots were not proposed because the profits weren't there. She concluded that money, is not her nor any of her neighbor's problem and would like the project rejected.

Colleen Wang - Quartz Street - She noted that the 52 homes should not be channeled down two streets, and instead should have three streets to work. She commented that the neighborhood does not want this development, and neighbors like herself rides horses and, with the proposed project, won't be able to access the trails. She notes she is not opposed to development but that this should remain with one acre lots.

Hansen Wang - Quartz Street - He noted that the proposed development will restrict his views, traffic is a big cause for concern, and that he shares the same feeling as the rest of his neighbors in opposing the project.

Erik Sahakian - Golden Crown Way - He noted that he is running for the District 1 council seat and that he is at the meeting to support his friends and community in the North Bench who are against the development of any land for housing that does not support the North Bench's unique beauty. He noted that he lives in Chapman Height, and while he loves his neighborhood noted that the North Bench should not be turned into Chapman Heights. He concluded that housing is necessary and important, but not at the expense of community ideals, and that the North Bench represents the soul of Yucaipa.

Paul Wohlers - Yucaipa Ridge Road - He noted that his concern with the proposed project is from prior seismic trenching that was not correctly compacted, noting that future work will require testing and re-compaction. He also noted concerns with the existing water pressure.

Donna Snodgrass - Walnut Grove Court - She noted that she is the Vice President to the Yucaipa Valley Wine Alliance and 18 months ago she circulated a petition to stop cluster housing on the North Bench during the initial review of the wine country discussions. She noted that since that time, she was appointed to the Yucaipa Valley Wine Country Planning Committee and is currently the Vice Chair, and while learning more about the properties and legal rights, her approach changed to find workable solutions. She noted that the Wine Country Planning Committee is proposing a new zoning that would provide for the agricultural and

open space features desired, and that Developer and landowner for the Serrano Estates continues that approach and takes it a step further; by committing to grading and planting the entire vineyard area before pulling a single building permit. She stated that she urges and supports for the plan being presented with some of the changes that were brought up by Vice Chair Markarian.

Cesar Roldan - Pendleton Road - He stated that as a general ideal, he is not in favor of cluster housing; nor does he want to see the North Bench fully developed with housing. However, he noted that throughout his career as a realtor he tries to create a win, win approach. He commented that current requirements are not set in stone; and could change due to the pressure for more housing, stating that if nothing is done to preserve the fifty percent of the land for viticulture and open space, the entire land may be lost to development in the future. He concluded by commenting that if this project is not approved, it will be devastating to the future of Yucaipa, and supports the project that is proposed.

Landon Myers - Oak Mesa Drive - He noted that he is the Project Manager for Vines of the Valley, and that since 2020, they have over six thousand vines in the Yucaipa region. He noted that as a representative of the community vineyard installers and grape growers, he supports the proposed project.

Kevin Miskin - Ivy Ave - He noted that the City of Yucaipa does not need more wine but that instead need water. He noted he rejects the proposed project from an engineer's perspective, commenting that the flat and square lots proposed do not blend into the current topography. He noted that the future development should remain as 1-acre, single story custom homes, and therefore opposes the project.

Trevor Leja - Yucaipa Ridge Road - He noted that he appreciates the inclusion of vineyards and generally supports development of the vineyard. He further states that his concerns are with lot sizes and existing road conditions, noting that the proposed Project should maintain one acre lots, and that Yucaipa Ridge Road should be improved along the entire frontage north of Quartz Street as to allow for development in the County area. He concluded that the project is not consistent with rural character of the current neighborhood and is opposed to the project.

Gina Hadder - Palermo Court - She noted that she is here in support for the people opposing the project, commenting that she has lived in Yucaipa for twenty-four years and had purchased her home for the rural feel from the 1-acre lots. She concluded that she has concerns about the noise, light and environmental pollution.

Brian Plein - Ivy Avenue - He noted that he has lived in the North Bench for twenty-two years and that the "one acre one house" should not be changed to keep the rural feel. He concluded that the residents of the North Bench should not be penalized because the developer cannot build fifty-one homes of fifty-one acres.

Kathy Dupper - Fremont St - She noted that her concern is the size of residential lots, commenting that Yucaipa has long been an equestrian community and the lots proposed would be too small for horse ownership. She noted that she opposes the project.

Bob Miller - Crystal Street - He thanked the Planning Commission for their service and for listening to all the concerned residents. He noted that when he thought about retirement, he



wanted to live in a town that was quiet and peaceful, and that he found that in Yucaipa. He noted that the area is special and that he wouldn't want the specialness taken away.

The applicant, Mr. Craig Heaps noted that he read the comments regarding the zone change and wanted to clarify that they are not changing the zone nor doing a General Plan Amendment, but instead using an existing process in the City's Code. He understands that there are compromised areas within the property and that would limit the ability to build 1-acre lots all over the property, commenting that their approach was designed to take advantage of the best parts of the site. He iterated that if this project doesn't work, then nothing will work. He responded to the comment that the project looks square, agreeing that they had some challenges to best make the streets work with the grading, iterating this was not an easy project to put together, but they ultimately have still designed a great project. Mr. Heaps also responded to the comments regarding animal keeping, not that there would not be large animal keeping on these lots and that it was not planned as an equestrian community. He also responded to the comments regarding water, not that there is enough water and sufficient water flow as provided by the "will serve" letters from Yucaipa Valley Water District, and they would be responsible for the infrastructure meeting the required water flow and pressure requirements. He also responded to the traffic concerns, iterating that they will assess the stop signs at and near the Project. Mr. Heaps also provided a response to lot sizes, commenting that part of the goal of the Project is to provide open space and opportunities for vineyards – larger lots would in turn reduce those desired elements.

Vice Chair Markarian; stated that he respectfully disagrees with Mr. Heaps' comment that if this does not work, then nothing will work. Mr. Markarian noted that he is not opposed to development, nor that the general concept presented for this particular project is bad but iterated that additional design improvements should be made to better facilitate the transition of the neighborhood, and suggested that Mr. Heaps work with the neighbors to ensure that the rural feel is maintained as part of the site design. Additional efforts to help bridge the design by modifying the Planned Development standards, like the efforts of the Wine Country Specific Plan, would help him to ultimately support the Project.

Commission Wolfe noted that while he understands what Vice Chair Markarian is saying, the fact is that the neighborhood does not want any development and stated that such efforts would not appeal to those that spoke. Vice Chair Markarian added that strict adherence to one acre lots is not a reasonable solution and ultimately misses important opportunities to preserve key features, but that there may be a better middle ground.

Chair Allgower noted that the community has expressed a desire to support agriculture and wine making in the City, and that they need to make a decision that is good for the community.

Commissioner Hicks noted that he has lived in the City for close to 40 years, and that he lives in the transition between large lots, up to 40 acres, in Wildwood Canyon and residential lots that are smaller than those that are proposed. He noted that transitions must occur somewhere, and he likes his large lot neighbors as well as his smaller lot neighbors and acknowledged that the smaller lot neighbors like to have the proximity to the rural areas so they can too enjoy the area. He also noted that the North Bench used to be much larger lots for chicken ranches and has transitioned to what we have now because of prior developers. Opportunities to preserve open space areas free from development is a better way to go.

Commissioner Rekstad felt that the Project represents a clash of cultures, going from the larger lots that have a “scruffier” appearance to 51 lots that are likely to be highly manicured. He felt that the Commission should honor the wishes of the existing neighborhood. He also noted that the applicant’s financial investment for the site and property is not a deciding factor for the Commission to consider.

The Public Hearing was then closed.

Commissioner Wolfe clarified that this project takes an approach that is allowed by the City’s codes, and Commissioner Rekstad and Vice Chair Markarian responded that while the process is allowed, they should find something that works best to which Commission Wolfe responded that he does like the Project.

Commissioner Bart Brizzee addressed and thanked the public for attending, as he has not experienced such a big outpouring like this and their willingness to stay until 11:30 p.m., Mr. Brizzee clarified the role of the Planning Commission and standards they have to follow, iterating that their role is not to determine which projects they do or don’t like, but rather how does the Project meet or not meet the policy directive that has been established, and this project in particular will need Council’s final approval whole will consider all of the goals they are trying to achieve for the community. Mr. Brizzee noted that if this was just a zoning, then it would be an easy call for him. However, the level of opposition to the project suggests that the implementation of this tool and the specific standards that have been proposed may not be appropriate from his perspective but noted that it is ultimately a call for the City Council to make.

**ACTION: MOTION BY Commissioner Wolfe, SECOND BY Commissioner Hicks, CARRIED, 3-4-0-0, TO APPROVE TO RECOMMEND TO THE CITY COUNCIL CONSENT AGENDA ITEM NO. 5. Motion Fails and project is not recommended for approval.**

6. **SUBJECT:** Case No. 22-053/CUP/MNV: A Conditional Use Permit for the establishment of a construction services site that includes a 3,900 square foot material and equipment storage facility, three (3) 200 square foot on-site storage containers and a future 570 square foot modular office, and includes a Minor Variance request for a 40 percent reduction in the side yard setback located at a vacant parcel on California Street. APN:0319-212-09.

**RECOMMENDATION:** That the Planning Commission conduct a public hearing; and:

A) Approve the Conditional Use Permit, Architectural Design, and conceptual landscaping subject to the Conditions of Approval as contained in the Agenda Report;

B) Adopt the Findings for the Conditional Use Permit as contained in this Agenda Report; and

C) Adopt the Minor Variance Findings as contained in the Agenda Report; and

D) Adopt a Categorical Exemption pursuant to Section 15305 (Class 5) and Section 15332 (Class 32) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and,

E) Direct staff to file a Notice of Exemption.

**DISCUSSION:**

Assistant Planner Christian Farmer presented the project.

Planner Christian Farmer noted that several notices were sent to all property owners within 300 feet of this project and only one verbal comment was received by the neighbor directly to the south who indicated their support for the project.

The applicant's representative, Steve Ritchey, addressed the Commission and requested that the project be approved. He noted that he was available to answer any technical question any of them might have.

Public Comments: None.


**ACTION: MOTION BY Vice Chair Markarian, SECOND BY Commissioner Hicks, CARRIED, 7-0-0, TO APPROVE CONSENT AGENDA ITEM NO. 6.**

**ANNOUNCEMENTS:** The next Planning Commission Meeting is scheduled for September 7, 2022.

Ben Matlock noted that there will be a Planning Commissioner Training in Rancho Cucamonga on August 26, 2022, being hosted by Institute for Local Government.

**ADJOURNMENT**

The meeting adjourned at 11:46 PM.

  
\_\_\_\_\_  
Benjamin Matlock  
Planning Manager/City Planner  
\_\_\_\_\_

  
\_\_\_\_\_  
JR Allgower  
Chair of the Planning Commission

City of Yucaipa  
City Council Minutes  
Regular Meeting of September 12, 2022

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A Regular meeting of the City Council of the City of Yucaipa, California was called to order in the Council Chambers, 34272 Yucaipa Boulevard, Yucaipa, California, on September 12, 2022, at 6:00 PM.

**PRESENT:** David Avila, Mayor  
Greg Bogh, Councilmember  
Bobby Duncan, Councilmember  
Jon Thorp, Councilmember  
Ray Casey, City Manager  
Jennifer Crawford, Assistant City Manager/City Clerk  
Amy Greyson, Assistant City Attorney

**ABSENT:** Justin Beaver, Mayor Pro Tem

**CONVENE CITY COUNCIL**

The meeting was opened by Captain Landen with the Pledge of Allegiance led by Pickleball Ambassador and former Councilmember Diane Smith.

City Manager Casey requested that Agenda Item No. 17 be removed from the Agenda and brought back to Council at a future City Council meeting and announced that a revised Agenda Item No 24 was distributed to Council and made available to the public.

**ACTION: MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER DUNCAN, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO REMOVE AGENDA ITEM NO. 17 FROM THE AGENDA AND TO BRING THE ITEM BACK TO COUNCIL AT A FUTURE CITY COUNCIL MEETING.**

**PUBLIC COMMENT**

Richard Frost, Yucaipa, stated his concerns with the Omnitrans transit system and the impact of over-crowding conditions due to the number of student riders that utilize Omnitrans.

Irene P. stated her concerns with the negative impacts that 5G, wireless, cell towers and LED lighting have on nature and the environment.

Jo Sutt, Yucaipa, stated that there will be a few years to assess how the recent biennial review of the City's Mobilehome Rent Stabilization Program will affect park residents and owners. Ms. Sutt spoke about the conditions of various mobilehome parks, and the tenants living in the parks and encouraged Councilmembers to attend "meet and greet" gatherings at various mobilehome parks.

## CONSENT AGENDA

Mayor Avila asked if there were any Consent Agenda items to be removed for discussion. No items were removed for discussion.

1. **SUBJECT:** APPROVE COUNCIL MINUTES OF AUGUST 22, 2022

**RECOMMENDATION:** That City Council approve City Council Minutes of August 22, 2022.

2. **SUBJECT:** EXTENDING THE EXISTENCE OF A LOCAL EMERGENCY DUE TO THE COVID-19 PANDEMIC IMPACT ON THE EMERGENCY MEDICAL SERVICES SYSTEM

**RECOMMENDATION:** That City Council review the need to continue the local emergency, thereby recognizing the continued existence of perilous conditions as a result of the COVID-19 Pandemic impact on the Emergency Medical Services system.

3. **SUBJECT:** MONTHLY TREASURER'S REPORT: MAY 2022

**RECOMMENDATION:** That City Council receive and file the Monthly Treasurer's Report for May 2022.

4. **SUBJECT:** CONSIDERATION OF A DEVELOPMENT CODE AMENDMENT (ORDINANCE NO. 350) INITIATED BY THE CITY AMENDING VOLUME II (DEVELOPMENT CODE) OF THE YUCAIPA MUNICIPAL CODE TO AMEND CHAPTER 4 (LAND USE MODIFICATIONS) OF DIVISION 5 (OVERLAY DISTRICTS) TO ESTABLISH A COLLEGE VILLAGE OVERLAY DISTRICT AND TO ADOPT OVERLAY DISTRICT GUIDELINES CONSISTENT WITH THE GENERAL PLAN AS UPDATED IN 2016.

**RECOMMENDATION:** That City Council waive further reading and adopt Ordinance No. 350 initiated by the City to amend Chapter 4 (Land Use Modifications) of Division 5 (Overlay Districts) to establish a College Village Overlay District and to adopt Overlay District Guidelines consistent with the General Plan as updated in 2016.

5. **SUBJECT:** BIENNIAL REVIEW OF MOBILEHOME RENT STABILIZATION ORDINANCE AND RESOLUTION

**RECOMMENDATION:** That City Council waive further reading and adopt Ordinance No. 413, amending Sections 15.20.010, 15.20.020, 15.20.030, 15.20.050, 15.20.060, 15.20.073, 15.20.080, and 15.20.140 of Chapter 15.20 of Title 15 of the Yucaipa Municipal Code ("YMC") Regarding the Mobilehome Rent Stabilization Program and the 2021-2022 Biennial Review

6. **SUBJECT:** 2023 MOBILEHOME PARK ANNUAL REGISTRATION FEE

**RECOMMENDATION:** That City Council adopt Resolution No. 2022-51, rescinding Resolution No. 2021-52 and amending Resolution No. 2011-52 Section 2.0007(B)(C)(D),

establishing the 2023 annual registration fee for the enforcement of the Mobilehome Rent Stabilization Ordinance.

7. **SUBJECT:** CHANGE ORDER NO. 2 - LEFT TURN PHASING TRAFFIC SIGNAL MODIFICATION AT VARIOUS LOCATIONS PROJECT – PROJECT NO. 11142

**RECOMMENDATION:** That City Council:

1. Amend the FY2022/2023 Capital Improvement Program (CIP) by adding the amount of \$85,000 in Highway Safety Improvement Program grant funds to the Left Turn Phasing Traffic Signal Modification at Various Locations Project – Project No. 11142 (Project); and
2. Approve and authorize the City Manager to execute Change Order No. 2 to the contract with Alfaro Communications Construction Inc. (Contractor) for the Project in the amount of \$21,440.21 for the replacement of the damaged concrete traffic signal pole foundation at the intersection of Oak Glen Road and Avenue E for a new proposed revised contract amount of \$517,532.20.

8. **SUBJECT:** CHANGE ORDER NO. 1 - PEST MANAGEMENT PROGRAM – PROJECT NO. 11143

**RECOMMENDATION:** That City Council approve Change Order No. 1 to the contract with Animal Pest Management for the Pest Management Program – Project No. 11143 in the annual amount of \$900 (\$75/month) for pest management services at Cal Fire/Oak Glen Station No. 555, for a revised annual total contract in the amount of \$7,662.

9. **SUBJECT:** ACCEPTANCE OF CONTRACT WORK – 2021/2022 STREET STRIPING PROGRAM - PROJECT NO. 11157

**RECOMMENDATION:** That City Council:

1. Accept the contract work completed by Superior Pavement Markings, Inc. in the amount of \$65,261 for the 2021/2022 Street Striping Program- Project No. 11157; and
2. Authorize the recordation of the Notice of Completion for the project.

10. **SUBJECT:** ACCEPTANCE OF CONTRACT WORK – 2020/2021 & 2021/2022 STREET REHABILITATION PROGRAMS- PROJECT NO. 11152

**RECOMMENDATION:** That City Council:

1. Accept the contract work completed by Matich Corporation in the amount of \$2,716,221 for the 2020/2021 & 2021/2022 Street Rehabilitation Programs- Project No. 11152; and
2. Authorize the recordation of the Notice of Completion for the projects; and
3. Adopt Resolution No. 2022-53, approving the revised Measure I Five-Year Capital Improvement Plan for FY2021/2022 through FY2025/2026.

11. **SUBJECT:** ACCEPT OFFER OF DEDICATION FROM LIVE OAK CANYON INVESTMENTS, LLC LOCATED AT 32303 LIVE OAK CANYON ROAD; APN: 0301-201-38

**RECOMMENDATION:** That City Council:

1. Accept an Offer of Dedication for Road and Utility Purposes from Live Oak Canyon Investments, LLC on APN 0301-201-38; and
2. Authorize the City Manager, or his designee, to execute the necessary documents to complete the acquisition process.

12. **SUBJECT:** AWARD CONTRACT - TRAFFIC CALMING- INSTALLATION OF ASPHALT SPEED HUMPS AND STRIPING- PROJECT NO. 11177

**RECOMMENDATION:** That City Council:

1. Award and authorize the Mayor to execute a contract in the amount of \$38,400 with Hardy & Harper Paving, Inc., of Lake Forest, CA for the Traffic Calming- Installation of Asphalt Speed Humps and Striping- Project No. 11177; and
2. Approve the amount of \$5,000 for construction contract contingency and the amount of \$4,000 for construction contract administration/inspection costs for a total construction budget in the amount of \$47,400; and
3. Approve the Plans and Specifications prepared for this project.

13. **SUBJECT:** FONEL, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY (BOGH DBA): A DENSITY BONUS AGREEMENT FOR (CASE NO. 21-034/CUP/DBA/ARC/LUCR) TO ALLOW A 100% INCREASE IN LAND DENSITY AND PERMIT A 32-UNIT SENIOR HOUSING PROJECT ON A 1.97-ACRE PARCEL LOCATED AT 12301 3<sup>RD</sup> STREET; APN: 0319-351-02

**RECOMMENDATION:** That the City Council approve the attached Density Bonus Agreement (DBA) for the Bogh Senior Housing Project which will set forth the reporting requirements and covenants that are necessary to ensure that the target senior rental units associated with Case No. 21-034/CUP/DBA/ARC/LUCR remain available as intended by the original density bonus request that was associated with the approved entitlement.

14. **SUBJECT:** FISCAL YEAR 2023 CALIFORNIA FIRE FOUNDATION GRANT

**RECOMMENDATION:** That City Council accept the Fiscal Year 2023 California Fire Foundation Grant awarded to the Yucaipa Fire Department in the amount of \$15,000.

**ACTION:** MOTION BY COUNCILMEMBER DUNCAN, SECOND BY COUNCILMEMBER THORP, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE CONSENT AGENDA ITEMS NO. 1 THROUGH 12 AND CONSENT AGENDA ITEM NO. 14.

**ACTION: MOTION BY COUNCILMEMBER DUNCAN, SECOND BY COUNCILMEMBER THORP, CARRIED, 3-0-1-1 (MAYOR PRO TEM BEAVER ABSENT, COUNCILMEMBER BOGH ABSTAINED), TO APPROVE CONSENT AGENDA ITEM NO. 13.**

**MAYOR AND COUNCILMEMBER BUSINESS (REPORTS)**

Mayor Avila reported that he and City Manager Casey attended the League of California Cities Conference last week. Mayor Avila stated that he learned that the State does not have a plan to provide enough electricity to sustain the electrification that Governor Newsom wants. Mayor Avila further reported that he attended a presentation pertaining to outdoor dining that addressed some of the challenges that many communities have experienced. Mayor Avila added that there is a movement for local governments to retain local control.

City Manager Casey reported that the session pertaining to ARPA funding and potential alternatives was illustrative and that the collaborative discussions outside of the meetings regarding county/city initiatives were helpful.

Councilmember Bogh reported that the City's first 911 Memorial Event was well attended and thanked staff, Mayor Avila, Supervisor Rowe, Senator Bogh and CalFire for their contributions to the Memorial.

Mayor Avila reported that a Flag Repository is now located at City Hall and discussed the process and tradition of properly retiring flags. Mayor Avila explained that the Repository will ensure that the traditions and ceremony are utilized in the retirement of the flags.

Mayor Avila further reported that staff will be presenting options to City Council for a 911 Memorial in the coming months.

**POSSIBLE ACTION ON PENDING LEGISLATION**

City Manager reported that the Assembly Bill regarding the Fast-Food Accountability and Standards Recovery Act had been signed by Governor Newsom.

15. **SUBJECT:** SENATE BILL 1186 (WIENER) – MEDICINAL CANNABIS PATIENTS' RIGHT OF ACCESS ACT

**RECOMMENDATION:** That City Council review and approve a letter of opposition for Senate Bill 1186 (Wiener), the Medicinal Cannabis Patients' Right of Access Act which, on and after January 1, 2024, would prohibit a local jurisdiction from adopting or enforcing any regulation that prohibits the retail sale by delivery within the local jurisdiction of medicinal cannabis to medicinal cannabis patients or their primary caregivers by medicinal cannabis businesses.

**DISCUSSION:** City Manager Casey presented the Agenda Report.

After Council discussion, the following Motion was made:



**ACTION: MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER THORP, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.**

**DEPARTMENT REPORTS**

**16. SUBJECT: LAW ENFORCEMENT SERVICES**

**RECOMMENDATION:** That City Council approve an amendment to the Law Enforcement Services Contract (Schedule A) between the City of Yucaipa and the San Bernardino County Sheriff's Department, for a total annual service contract in an amount not to exceed \$12,627,007, less the annual personnel credit in the amount of \$621,182, for a total net contract amount of not to exceed \$12,005,825 and allocate an additional \$275,569 from Fund-46 State Law Enforcement Grant for Fiscal Year 2022/2023.

Councilmember Thorp recused himself due to a potential conflict of interest.

**DISCUSSION:** City Manager Casey presented the Agenda Report.

After Council discussion, the following Motion was made:

**ACTION: MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER DUNCAN, CARRIED, 3-0-2-0 (MAYOR PRO TEM BEAVER AND COUNCILMEMBER THORP ABSENT), TO APPROVE STAFF RECOMMENDATION.**

**18. SUBJECT: CHANGE ORDERS TO DEVELOPMENT SERVICES AND FIRE DEPARTMENT PURCHASES FOR FISCAL YEAR 2021/2022**

**RECOMMENDATION:** That City Council:

1. Authorize the City Manager to approve Change Order No. 1 with Econolite Systems for the Traffic Signal Maintenance Program in the Amount of \$21,400 to cover additional costs for necessary traffic signal repairs for a revised total purchase order in the amount of \$114,937.72 for FY2021/2022; and
2. Authorize the City Manager to approve Change Order No. 1 with Allison Mechanical for the HVAC Maintenance Program in the amount of \$7,300 to cover additional costs for necessary HVAC repairs for a revised total purchase order in the amount of \$41,268 for FY2021/2022; and
3. Authorize the City manager to approve a Change Order with Allstar Fire Equipment for the Self Contained Breathing apparatus (SCBA) Air Pack Harness Testing and Emergency Breathing Safety Systems (EBSS) in the amount of \$10,150.88 for required updated equipment for a revised total purchase order in the amount of \$30,150.88 for FY2021/2022; and
4. Authorize City Manager to approve a Change Order with Fire Apparatus Solutions for the routine maintenance of engine E552A in the amount of \$1,837.34 to Cover

additional costs of required repairs to engine E552A for a revised total purchase order in the amount of \$26,839.34 for FY2021/2022

**DISCUSSION:** Director of Development Services/City Engineer Preciado presented the Agenda Report.

**ACTION:** MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER DUNCAN, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.

19. **SUBJECT:** PROJECT MANAGEMENT SERVICES FOR TYLER MUNIS FINANCE SYSTEM PHASE III, HUMAN CAPITAL MANAGEMENT PHASE II AND ENTERPRISE PERMITTING AND LICENSING SOFTWARE PHASE I IMPLEMENTATION

**RECOMMENDATION:** That City Council approve and authorize the City Manager to execute Amendment No. 1 to the Professional Services Agreement with SDI Presence LLC, in the amount of \$222,370 for Project Management services for Tyler Munis Finance System Phase III, Human Capital Management Phase II and Enterprise Permitting and Licensing Software Phase I Implementation.

**DISCUSSION:** Assistant City Manager Crawford presented the Agenda Report.

**ACTION:** MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER THORP, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.

20. **SUBJECT:** FIVE WINDS COUNTRY MUSIC FESTIVAL WRAP-UP

**RECOMMENDATION:** That City Council:

1. Receive and file the Five Winds Country Music Festival Wrap-up Report; and
2. Approve the 2023 Five Winds Country Music Festival.

**DISCUSSION:** Director of Community Services Wolfe presented the Agenda Report.

After Council discussion, the following Motion was made:

**ACTION:** MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER THORP, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.

21. **SUBJECT:** REDUCING THE RISK OF FIRES ASSOCIATED WITH HOMELESS ENCAMPMENTS IN HIGH FIRE HAZARD SEVERITY ZONES

**RECOMMENDATION:** That City Council:

1. Review the need to prohibit homeless encampments in Very High Fire Hazard Severity

Zones; and

2. Direct Yucaipa Fire Department in collaboration with the Yucaipa Police Department to ensure that Very High Fire Hazard Severity Zones remain free of encampments; and
3. Find that the proposed actions are not a project pursuant to the California Environmental Quality Act (CEQA) since they are activities that are excluded from the definition of a project by section 21065 of the California Public Resources Code and section 15378(b) of the State CEQA Guidelines. The proposed actions are organizational or administrative activities of government which will not result in direct or indirect physical changes in the environment. In the alternative, find that the actions are exempt from CEQA as specific actions necessary to prevent or mitigate an emergency pursuant to section 21080(b)(4) and section 15269(c) of the State CEQA Guidelines.

**DISCUSSION:** City Manager Casey presented the Agenda Report.

After Council discussion, the following Motion was made:

**ACTION:** MOTION BY COUNCILMEMBER DUNCAN, SECOND BY COUNCILMEMBER THORP, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.

22. **SUBJECT:** EXCLUSIVE NEGOTIATING AGREEMENT – BREWCAIPA LLC– APN 0303-253-41

**RECOMMENDATION:** That City Council

1. Approve the Exclusive Negotiating Agreement with Brewcaipa, LLC to negotiate the potential purchase of a portion of City-owned property identified as APN 0303-253-41; and
2. Authorize the City Manager to execute the necessary documents to complete the agreement process.

**DISCUSSION:** Housing and Economic Development Analyst Miller presented the Agenda Report.

After Council discussion, the following Motion was made:

**ACTION:** MOTION BY COUNCILMEMBER DUNCAN, SECOND BY COUNCILMEMBER BOGH, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.

23. **SUBJECT:** PICKLEBALL FACILITY UPDATE – YUCAIPA PICKLEBALL FACILITY, YUCAIPA PICKLEBALL COURT DESIGN PROJECT – PROJECT NO. 11150

**RECOMMENDATION:** That City Council:

1. Approve the revised Conceptual Pickleball Master Plan for the 7<sup>th</sup> Street Pickleball facility and any revisions deemed appropriate; and
2. Approve Phase I of the 7<sup>th</sup> Street Pickleball facility and any revisions deemed appropriate.

**DISCUSSION:** Public Works Analyst Gutjahr presented the Agenda Report.

Diane Smith, representing the Pickleball Board, stated that the Board believes that the increased Pickleball activity at the 7<sup>th</sup> Street Park has helped to deter vandalism and that over the past year and a half, the players have not had any confrontation with anyone and that they (for the most part) feel safe. Ms. Smith added that although the 7<sup>th</sup> Street Park Facility was not their first choice, it is reasonable and attainable and noted that the Board has looked at the plans and is comfortable and feels like this is the only reasonable solution.

After Council discussion, the following Motion was made:

**ACTION:** MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER THORP, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.

**ADJOURN CITY COUNCIL AND CONVENE HOUSING AUTHORITY**

City Council adjourned. Housing Authority convened. (Housing Authority proceedings are contained in separate Minutes)

**CONVENE JOINT CITY COUNCIL AND HOUSING AUTHORITY**

City Council reconvened.

24. **SUBJECT:** EXCLUSIVE NEGOTIATING AGREEMENT (ENA)- FOUNTAINHEAD SHRUGGED - A PORTION OF APN 0303-131-05 & A PORTION OF APN 0303-131-63 (NW CORNER OF YUCAIPA BOULEVARD AND 5TH STREET) (YUCAIPA BUSINESS INCUBATOR CENTER)

**RECOMMENDATION:** That City Council:

1. Approve the Exclusive Negotiating Agreement (ENA) with Fountainhead Shrugged to negotiate the potential purchase of City-owned property located at Northwest corner of Yucaipa Blvd and 5<sup>th</sup> Street and authorize the City Manager to execute all related documents and make any necessary non-substantive changes; and

~~That the Housing Authority Board:~~

- ~~1. Approve the Exclusive Negotiating Agreement (ENA) with Fountainhead Shrugged, LLC to negotiate the potential purchase of City owned property located at the Northwest corner of Yucaipa Blvd and 5<sup>th</sup> Street and authorize the Executive Director to execute all related documents and make any necessary non-substantive changes.~~

**DISCUSSION:** Housing and Economic Development Analyst Miller presented the Agenda Report.

After Council discussion, the following Motion was made:

**ACTION:** MOTION BY COUNCILMEMBER THORP, SECOND BY COUNCILMEMBER DUNCAN, CARRIED, 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION (AS AMENDED).

### **ADJOURN THE HOUSING AUTHORITY**

Housing Authority adjourned.

### **PUBLIC HEARINGS**

25. **SUBJECT:** CASE NO. 22-063/GPA: CITY OF YUCAIPA GENERAL PLAN HOUSING ELEMENT UPDATE (*CONTINUED FROM THE 8/22/2022 CITY COUNCIL MEETING*)

**RECOMMENDATION:** That the City Council conduct a public hearing and review the Planning Commission's recommendation to:

1. Approve first reading, by the title only, as read by staff, of Ordinance No. 407, amending Ordinance No. 343, amending the Official Land Use Plan and Zoning Ordinance as adopted by the City of Yucaipa to include the change the land use designation for a property located at the southeast corner of Oak Glen Road and Avenue E; and
2. Adopt Resolution No. 2022-20, adopting the 6th Cycle Housing Element Update to the General Plan; and
3. Adopt an Addendum to the 2016 Yucaipa General Plan Environmental Impact Report in accordance with the requirements of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and
4. Adopt the Findings as contained in the Agenda Report and related Ordinances and Resolutions; and
5. Direct staff to file a Notice of Determination subsequent to certification of the Addendum to the 2016 General Plan Environmental Impact Report; and,
6. Authorize and direct the City Manager and Planning Manager/City Planner to make any technical or clerical revisions of clarifications to the Housing Element as may be required by HCD in order to obtain a finding of substantial compliance with State law

**DISCUSSION:** Mayor Avila opened the Public Hearing Item No. 25. Planning Manager/City Planner Matlock presented the Agenda Report.

### **Public Comment**

None

Mayor Avila closed the Public Hearing.

After Council discussion, the following Motion was made:

**ACTION: MOTION BY COUNCILMEMBER DUNCAN, SECOND BY COUNCILMEMBER THORP, CARRIED 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.**

26. **SUBJECT:** CASE NO. 21-045/GPA/LUCR/MJV/DBA/ARC (RIVERWALK SENIOR DEVELOPMENT): A MINOR GENERAL PLAN AMENDMENT TO CHANGE THE LAND USE DESIGNATION OF A PROPERTY FROM RM-72C (MULTIPLE RESIDENTIAL) TO RM-24 (HIGH DENSITY MULTIPLE RESIDENTIAL), A DENSITY BONUS AGREEMENT (DBA) TO QUALIFY FOR A 25% INCREASE IN LAND DENSITY, A LAND USE COMPLIANCE REVIEW WITH ARCHITECTURAL REVIEW TO CONSTRUCT A 150-UNIT, THREE STORY, AGE-RESTRICTED SENIOR HOUSING COMPLEX FOR INDIVIDUALS WHO ARE 55 YEARS AND OLDER, WITH TWO (2) MONUMENT SIGNS AT THE ENTRANCE OF THE 5-ACRE SITE, AND TWO (2) MAJOR VARIANCES TO ALLOW FOR A TOTAL OF EIGHTY (80) PERCENT OF THE 150-UNITS TO BE 1-BEDROOM IN LIEU OF THIRTY-FIVE (35) PERCENT, AND FOR ONE (1) BEDROOM UNITS TO PROVIDE SEVENTY-SIX (76) SQUARE FEET OF PRIVATE OPEN SPACE IN LIEU OF THE ONE HUNDRED FIFTY (150) SQUARE FEET REQUIRED FOR GROUND FLOOR UNITS AND THE ONE HUNDRED (100) SQUARE FEET REQUIRED FOR ABOVE GROUND UNITS, LOCATED AT 12836 3RD STREET, APN: 0319-112-03.

**RECOMMENDATION:** That the City Council conduct a public hearing and consider the Planning Commission's recommendation to:

1. Adopt Resolution No. 2022-40, approving the minor General Plan Amendment / Land Use District Change of a single parcel (APN: 0319-112-03) from RM-72C (Multiple Residential) to RM-24 (High Density Multiple Residential); and
2. Approve first reading, by the title only, as read by staff, of Ordinance No. 411, amending Ordinance No. 343, amending the Official Land Use Plan and Zoning Ordinance as adopted by the City of Yucaipa; and
3. Approve Density Bonus Request and Land Use Compliance Review No. 21-045, and Variances subject to the Conditions of Approval as contained in this Agenda Report; and
4. Adopt the Findings as contained in this Agenda Report; and
5. Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and
6. Direct staff to file a Notice of Determination; and,
7. Review, and if it is considered acceptable, approve the architectural design and conceptual landscaping for the proposed Project.

**DISCUSSION:** Mayor Avila opened the Public Hearing Item No. 26. Assistant Planner Jordan presented the Agenda Report.

**Public Comment**

Judy Main, Yucaipa, spoke in opposition to changing the General Plan to allow high density housing and requested that Council consider changes to the General Plan seriously as this affects the surrounding neighborhoods.

Alec McKinney, Yucaipa, spoke in opposition to changing the General Plan and stated that the housing crisis is caused by the same investors that want to build three-story homes in our City. Mr. McKinney stated that he is not against the development of this project but opposes the three-story structures.

Jon McKinney, Yucaipa, spoke in opposition to high density housing and commented that once you start building high density homes, it will continue.

Arthur Walter, Yucaipa, spoke in opposition to a proposed project on Second Street and addressed his concerns pertaining to the negative impact this would have on Calimesa Elementary School and traffic.

Mayor Avila closed the Public Hearing.

Planning Manager/City Planner Matlock noted that the last speaker spoke about a different project that is not scheduled for tonight's meeting and noted that an opportunity to speak about that project will be made available once the meeting notice has been sent out.

Applicant Craig Heaps, Yucaipa, stated that this is a market rate Senior project, provided a list of the project amenities, and noted that there is a ten percent affordable low-income component in this project as well.

After Council discussion, the following Motion was made:

**ACTION: MOTION BY COUNCILMEMBER THORP, SECOND BY COUNCILMEMBER DUNCAN, CARRIED 4-0-1-0 (MAYOR PRO TEM BEAVER ABSENT), TO APPROVE STAFF RECOMMENDATION.**

City Council recessed. City Council reconvened.

27. **SUBJECT:** PREMIUM LAND DEVELOPMENT ON BEHALF OF YUCAIPA 52, LLC - (CASE NO. 22-122/APP) AN APPEAL OF THE PLANNING COMMISSION RECOMMENDATION OF DENIAL OF CASE NO. 20-136/PDP/FDP/TTM 20375, A PLANNED DEVELOPMENT PROJECT THAT INCLUDES A PRELIMINARY DEVELOPMENT PLAN AND TENTATIVE TRACT MAP (TTM 20375)/FINAL DEVELOPMENT PLAN FOR THE PROPOSED SERRANO ESTATES PROJECT, WHICH WILL ESTABLISH 51 SINGLE FAMILY RESIDENTIAL LOTS ON PARCELS GREATER THAN 12,000 SQUARE FEET, SEVERAL LETTERED LOTS FOR WATER QUALITY BASINS, AND A 27-ACRE REMAINDER LOT THAT

WOULD INCLUDE SPACE FOR VINEYARDS AS WELL AS 13 ACRES OF PERMANENT OPEN SPACE, LOCATED ON THREE EXISTING PARCELS TOTALING 52 ACRES ALONG THE EAST SIDE OF YUCAIPA RIDGE ROAD DIRECTLY SOUTH OF THE CITY LIMITS TO UNINCORPORATED SAN BERNARDINO COUNTY. APNS: 0320-161-08, 09, AND 28

**RECOMMENDATION:** That City Council conduct a public hearing and consider the appeal request regarding the Planning Commission's recommendation of denial of the Serrano Estates' Planned Development Project. Should the City decide to accept the Planning Commission's recommendation and deny the Project, the following motion is provided:

1. Deny the appeal request and adopt Resolution 2022-47 denying Preliminary Development Plan for the Serrano Estates Project; and
2. Deny Final Development Plan/Tentative Tract Map No. 20375 (Case No. 20-136/FDP/TTM 20375), as inconsistent with the Development Code (as there would be no PDP); and
3. Adopt the Findings for denial as contained in this Agenda Report; and
4. Find the Project is exempt from CEQA pursuant to Sections 15061(4) and 15270 of the CEQA Guidelines.

As part of the denial, the City Council can also provide feedback on the PDP standards to allow the applicant to make changes to the Project that may be ultimately supported, and this direction would be included as part of the review of a new and amended Project for the consideration of the Planning Commission and City Council.

If the City Council decides to approve the Project, the following motion is provided:

1. Approve the appeal request and adopt Resolution No. 2022-47, approving a Preliminary Development Plan for the Serrano Estates Project; and
2. Approve Final Development Plan/Tentative Tract Map No. 20375 (Case No. 20-136/FDP/TTM 20375), subject to the Conditions of Approval as contained in this Agenda Report; and
3. Adopt the Findings as contained in this Agenda Report; and
4. Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and
5. Direct staff to file a Notice of Determination.

The City Council also has the discretion to amend the Project in whole or in part, and can make revisions, subject to concurrence with the applicant, to provide a project that would meet the required findings for approval.



**DISCUSSION:** Mayor Avila opened the Public Hearing Item No. 27. Planning Manager/City Planner Matlock presented the Agenda Report.

**Applicant/Representative Presentation**

Applicant Representative Paul Toomey provided the history of the project site, addressed the series of constraints that the site has, and noted that the benefit of being able to modify the development standards produces an outcome that balances the natural site and the objectives of the developer. Mr. Toomey provided additional information about the proposed project and spoke about the Wine Country Land Use Plan, the Housing Element, the housing crisis, and State laws.

Councilmember Bogh stated that he was never contacted by the Applicant and disclosed that someone (he does not know who this was) went to his place of business in Highland and brought the project up to his Operations Manager.

Mayor Avila disclosed that he attended a community meeting and listened to the presentation by Applicant Heaps and that he never had any communications with the applicant or the representatives.

Councilmember Duncan disclosed that he also attended the community meeting with Mayor Avila and listened to the presentation by Applicant Heaps and added that both he and Mayor Avila serve on the Yucaipa Valley Wine Country Planning Committee and that he has had conversations with Premium Land Development Applicant Heaps (who also serves on this Committee) and the Meridian landowner (who also serves on this Committee). Councilmember Duncan further disclosed that he has discussed this project with a lot of people and that he has no financial interest in this project.

Councilmember Thorp disclosed that he had a brief discussion with the Developer three or four weeks ago and that the Developer let him know that this project had been denied by the Planning Commission and that an appeal was going to be filed with the City.

Applicant Heaps requested a continuance for the vote until all five members of City Council are in attendance.

After Council discussion, the following Motion was made:

**ACTION: MOTION BY COUNCILMEMBER DUNCAN, FAILED DUE TO A LACK OF A SECOND, TO CONTINUE THIS ITEM TO THE NEXT CITY COUNCIL MEETING.**

**Public Comment**

Written public comment for Agenda Item No. 27 was distributed to the City Council and made available to the public.

Ross McGinnis, Yucaipa, stated his concerns with additional traffic on his street.

Nino Valmassoi, Yucaipa, stated that he does not want the Developer to use his land as an easement in any way.

Andreas Blaser, Yucaipa, stated that the General Plan should not be amended for the sake of one developer.

Pierre Assaf, Yucaipa, referenced Assembly Bill 9 (The California Home Act), and stated his concerns that the homes would not keep the look of the surrounding area and would be in a high fire hazard zone.

Matt Underwood, Yucaipa, cited a section of the General Plan and questioned the proposed grouping of smaller lot sizes and vineyards.

John Reece, Yucaipa, stated his concerns with this project and infrastructure (such as water, roads, etc.) and requested that the City Council uphold the Planning Commission's decision to deny the project.

Sherry Todd, Yucaipa, stated her concerns with the vague size of the lots for 51 homes, reduced water pressure, and increased traffic.

Lucinda Brinks, Yucaipa, stated that both she and her husband oppose this development.

Hansen Wang, Yucaipa, stated his concerns with the proposed development and expressed the need to grow should be done appropriately.

Colleen Wang, Yucaipa, stated her support for the winery concept but not at the expense of high-density cluster housing units, noted that the lack of water pressure is a big issue in the area, and stated that the area should remain rural.

Kristine Mohler, Yucaipa, stated that the City's General Plan is a roadmap on how Yucaipa should be in 10 or 20 years and that the proposed project is not appropriate for this type of area. Ms. Mohler stated that this area is pristine, and we need to keep it that way.

Donna Snodgrass, Yucaipa, stated her support for the project and noted that does not mean she opposes her neighbors on the North Bench. Ms. Snodgrass stated that she and her husband don't want new homes built on the North Bench, but that the State is dictating what cities are being restricted to. Ms. Snodgrass identified options for City Council's consideration.

Joshua Morgan, Yucaipa, representing his four brothers and himself, stated that he and his brothers recently moved to the North Bench and cited the benefits of the area. Mr. Morgan requested that the City protect this area and keep the properties big and not small like where he came from.

Daniel Morgan, Yucaipa, stated that the development of lots that are less than one-acre do not reflect the atmosphere and culture of the North Bench and requested that the City Council stand up for residents and outsiders that love this community and preserve what has been created by not approving this development.

Cesar Roldan, Yucaipa, stated that he opposes any development on the North Bench but that he is also a realist and understands that it is inevitable that the land will be developed. Mr. Roldan requested that the City Council consider this project because the proposal preserves some of the rural area.

Ray Snodgrass, Yucaipa, stated that he and his wife submitted written public comment on this item and stated that the battlefield is not in this Council Chamber, it is in Sacramento, and the City and County leaders have lost a lot of latitude because of the laws that have been passed. Mr. Snodgrass stated that this project provides an opportunity to start saving our land.

Heather Wells, Yucaipa, stated that the Applicant chose to ignore the zoning of the area and has requested special zoning. Ms. Wells stated that this area of Yucaipa is zoned to maintain the rural lifestyle and stated her concerns with the negative impacts this project would bring.

Kevin Miskin, Yucaipa, speaking on behalf of himself and two of his neighbors, stated that he rejects the notion that we just lay back and let the State ride right over us. Mr. Miskin stated that they want the Developer to comply with the RL-1 zoning, reduce the lighting, and honor the natural topography of the land.

Ramona Etheredge, Yucaipa, stated that the proposed development violates the constitutional rights to happiness and that going along with this will establish a precedence that takes away the resident's rights.

Stephan West, Yucaipa, stated his opposition to the project and questioned if the vineyards get turned over to housing in the future, would that land be subject to smaller sized lots.

Heather Dent, Yucaipa, stated that open space is not jamming 51 homes on 26-acres, and addressed her concerns with the future of the open space in the North Bench. Ms. Dent stated her desire to keep these properties one-acre minimum.

Darlene Hoshek, Yucaipa, spoke in opposition to the proposed development and stated that she moved from rural Riverside, which is long gone, to the North Bench, and expressed her desire to preserve Yucaipa by keeping it the way it is.

Jack Moser, Yucaipa, stated that he and his wife have lived in Yucaipa for 62 years, love the open spaces, and desire to keep Yucaipa rural.

Brandi Hickman, Yucaipa, stated her support for the proposed project and the wineries. Ms. Hickman requested that the City Council consider approving this project not only to bring in new homes, but to help support local small businesses and future wineries.

Andrea Urbas, Yucaipa, stated her credentials as an AICP Certified Planner, Certified Environmental Planner, Certified Urban Designer, Educator, and Manager, and stated her support for the proposed development, noted the positive attributes of the development, and encouraged the City Council to approve the project.

Sebastian Mercado, Yucaipa, stated that he is new to Yucaipa and chose the area because of the landscape and the inviting and warm community. Mr. Mercado spoke in support of the proposed development and stated that it may help to bring stimulation to the local economy and benefit the community.

Travis Heaps, Yucaipa, stated that he believes this will be a beautiful project with the combination of agriculture, the hillside, and maintaining the same density. Mr. Heaps spoke about the City's General Plan, the definition of the word "rural", and stated the benefits the project could bring to the community.

Paul Wohler, Yucaipa, stated that the North Bench is one of the last truly open spaces in Yucaipa and if it is developed up to the mountains, it will look like a mass housing track and completely lose its character. Mr. Wohler stated that the proposed development does not meet the one-acre zoning in the North Bench.

Deborah Davidson, Yucaipa, stated that this area is zoned on the outskirts of Yucaipa for one-acre lots next to a wildlife corridor that is undeveloped. Ms. Davidson addressed her concerns with the close proximity of the fire hazard area and the lack of exits from the community in the event of evacuations and stated her opposition to the proposed development.

Patty Ingram, Yucaipa, stated that this project has many drawbacks including earthquake faults, hillsides, and blue line streams and stated that the approval of this project cannot be made because the proposed development is not consistent with the General Plan. Ms. Ingram stated that the plan is inconsistent with various policies and does not integrate with the surrounding properties or carry out the intention of a planned development. Ms. Ingram requested that City Council deny the project.

Preston Todd, Yucaipa, stated that he and his wife are the owners of North Cork Vineyard and Winery in Yucaipa. Mr. Todd stated that housing and development are coming to the North Bench and emphasized the need to maintain our agriculture, open spaces, and nature. Mr. Todd stated that our leaders must protect the wine industry and our open spaces while keeping in mind the rights of the developers and that this project will act as a model for future development.

Jeff Kreidel, Yucaipa, spoke in support of the proposed development and stated that this project preserves half of it as open space and agriculture. Mr. Kreidel stated that if this land is developed as one-acre lots there will be no open space with this project.

Robin Miskin, Yucaipa, speaking on behalf of herself and two of her neighbors, stated that she appreciates the developer's efforts to create this development, but it does not belong on the North Bench. Ms. Miskin stated that the land is zoned for RL-1 and requested that City Council consider that the City does not owe anyone a return on their investment and to think about the citizens.

Amy Agadoni, Yucaipa, stated that she and her family relocated to the North Bench from lower Yucaipa less than six months ago because of the rural one-acre lots and asked that the City Council maintain the integrity of the North Bench with minimum one-acre lots.

Shannon Estrada, Yucaipa, stated that she loves the rural living on the North Bench and summarized the reasons that she and her husband chose to raise their children there. Ms. Estrada stated that the growth of Yucaipa can be accomplished if it is done the right way.

Trevor Leja, Yucaipa, stated his support of the vision for vineyards and small businesses and stated his opposition to the lot sizes of the proposed development. Mr. Leja noted that the project is inconsistent with existing development standards and there needs to be a compromise. Mr. Leja requested Council's support of the Planning Commission's decision to deny the project.

Bill Tilbury, Yucaipa, stated his support for the proposed development because of the proposed open areas and noted that he would rather have this development than having 52 homes spread all over the hills and no open space.

Tony Matlock, Yucaipa, stated that he has served on the Wine Country Committee for the past two years and reported that the Committee has been trying to find ways to support open space agricultural vineyards. Mr. Matlock encouraged embracing new ideas and setting standards for what we want for the future.

### **Applicant Rebuttal**

Applicant Representative Paul Toomey stated that the information provided in the agenda packet includes an Initial Study report and a Mitigated Negative Declaration report and that the reports indicate there are no significant impacts and no impacts that cannot be mitigated, which have been addressed as part of this project. Mr. Toomey also noted that the vineyard is a commitment between the landowner and the winery. Mr. Toomey addressed questions raised by Council.

Mayor Avila closed the Public Hearing.

After Council discussion, the following Motion was made:

**ACTION: MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER THORP, FAILED 2-2-1-0 (MAYOR AVILA AND COUNCILMEMBER DUNCAN VOTED NO; MAYOR PRO TEM BEAVER ABSENT), TO (1) DENY THE APPEAL REQUEST AND ADOPT RESOLUTION 2022-47 DENYING PRELIMINARY DEVELOPMENT PLAN FOR THE SERRANO ESTATES PROJECT; AND (2) DENY FINAL DEVELOPMENT PLAN/TENTATIVE TRACT MAP NO. 20375 (CASE NO. 20-136/FDP/TTM 20375), AS INCONSISTENT WITH THE DEVELOPMENT CODE (AS THERE WOULD BE NO PDP); AND (3) ADOPT THE FINDINGS FOR DENIAL AS CONTAINED IN THIS AGENDA REPORT; AND (4) FIND THE PROJECT IS EXEMPT FROM CEQA PURSUANT TO SECTIONS 15061(4) AND 15270 OF THE CEQA GUIDELINES.**

After further discussion, the following Motion was made:

**ACTION: MOTION BY MAYOR AVILA, SECOND BY COUNCILMEMBER DUNCAN, FAILED 2-2-1-0 (COUNCILMEMBERS BOGH AND THORP VOTED NO; MAYOR PRO TEM BEAVER ABSENT), TO REOPEN THE PUBLIC HEARING AND GIVE THE APPLICANT AN OPPORTUNITY TO MAKE REVISIONS TO THE PLAN AND CONTINUE THIS ITEM TO THE NEXT MEETING.**

After further discussion, the following Motion was made:

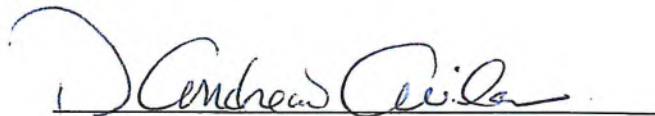
**ACTION: MOTION BY COUNCILMEMBER BOGH, SECOND BY COUNCILMEMBER THORP, CARRIED 3-1-1-0 (COUNCILMEMBER DUNCAN VOTED NO; MAYOR PRO TEM BEAVER ABSENT), TO (1) DENY THE APPEAL REQUEST AND ADOPT RESOLUTION 2022-47 DENYING PRELIMINARY DEVELOPMENT PLAN FOR THE SERRANO ESTATES PROJECT; AND (2) DENY FINAL DEVELOPMENT PLAN/TENTATIVE TRACT MAP NO. 20375 (CASE NO. 20-136/FDP/TTM 20375), AS INCONSISTENT WITH THE DEVELOPMENT CODE (AS THERE WOULD BE NO PDP); AND (3) ADOPT THE FINDINGS FOR DENIAL AS CONTAINED IN THIS AGENDA REPORT; AND (4) FIND THE PROJECT IS EXEMPT FROM CEQA PURSUANT TO SECTIONS 15061(4) AND 15270 OF THE CEQA GUIDELINES.**

**ANNOUNCEMENTS**


None

**ADJOURNMENT**

The meeting adjourned. The next regularly scheduled meeting will be September 26, 2022, at 6:00 PM.

  
\_\_\_\_\_  
DAVID AVILA, MAYOR

ATTEST:

  
\_\_\_\_\_  
JENNIFER CRAWFORD  
CITY CLERK

City of Yucaipa  
PLANNING COMMISSION MINUTES  
Regular Meeting of March 15, 2023

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A Regular meeting of the Planning Commission of the City of Yucaipa, California was called to order in the Council Chambers, 34272 Yucaipa Boulevard, Yucaipa, on March 15, 2023, at 6:30 PM.

**PRESENT:** J.R. Allgower, Chair  
Tony Hicks, Vice Chair  
Richard Beck, Commissioner  
Stacey Chester, Commissioner  
David Higginson, Commissioner  
Donna Snodgrass, Commissioner  
Lyle Vick, Commissioner

**ABSENT:** None

**CITY STAFF:** Benjamin Matlock, Planning Manager/City Planner  
Katrina Kunkle, Assistant City Engineer  
Lauren Sanchez, Assistant City Attorney  
Madeline Jordan, Associate Planner  
Christian Farmer, Assistant Planner  
Maria Koolhoven, Planning Commission Assistant

**CONVENE PLANNING COMMISSION**

The meeting was called to order at 6:31 p.m., with the Pledge of Allegiance led by Vice Chair Tony Hicks.

**ROLL CALL**

**PUBLIC COMMENT:** One public comment for items not on the agenda was received. Hansen Wang informed the Commission that the General Plan is good for twenty years, and that changes can be made if they help to improve the City. Mr. Wang noted that he is for development that is done in an appropriate manner.

**CONSENT AGENDA**

The following Consent Agenda items are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Councilmember or staff member may request removal of an item from the Consent Agenda for discussion.

The title is deemed to be read, and further reading waived on any ordinance listed on the Consent Agenda for second reading and adoption.

1. **SUBJECT:** Approve Item No. 1, Planning Commission Minutes of March 1, 2023.

**ACTION: MOTION BY Vice Chair Hicks, SECOND BY Commissioner Beck, CARRIED, 6-0-1-0, TO APPROVE CONSENT AGENDA ITEM NO. 1.**

**PUBLIC HEARINGS:** The order of Business for the Public Hearing Shall Be:

- |  |                                      |
|--|--------------------------------------|
| A. Staff Presentation                    | D. Applicant Rebuttal (if necessary) |
| B. Applicant/Representative Presentation | E. Public Hearing Closed             |
| C. Public Comments                       | F. Commission Discussion             |

2. **SUBJECT:** **David Ridge** (Case No. 23-026/SUP/ARC): A Special Use Permit for the Architectural Review of a 24.5-foot-tall and 2,400 square foot garage/workshop that has been designed to match the existing home on a single-residential property located at 35648 Sundance Court; APN: 1242-101-17.

**RECOMMENDATION:** That the Planning Commission conduct a Public Hearing and:

- A) Review the architectural design of the proposed oversized structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and,
- D) Direct Staff to file a Notice of Exemption.

**DISCUSSION:**

The Planning Commissioners noted they had no ex parte communications to disclose.

Associate Planner Madeline Jordan presented the Agenda Report.

The applicant, David Ridge informed the Commissioners that there will be a water closet and sink under the stairwell at the project location.

**Public Comments:** No comments received.

**ACTION: MOTION BY Commissioner Vick, SECOND BY Commissioner Snodgrass, CARRIED, 7-0-0-0, TO APPROVE AGENDA ITEM NO. 2.**



3. **SUBJECT:** **Burchco, LLC** (Case No. 22-035/CUP/ARC/VAR): A Conditional Use Permit and Architectural Review for the construction of a self-storage facility, including four (4) one-story buildings and 781 individual units, that would yield a total of 122,150 square feet of storage space, as well as a Variance request to allow for a 0-lot line along both side property lines (east and west) of the subject site located at 31875 Dunlap Blvd (APN: 0301-121-28), which is similar to the adjacent property with a self-storage land use to the west.

**RECOMMENDATION:** That the Planning Commission conduct a public hearing, and:

- A) Approve the Conditional Use Permit (Case No. 22-035), Variance request, subject to the Conditions of Approval as contained in this Agenda Report; and
- B) Review, and if it is considered acceptable, approve the architectural design and conceptual landscaping for the proposed Project; and
- C) Adopt the Conditional Use Permit as contained in this Agenda Report; and
- D) Adopt the Variance Findings as contained in this Agenda Report; and
- E) Adopt a Categorical Exemption pursuant to Section 15332 (Class 32), of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, and
- F) Direct staff to file a Notice of Exemption.

**DISCUSSION:**

The Planning Commissioners noted they had no ex parte communications to disclose.

Associate Planner Madeline Jordan presented the Agenda Item.

The applicant, Jay Rentz, informed the Commissioners that he is the owner of the Alpine Storage adjacent to the proposed project and that this site would help with their existing demand. He thanked Associate Planner Madeline Jordan for her efforts on the presentation. Mr. Rentz addressed the hours of operation and lighting concerns that were posed by Chair Allgower.

Commissioner Vick asked the applicant if the current facility has an on-site, 24-hour living manager. Mr. Rentz noted that there is a 24-hour manager on-site.

**Public Comments:** No comments received.

**ACTION: MOTION BY Commissioner Snodgrass, SECOND BY Commissioner Chester, CARRIED, 7-0-0, TO APPROVE AGENDA ITEM NO. 3.**

4. **SUBJECT: Premium Land Development on behalf of Yucaipa 52, LLC** Case No. 22-150/PDP/FDP/TTM 23075: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lots on parcels greater than 12,000 square feet and averaging over 20,000 square feet, of which 41 of the lots will be age restricted to those over 55, several lettered lots for water quality basins, and a combined 12-acre area as part of a “Lot 52” and remainder lot that would include space for vineyards, and 13 acres of permanent open space, located on three existing parcels totaling 52 acres along the east side of Yucaipa Ridge Road directly south of the City limits to unincorporated San Bernardino County. APNs: 0320-161-08, 09, and 28.

**RECOMMENDATION:** That the Planning Commission conduct a public hearing, and if the Planning Commission decides to ultimately support the approval of this proposal, recommend to the City Council that they:

- A) Adopt Resolution No. 2023-03, approving a Preliminary Development Plan for the Serrano Estates Project; and
- B) Approve Final Development Plan/Tentative Tract Map No. 20375 (Case No. 22-150/FDP/TTM 20375), subject to the Conditions of Approval as contained in this Agenda Report; and
- C) Adopt the Findings as contained in this Agenda Report; and
- D) Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and,
- E) Direct staff to file a Notice of Determination.

**DISCUSSION:**

The following ex parte communications were disclosed:

- Chair Allgower noted he met with a neighbor to the site during the review of 20-136 with the Planning Commission.
- Vice Chair Hicks noted that he also met with that resident with Chair Allgower, and the resident discussed the site plan.
- Commissioner Beck has no disclosures.
- Commissioner Chester noted that she spoke with the applicant’s representative regarding the project site, earthquake concerns and minor questions she had regarding the plans.
- Commissioner Higginson disclosed he received a call from the applicant’s representative the night before the meeting. He informed the applicant’s representative that he was still reviewing the agenda and plans, and that any questions he develops will be provided to staff and asked at the Planning Commission Meeting.

- Commissioner Snodgrass noted that she had questions on the staff report, and spoke with the applicant's representative to obtain clarification on a project detail. She also relayed to the developer that she prefers to see a reduction in the number houses, and that she also did not like the monument sign.
- Commissioner Vick disclosed that he spoke with applicant's representative regarding the general overview of the site plan. He noted that he also met with a resident in the North Bench about future commercialization of the area, though that discussion was not specific to the agenda item at hand.

Planning Manager/City Planner Ben Matlock presented the Agenda Item.

Planning Manager/City Planner and Assistant City Attorney Lauren Sanchez answer Commissioner questions regarding the proposed project.

The applicant's representatives, Travis Heaps and Craig Heaps of Premium Land Development, thanked Planning Manager/City Planner Ben Matlock for the detailed presentation. Travis Heaps informed the Commission that a homeowner's association will be formed to manage the property and to ensure that the units are being sold to residents of appropriate age requirement are met. Travis Heaps noted that SB9 and ADU's are available to every single-family property in the city and is intended for individual homeowners. Travis Heaps provided a summary of the history of the site.

**PUBLIC COMMENT:** Seventy-Eight speaker forms were received in total. Of those, forty speaker forms noted opposition to the Project but that those individuals did not wish to speak. Additionally, four speakers were called to provide testimony, but ultimately did not come up to speak.

1. Melony Martindale - Dewey Ave: She noted that she supports the project. She stated that people will want to live in a growing city and that this proposed project will result in a positive impact for the City of Yucaipa.
2. Dr. John Chavez Sousa - Nice Ave: He informed the Commission that he is the President of the Green Valley Foundation, and expressed that this project is something that will benefit the economic development in the city.
3. Anthony Peralta - 13<sup>th</sup> Street: He noted that this project was presented to the Commission last year, and that the concerns from the residents were heard. Their team have made revisions to address those concerns and are trying to get the project approved.
4. Ray Snodgrass - Walnut Grove Court: He informed the Commission that many of the undeveloped properties in the North Bench area are owned by Limited Liability Corporations, Limited Partnerships, or investment groups, and that those vacant parcels will be built in the future. He noted that now is the time to guide future development to protect as much land for open space and agriculture.
5. Ross McGinnis - Azurite Street: He acknowledged that the revised project is heading in the right direction, but still remains opposed to the Project and has concerns with ingress and egress issues.
6. Ryan Agadoni - Fremont Street: He informed the Commission that he is a North Bench resident and loves that area the way it is now, concluding that the proposed project is not the right project for the area.
7. Nino Valmassoi - Quartz Street: He expressed his frustration with having to sit quietly and not being able to verbalize their agreement with the opinions being expressed.

8. Teri Boon - Yucaipa Ridge Road: She informed the Commission that if you have a 1-acre parcel, under RL-1 you are allowed to have four livestock animals, whereas that would not be permitted with this Project. She read a letter on behalf of Alan Hillwig stating his opposition to the project.
9. Kevin Miskin - Ivy Street: He recommended that the Commission to reject the plans for the Serrano Estates in its current design, and instead support development that is consistent with the RL-1 and custom home overlay requirements.
10. Robin Miskin - Ivy Street: She requested that the Commission reject this plan. She noted safety concerns in the High Fire Risk Area, and that the development must be consistent with the RL-1 and custom home overlay requirements.
11. Hansen Wang - Quartz Street: He noted that he is not against development and also appreciates that certain things being improved with the current proposal. However, he reiterated his concerns with the number of homes proposed on the project, and asked that this plan be rejected.
12. Colleen Wang - Quartz Street: She noted that if you have cluster housing, you can't have rural living. She informed the Commission that the General Plan has a definite definition of what RL-1 zoning is, and you can't redefine it. She expressed traffic concerns on Quartz Street. Ms. Wang presented a copy of a Petition to Protect the North Bench from High-Density Development and Preserve the Rural Living Standards and One-Acre Minimum Lot Size with 891 signatures from Yucaipa residents.
13. Russ Caldwell - Ivy Ave: He noted that the applicant is trying to change the land use to fit their project, rather than to change the project to fit the land use standards of RL-1. He asked that the Commission not recommend this project to the City Council.
14. Kathleen Reynolds - Jade Court: She noted that the General Plan was put in place to guide development of the city and that it has been certified by the state. She noted that the revised project does not comply in in any way, shape, or form with the RL-1 zoning. She asked that the General Plan be respected.
15. Heather Dent - County Line Rd: She informed the Commission that she felt that the Serrano Estate project is a disaster and had concerns of the high fire area, lack of buses and grocery stores that a senior community would desperately need.
16. Irmgart Mitchell - Colonial Drive: She explained the structure of the City of Yucaipa Organizational Chart, reminding the Commission that they and staff are here to represent the residents in the community.
17. Philip Schneider - Greenbrook Place: He expressed concern regarding a major discrepancy between this project and the General Plan, and that the lot sizes proposed on this project do not meet the minimum requirement of one acre per lot.
18. Brian Bleyenbergh - Fremont Street: He noted that the North Bench is a unique place in Southern California and would like to have the Developer come back and present a project with one acre lots.
19. Jan McFarland - Yunis Court: She noted that Yucaipa has a unique culture and lifestyle that would not be maintained with the proposed development. She stated the small lot sizes not accommodate the rural lifestyle which includes large animals and hobbies on private properties.
20. DeEsta West - Norton Ave: She noted concerns regarding the lot sizes proposed and wants to keep the one acre lots.
21. Stephen West - Norton Ave: He noted that he is opposed to the project due to fire concerns and doesn't understand that, even with mitigating factors, a project like this would be approved.
22. Kathy Sellers - Palermo Court: She shared an article she found on the internet about the Yucaipa Valley Wine Alliance efforts with the city to gain approval of an overlay to support a grape

growing wine making region. She noted that the Committee intended to aid the national designation somehow ended up with a housing proposal instead, and that the Alliance created a petition to oppose lot size reduction led by Donna Snodgrass. Ms. Sellers asked what had changed. She stated that residents were excited about protecting the rural environment while embracing just the vineyard development.

23. Joel McCabe - Fir Avenue: He noted that he was one of the 891 signatures obtained in the petition presented tonight. He stated that if the Serrano Estates project is approved, it will change the North Bench and the rural way of life it represents. He expressed concerns regarding the land development and zone changes, and is opposed to the re-zoning on the North Bench.
24. Tony Matlock - Lake Breeze Drive: He noted that he was a member of the Yucaipa Valley Wine Country Planning Committee established by the City. He informed the Commission that they tried to put together a plan that would include compromise and would still be able to move forward with it. He noted that he understands that people are afraid of change, but sometimes everyone must work at a compromise, consider all the facts, and make appropriate decisions.
25. Sara Cooper - Pendleton Road: She noted that she researched the Yucaipa General Plan and the Yucaipa General Plan Housing Element. She stated she is a longtime Yucaipa resident and enjoys her walks to local businesses. She noted the conflict she has is with a senior citizen planned community being so far away from Central Yucaipa, parks and related amenities.
26. David Duron - Panorama Drive: (Due to Mr. Duron's case of bronchitis, Teri Boon read a letter on his behalf.) Mr. Duron expressed concern regarding the value of vacant land to the aquifers in Yucaipa. He also noted his concern regarding the recent El Dorado Fire and the thousands of acres of valuable landscape that had burned, which has created ongoing problems with mudslides.
27. Maria Corn - Fremont Street: She noted traffic concerns and stated that she leaves her community about four times a day. She stated that she loves the rural community feeling and the open spaces that the city offers, and is opposed to track developments being built in the North Bench.
28. Cesar Roldan - Pendleton: He addressed Commissioner Higginson's question regarding pesticides and herbicides. He stated that he has been leading the development of vineyards in the community, and that they are currently trying to establish high standards for local vineyards. He noted that a current vineyard that is 8 to 10 years old has not had any herbicides applied to it. He stated that he is working with a community of wine growers, and that if an insect problem develops, they will use organic and natural solutions rather than any harmful chemicals to protect both the crops and surrounding environment. He informed the Commission that he is in favor of the project.
29. Matt Underwood - Diamond Street: He noted that the revised project is not substantially different from the one that was denied, and that the only key change was the location of the vineyard. He stated that this is not a good project and does not fit in with the surrounding community. He also has traffic, public transportation, and high fire area concerns.
30. Denise Work - Limekiln Drive: She noted she was a Planning Commissioner for twenty years. She stated the Wine Country Specific Plan has not been approved, and suggested that there is no reason to develop the area with homes and vineyards. She believes in capitalism, and would not have a problem with vineyards in the area, concluding that if there is a market and that the wine sells, that it would be great.
31. Sherry Todd - Quartz Street: She noted she is not opposed to development but is opposed to this development. She stated the project, as proposed, is not an improvement to the area and is therefore opposed.

32. Joshua Morgan - Fremont Street: (Audio of his message was played with approval from the Chair). He noted his family moved to the north bench to have a larger lot and open space, and requested the project not be approved.
33. Daniel Morgan - Fremont Street: He stated that developing lots that are less than one acre does not reflect the atmosphere and culture of the North Bench. He noted that the developer wants to develop for profit and that it is not the city's responsibility to approve changes simply based on the desire for a larger profit margin. He asked the Commissioners not to be the leaders that allow the community to dramatically change.
34. Marlin Feenstra - Goldstone Street: He stated that the project is proposing to use the Plan Development Review process instead of adhering to the existing development standards, and requested that the Commission deny the project.

The representative, Craig Heaps noted that the property was purchased in 2014 and that the property owner did what he could with the property at the time. He stated that the applicant met with City Staff and has spent the last 3 years trying to see the project through. He noted the residents simply do not want any development to occur in the North Bench, but that the owner has the right to be able to develop his property. Mr. Heaps informed the Commission that this project is not proposing cluster housing.

Craig Heaps stated that Premium Land Development did not donate to any campaign. He stated that Premium land Development has been doing business in Yucaipa since 2004.

Mr. Heaps noted that what they are doing is legal and the right thing to do with the land. He stated that they presented the best project that they can for that piece of land. Mr. Heaps noted that this is a 55 and over community not a Senior Care Home, Care Facility or clustered congregate housing.

Commissioner Chester asked the Assistant City Attorney, Lauren Sanchez for SB9 clarification. Assistant City Attorney Lauren Sanchez stated that SB9 applies to the City of Yucaipa but that the developer themselves would not qualify for SB9 splits, nor is it proposed with the current proposal.

Commissioner Hicks asked Assistant City Attorney Lauren Sanchez about splitting adjacent lots (in reference to SB9). Assistant City Attorney Lauren Sanchez informed Commissioner Hicks that an individual cannot split lots that are adjacent to one another, nor can they act in concert with someone else to split an adjacent lot or split the same parcel twice using SB9.

Commissioner Snodgrass asked if a traffic light would be installed on Juniper Street. Assistant City Engineer Katrina Kunkle noted that a traffic light is not conditioned to be installed. The condition is to complete a warrant analysis, and if it meets certain criteria for a traffic signal or stop sign, then they can be installed.

Commissioner Hicks noted that, as a Planning Commissioner, he was asked to be on the AVA Committee. He recognized that if we guide and support development that is controlled, we can help gain fifty percent of open space on it, whereas we might not be able to in the future. He referenced a discussion he had with the Redlands Conservancy about the general wine country efforts to preserve land that is otherwise permitted for residential development, and that their organization iterated that those types of concessions simply do not typically happen. He is asking for everyone to keep an open mind and try to preserve half

of the North Bench area. Commissioner Hicks thanked everyone for attending and appreciates the community outpour. He encourages the community to continue to stay involved.

**The Public Hearing was then closed.**

Commissioner Higginson noted that he listened to the August 2022 Planning Commission and the City Council Appeal Meeting. He noted that both the Planning Commission and City Council previously denied the project and made recommendations to the site layout. He stated that the applicant responded to all those recommendations. He informed the Commissioners that he drove the site, and that he only has some potential concerns with the setbacks between the new homes and the agrarian activities.

Commissioner Chester stated that she drove the site and was surprised with its current condition, including trash and debris hidden in the interior of the parcel. She noted that she used her economic background and used those numbers to help make an informed decision based on facts presented. She noted that this project would allow the streets to be improved and that it would likely increase surrounding home values. Commissioner Chester stated that this will create a positive economic impact for the City of Yucaipa.

Commissioner Beck thanked the community for attending the meeting.

Commissioner Vick noted that there are quite a few concessions in the General Plan to meet a demand that he feels does not currently exist in Yucaipa. He stated that he is not sure if he supports this development, and would like to see the project further modified and presented in a way it works for everyone.

Commissioner Hicks stated that he appreciates all the Commissioners and the work they all do.

Chair Allgower noted that he has been on the Commission for a while and has seen many projects over the years. He stated that he thinks this is a fairly good project and that this project would make a positive impact for the city.

**ACTION: MOTION BY Commissioner Snodgrass, SECOND BY Commissioner Chester, CARRIED, 4-3-0-0, TO APPROVE TO RECOMMEND TO CITY COUNCIL AGENDA ITEM NO. 4.**

**ANNOUNCEMENTS:** City Planner Benjamin Matlock thanked everyone for attending the meeting. He informed the Commissioners that he will be attending the Planning Commissioners Academy on March 29, 2023, to March 31, 2023, along with Commissioner Higginson and Commissioner Snodgrass.

**ADJOURNMENT:**

The meeting adjourned at 10:48 PM.

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Benjamin Matlock  
Planning Manager/City Planner

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JR Allgower  
Chair of the Planning Commission

## Benjamin Matlock

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**From:** teri boon [REDACTED] 1002@f...  
**Sent:** Tuesday, April 11, 2023 7:06 AM  
**To:** Benjamin Matlock  
**Subject:** Case No. 22-150/PDP/FDP/TTM 20375

In response to the notice of public hearing for Monday, April 17, 2023 I want to go on record that I am opposed to the proposed Serrano Estates project. All projects in the city of Yucaipa should promote following current general plan recommendations and zoning recommendations.

Teri Boon, MD

[REDACTED] Yucaipa Ridge Rd.

Yucaipa, CA 92399

[REDACTED]

Sent from my iPhone



## Benjamin Matlock

---

**From:**  
**Sent:** Wednesday, January 18, 2023 1:26 PM  
**To:** Benjamin Matlock  
**Subject:** Re: PL20220000150 YUCAIPA 52  
**Attachments:** 23.01.18 city notice.tiff

I forgot to include my notice. I don't know if you need that. So I'm attaching here. Thanks Patty

On Wed, Jan 18, 2023 at 1:23 PM Patty ·

Ben,

Attached are my comments and a couple of maps showing a suggested redesign. I feel it is important to attempt to keep the rural feel of the area. By adjusting the lot widths to a minimum of 125 feet for the 1/2 acre lots, this will be accomplished. Other comments are also noted in the letter.

One of the maps has been overlaid on the proposed project map so that you can see the areas affected.

Thank you for your consideration of these comments,

Patty

--  
*Patricia Ingram*

--  
*Patricia Ingram*

City of Yucaipa  
Planning Department  
Sent via email

Response to request for comments and suggested map revisions  
Case Number PL20220000150, Yucaipa 53 LLC

Dear Mr. Matlock,

Thank you for this opportunity to comment on the above project. I appreciate that the developer has attempted to respond to many comments made on the original submission including some of mine. In particular, Yucaipa Ridge Road right of way, north of Quartz Street now has a 40 foot half width as well as a curve at the north end to correspond with the existing roadway.

The applicant has also provided more ½ acres lots, however, I believe he has missed the general intent of the community and that was to keep a rural atmosphere. Section HN-2.4 of the General Plan Housing Element states "development in the North Bench and Wildwood Canyon to be consistent with the rural character of those areas and ensure that they provide high-quality housing opportunities that leverage the unique setting of those areas."

This area is part of the Custom Home Overlay, which according to General Plan Element HN-3.5, projects require "adherence to housing related regulations." In that Overlay, the minimum lot width regulation is 125 feet. This allows for larger side yard setbacks and at least the feeling of large, rural lots as you drive down the street. As presented the average lot width is about 80 feet which is more consistent with RS zoning and detracts from the rural atmosphere.

I have attached a plan showing a design concept with this in mind. It utilizes just a slight bit of the vineyard area to keep the same number of lots as proposed with 16 lots at 12,000 sf and 35 lots at 20,000 sf. The ½ acre lots with 125' width will allow a driveway beside the house so that the rear yards may be accessed. Those are the types of features that separate RL zoning from RS.

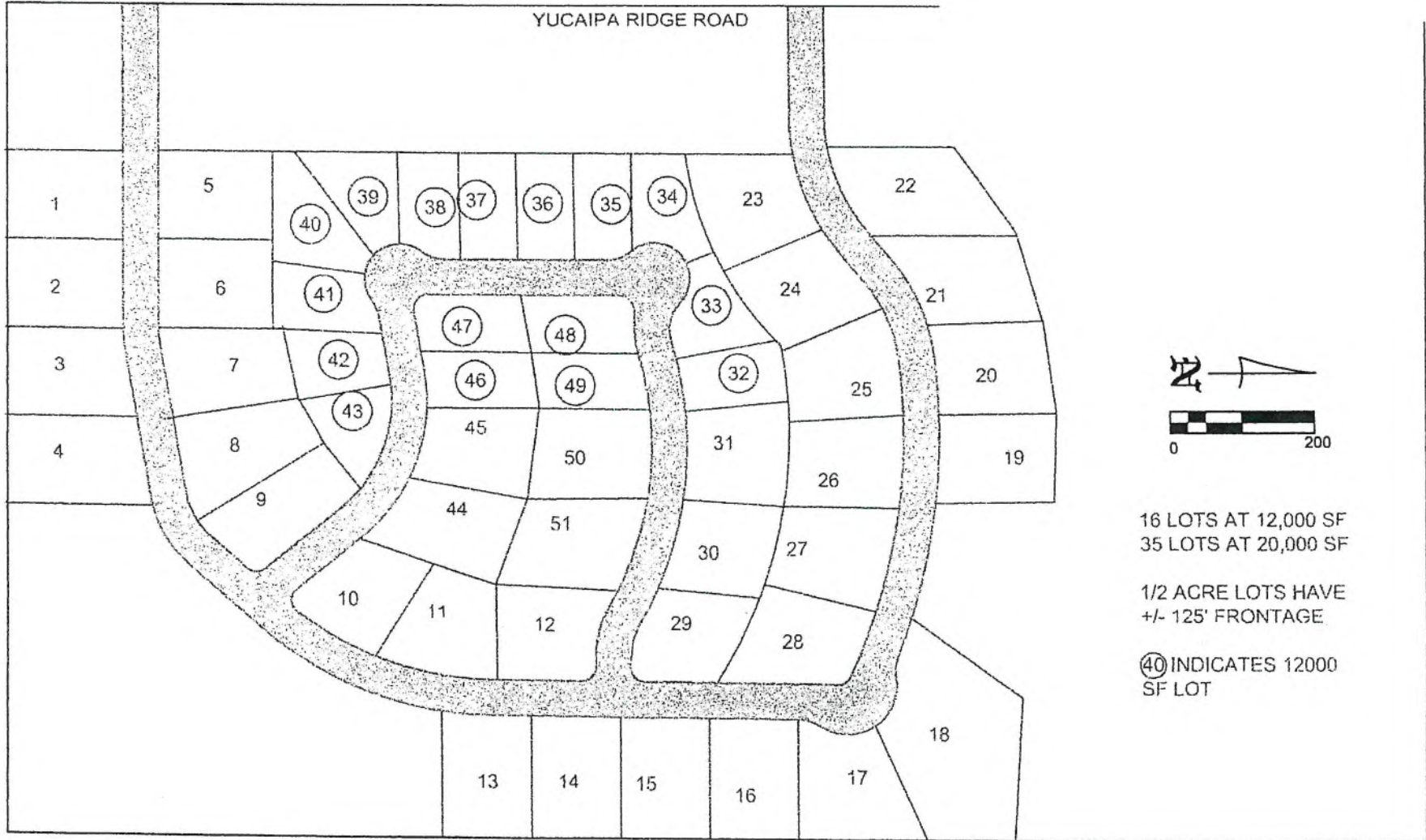
I'm still not convinced that the vineyards should take priority over reaching the 1 acre lot size or at least ½ acre lot size. The small amount of vineyards proposed are not enough for an independent business and there is no guarantee of their viability or upkeep.

The idea of senior housing as an incentive for smaller lots doesn't really make sense here. If you read the General Plan Special Housing needs regarding seniors, their needs are better met closer to the downtown area where easy access, buses and other conveniences are nearby. The price of housing is also less expensive in this area.

The purpose of the Planned Development process is to make a project better by utilizing variances to the existing zoning. However, there should also be an attempt to conform to the surrounding area and homes. For this reason, I believe it is important to look at a redesign that provides a rural housing atmosphere in conformance with the surrounding area.

Thank you for your anticipated consideration of my comments. I would be happy to discuss them further with the developer or staff as needed.

Patty Ingram



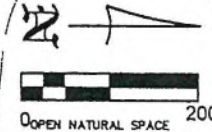
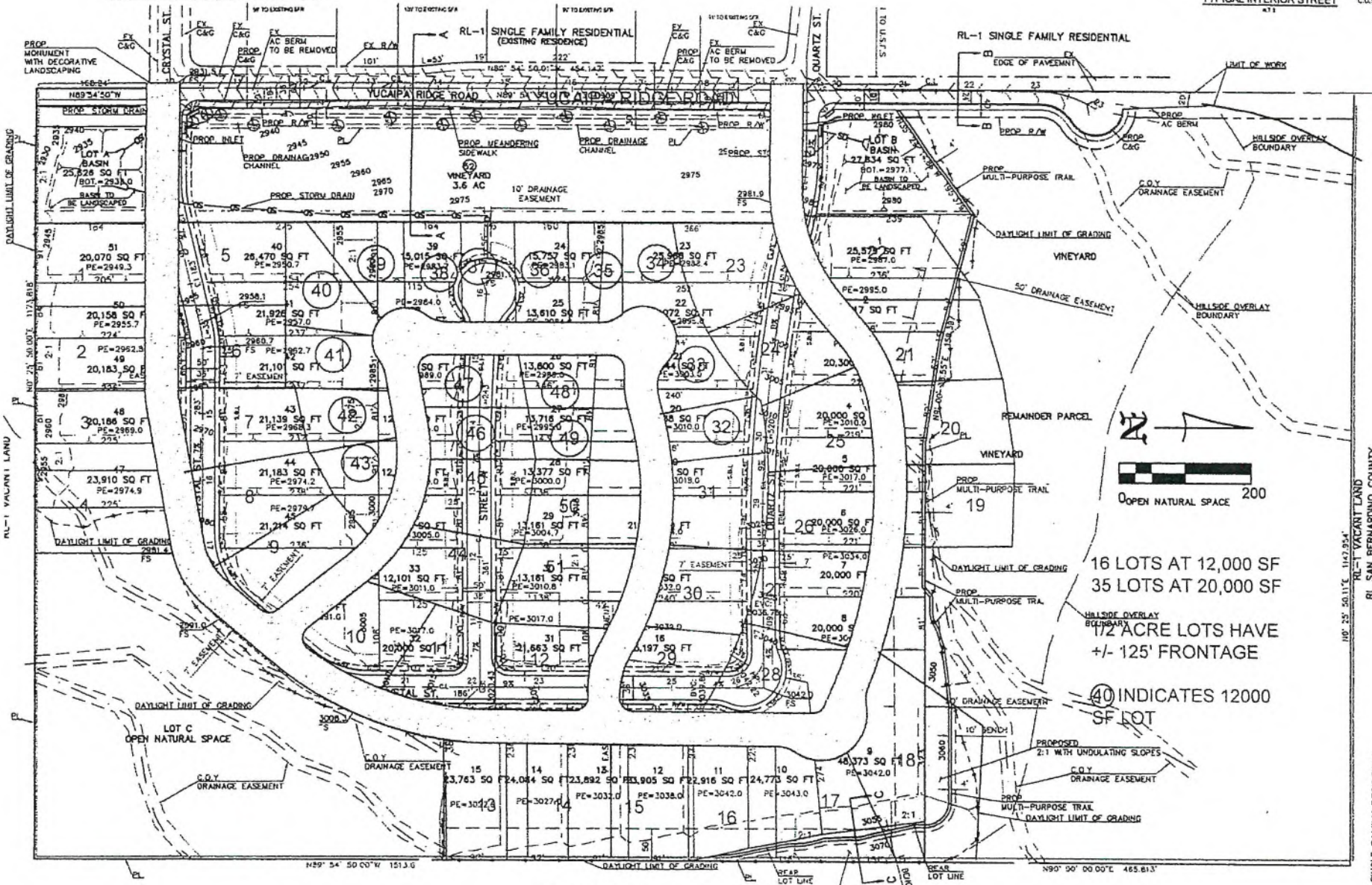
16 LOTS AT 12,000 SF  
 35 LOTS AT 20,000 SF

1/2 ACRE LOTS HAVE  
 +/- 125' FRONTAGE

④ INDICATES 12000  
 SF LOT

SECTION "A" YUCAIPA RIDGE ROAD

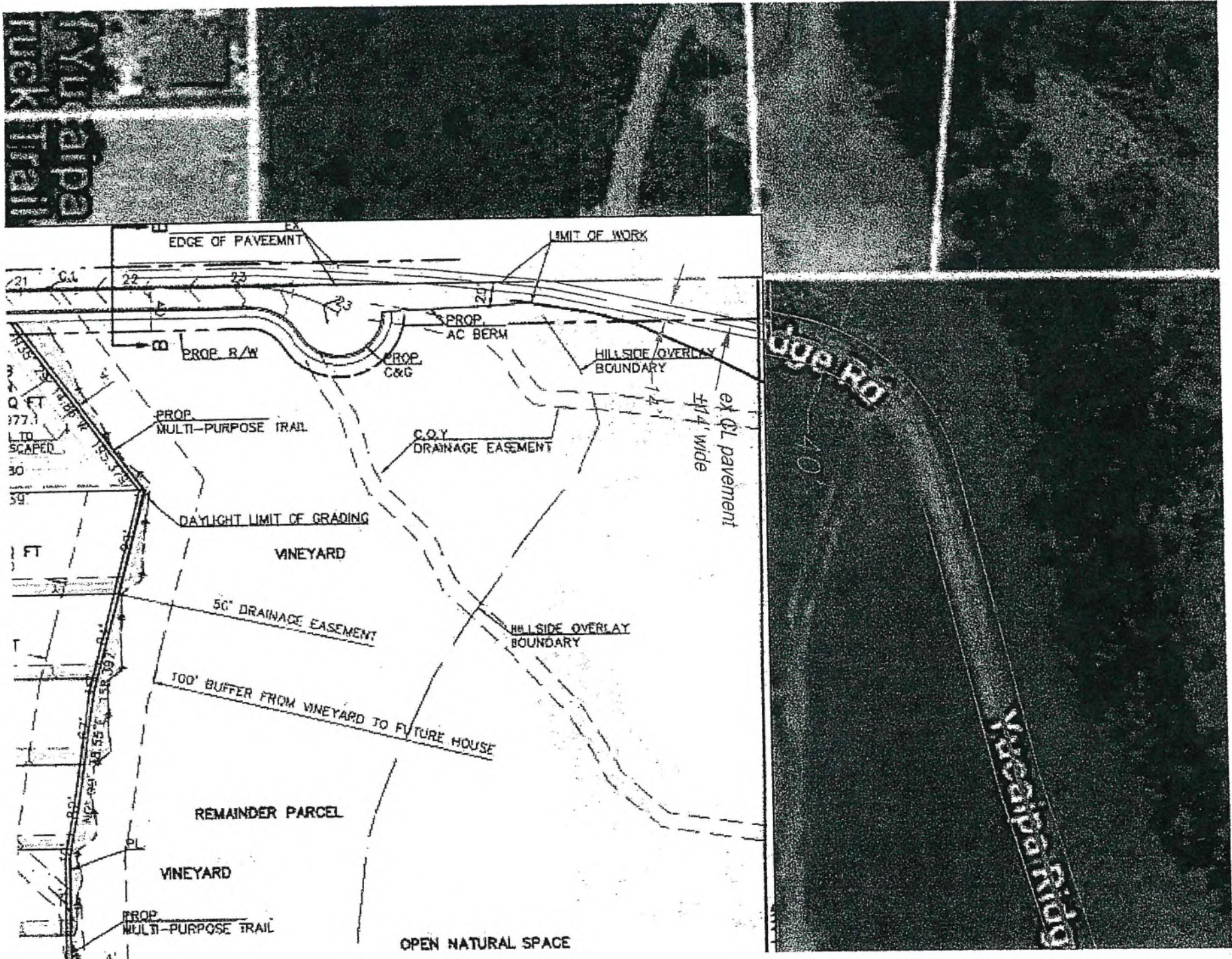
Typical Interior Street  
4.0 Vertical Hand-drawn drainage needs



16 LOTS AT 12,000 SF  
35 LOTS AT 20,000 SF  
1/2 ACRE LOTS HAVE  
+/- 125' FRONTAGE  
40 INDICATES 12000  
SF LOT







Order No. 266446 - KJ  
Escrow No. 4562  
Loan No. RECORDED AT THE REQUEST OF  
FIRST AMERICAN TITLE INSURANCE CO.

81-031120

WHEN RECORDED MAIL TO  
MAIL TAX STATEMENTS TO:  
Mr. and Mrs. Bobby L. Ingram  
336 Sandalwood Drive  
Calimesa, Ca. 92320

6.00  
D

RECORDED IN OFFICIAL RECORDS  
FEB 12 1981 AT 8 AM  
SAN BERNARDINO COUNTY, CALIF.

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENTS TO:

DOCUMENTARY TRANSFER TAX \$ 11.00

X... Computed on the consideration or value of property conveyed; OR  
..... Computed on the consideration or value less liens or encumbrances  
remaining at time of sale.

*D. Dailey, First American Title*  
Signature of Declarant or Agent determining tax - Firm Name

APN 320-131-06

### GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Floyd F. Ward and Jerry Ward, husband and wife,

hereby GRANT(S) to:

Bobby L. Ingram and Elizabeth G. Ingram, husband and wife, as joint tenants,

the real property in the ~~CITY OF~~ unincorporated area in the  
County of San Bernardino

, State of California, described as

found on "EXHIBIT A" attached hereto and made a part hereof.

It is mutually agreed between the parties that the gate at the Southwest corner of  
Government Lot 4 is to be locked at all times.

81-031120

Dated January 22, 1981

STATE OF CALIFORNIA  
COUNTY OF  
San Bernardino

*Floyd F. Ward*  
Floyd F. Ward  
*Jerry Ward*  
Jerry Ward

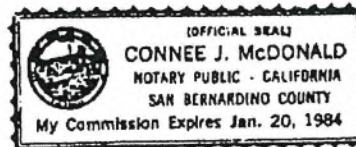
On January 26, 1981

before me, the undersigned, a Notary Public in and for said  
State, personally appeared Floyd F. Ward and  
Jerry Ward

known to me to be the person S whose name S are  
subscribed to the within instrument and acknowledged that  
they executed the same.

WITNESS my hand and official seal.

Signature *Connee J. McDonald*



(This area for official notarial seal)

"EXHIBIT A"

Parcel 1

Government Lot 2, Section 18, Township 1 South Range 1 West, San Bernardino Base and Meridian, according to Government Survey.

EXCEPTING therefrom a strip of land 500 feet in width, extending across the Northern end of said lot 2, said strip of land being 1120 feet in length, more or less, extending in an Easterly and Westerly direction, as conveyed by Deed from Domenico Matis to The Edison Electric Co., recorded in Book 327 of Deeds, page 51.

ALSO EXCEPTING therefrom 1/2 of all oil rights for a period of 30 years, as contained in the Deed from Nunsio Picarella, recorded July 25, 1947, in Book 2066 of Official Records, page 158.

Parcel 2

together with easements appurtenant to the herein above described property over grantors adjacent lands for ingress, egress and utility purposes, said easements over a strip of land 30 feet wide, the centerlines of which are described as follows:

ALIGNMENT 1

Commencing at the southwest corner of Section 18, Township 1 South, Range 1 West, San Bernardino Base and Meridian, thence N89°34'27"E along the south line of said section to a point distant 49.99 feet from the southwest corner thereof to the true point of beginning of Alignment 1; thence (1) N12°19'E 19.41 feet; thence (2) Ely 195.58 feet (through an angle of 64°02') along a tangent curve concave to the SE, having a radius of 175 feet; thence (3) tangent to said curve N76°21'E 293.58 feet; thence (4) N73°17'E 177 feet; thence (5) N75°54'E 365 feet; thence (6) N73°52'E 121 feet; thence (7) N20°39'E 339.64 feet; thence (8) Nly 173.46 feet (through an angle of 62°07') along a tangent curve concave to the W, having a radius of 160 feet; thence (9) tangent to said curve N41°28'W 4.58 feet; thence (10) Nly 153.60 feet (through an angle of 30°30') along a tangent curve concave to the NE, having a radius of 290 feet; thence (11) tangent to said curve N11°18'W 1.12 feet; thence (12) Wly 45.86 feet (through an angle of 65°41') along a tangent curve concave to the SW, having a radius of 40 feet; thence (13) tangent to said curve N76°59'W 69.86 feet; thence (14) Nly 111.64 feet (through an angle of 31°59') along a tangent curve concave to the NE, having a radius of 200 feet; thence (15) tangent to said curve N45°00'W 33.54 feet; thence (16) NWly 107.63 feet (through an angle of 15°25') along a tangent curve concave to the SE, having a radius of 400 feet; thence (17) tangent to said curve N60°25'W 143.04 feet; thence (18) Wly 67.92 feet (through an angle of 31°08') along a tangent curve concave to the S, having a radius of 125 feet; thence (19) tangent to said curve S88°27'W 0.60 feet; thence (20) Nly 148.43 feet (through an angle of 73°57') along a tangent curve concave to the NE, having a radius of 115 feet; thence (21) tangent to said curve N17°36'W 6.82 feet; thence (22) NWly 72.87 feet (through an angle of 55°40') along a tangent curve concave to the SE, having a radius of 75 feet; thence (23) tangent to said curve N73°16'W 50.27 feet; thence (24) NWly 82.53 feet (through an angle of 41°07') along a tangent curve concave to the NE, having a radius of 115 feet; thence (25) tangent to said curve N32°09'W 1.02 feet; thence (26) NWly 48.00 feet (through an angle of 36°40') along a tangent curve concave to the SW, having a radius of 75 feet; thence (27) tangent to said curve N68°49'W 17.56 feet; thence (28) NWly 104.72 feet (through an angle of 30°) along a tangent curve concave to the NE, having a radius of 200 feet; thence (29) tangent to said curve N38°49'W 93.05 feet; thence (30) Nly and Ely 130.05 feet (through an angle of 99°21') along a tangent curve concave to the E, having a radius of 75 feet; thence (31) tangent to said curve N60°32'E 84.45 feet; thence (32) Ely 48.24 feet (through an angle of 55°17') along a tangent curve concave to the S, having a radius of 50 feet; thence (33) tangent to said curve S64°11'E 48.72 feet; thence (34) Ely 39.65 feet (through an angle of 22°43') along a tangent curve concave to

RECORDER'S MEMO:  
POOR RECORD IS DUE TO  
QUALITY OF ORIGINAL DOCUMENT

81-031120



the N, having a radius of 100 feet; thence (35) tangent to said curve  $S86^{\circ}54'E$  153.14 feet; thence (36) Nly 86.20 feet (through an angle of  $75^{\circ}59'$ ) along a tangent curve concave to the NW, having a radius of 65 feet; thence (37) tangent to said curve  $N17^{\circ}07'E$  49.84 feet; thence (38) NEly 126.91 feet (through an angle of  $41^{\circ}33'$ ) along a tangent curve concave to the W, having a radius of 175 feet; thence (39) tangent to said curve  $N24^{\circ}26'W$  59.61 feet; thence (40)  $N14^{\circ}41'W$  64.70 feet; thence (41) NWly 43.60 feet (through an angle of  $49^{\circ}58'$ ) along a tangent curve concave to the SW, having a radius of 50 feet; thence (42) tangent to said curve  $N64^{\circ}39'W$  80.22 feet; thence (43) NWly 56.18 feet (through an angle of  $42^{\circ}55'$ ) along a tangent curve concave to the NE, having a radius of 75 feet; thence (44) tangent to said curve  $N21^{\circ}44'W$  119.54 feet; thence (45) Nly 77.09 feet (through an angle of  $63^{\circ}06'$ ) along a tangent curve concave to the E, having a radius of 70 feet; thence (46) tangent to said curve  $N41^{\circ}22'E$  23.47 feet; thence (47) NEly 34.47 feet (through an angle of  $26^{\circ}20'$ ) along a tangent curve concave to the MW, having a radius of 75 feet; thence (48) tangent to said curve  $N15^{\circ}02'E$  69.95 feet; thence (49) NEly 30.60 feet (through an angle of  $38^{\circ}50'$ ) along a tangent curve concave to the SE, having a radius of 45 feet to a Point A; thence (50) Ely 68.87 feet (through an angle of  $07^{\circ}41'$ ) along a tangent curve concave to the S, having a radius of 45 feet; thence (51) tangent to said curve  $S38^{\circ}19'E$  34.26 feet; thence (52) SEly 64.17 feet (through an angle of  $36^{\circ}46'$ ) along a tangent curve concave to the NE, having a radius of 100 feet; thence (53) tangent to said curve  $S75^{\circ}05'E$  18.52 feet; thence (54) SEly 117.39 feet (through an angle of  $19^{\circ}13'$ ) along a tangent curve concave to the S, having a radius of 350 feet; thence (55) tangent to said curve  $S55^{\circ}52'E$  145.40 feet; thence (56) Ely 68.90 feet (through an angle of  $31^{\circ}35'$ ) along a tangent curve concave to the N, having a radius of 125 feet; thence (57) tangent to said curve  $S87^{\circ}27'E$  142.83 feet; thence (58) Ely 50.53 feet (through an angle of  $28^{\circ}57'$ ) along a tangent curve concave to the S, having a radius of 100 feet; thence (59) tangent to said curve  $S58^{\circ}30'E$  21.98 feet; thence (60) Ely 103.93 feet (through an angle of  $59^{\circ}33'$ ) along a tangent curve concave to the N, having a radius of 100 feet; thence (61) tangent to said curve  $N61^{\circ}57'E$  31.80 feet; thence (62) Nly 115.76 feet (through an angle of  $88^{\circ}26'$ ) along a tangent curve concave to the W, having a radius of 75 feet; thence (63) tangent to said curve  $N26^{\circ}29'W$  126.48 feet; thence (64) NWly 64.52 feet (through an angle of  $18^{\circ}29'$ ) along a tangent curve concave to the SW, having a radius of 200 feet; thence (65) tangent to said curve  $N44^{\circ}58'W$  46.06 feet; thence (66) NWly 39.71 feet (through an angle of  $32^{\circ}30'$ ) along a tangent curve concave to the NE, having a radius of 70 feet; thence (67) tangent to said curve  $N12^{\circ}28'W$  2.18 feet; thence (68) Nly 16.60 feet (through an angle of  $25^{\circ}42'$ ) along a tangent curve concave to the E, having a radius of 37 feet to Point B which is also the intersection with the north line of Government Lot 3 and termination of Alignment 1, said point of terminus being  $S89^{\circ}56'28''E$  and 165.40 feet distant from the NE corner of Government Lot 3.

81-031129

ALIGNMENT 2

Commencing at aforesaid Point B; and thence (69)  $N69^{\circ}56'28''E$  78.24 feet along said north line to the true point of beginning of the Alignment 2; thence (70)  $S42^{\circ}16'E$  73.10 feet; thence (71)  $S50^{\circ}31'E$  50.62 feet to the intersection with the east line of Government Lot 3 and termination of Alignment 2, said point of terminus being  $S00^{\circ}42'49''E$  and 86.38 feet distant from the NE corner of Government Lot 3.

ALIGNMENT 3

Beginning at aforesaid Point A (as described in Alignment 1), and thence (72) N54°00'E 4.01 feet; thence (73) 66.10 feet (through an angle of 126°15') along a tangent curve concave to the SW, having a radius of 30 feet; thence (74) tangent to said curve N72°15'W 147.46 feet to a point on the north line of Government Lot 3; and thence (75) S89°56'28"W 339.98 feet to the east 1/4 corner of Section 18, Township 1 South, Range 1 West, San Bernardino Base and Meridian which is the termination of Alignment 3; and which is N00°25'08"W and 2642.16 feet distant from the point of commencement.

Parcel 3

Grantor further grants a three-sixteenths (3/16) interest in that certain well located S85°48'49"W and 129.26 feet distant from the NE corner of Government Lot 3, Section 18, Township 1 South, Range 1 West, San Bernardino Base and Meridian together with an easement appurtenant to the herein above described well for the purpose of maintaining said well and placing waterlines, the centerline of which is described as follows:

Commencing at the NE corner of Government Lot 3, Section 18, Township 1 South, Range 1 West, San Bernardino Base and Meridian; thence S89°56'28"W 85 feet; thence S00°03'32"E 10 feet to the true point of beginning; thence S89°56'28"W 70 feet to the termination; thence N00°03'32"W 10 feet; thence N89°56'28"E 155 feet to the point of commencement.

Grantor reserves a 30 foot right of entry over Government Lot 2 for the exclusive use of grantor for as long as access is required personally by grantor, the centerline of which is described as follows:

Commencing at the NE corner of Government Lot 3, Section 18, Township 1 South, Range 1 West, San Bernardino Base and Meridian; thence S89°56'28"W 165.40 feet to the true point of beginning; thence Ely 80.40 feet (through an angle of 124°30') along a curve concave to the S, having a radius of 37 feet, and from which a radial bearing from the true point of beginning to the radius point S76°46'E; thence tangent to said curve S42°16'E 22.07 feet to the termination; thence N89°56'28"E 87.16 feet to the point of commencement.

Grantee shall be responsible for his proportionate share of power based on water used.

Grantee shall be responsible for 3/16 of all repairs and maintenance to water well site including pump and other equipment used in the water system.

Grantee agrees to pay his proportionate share of waterline installations serving Government Lot 2, Section 18, T.1S, R.1W., San Bernardino Base and Meridian.

Grantee agrees to pay power, repair and other bills related to said well within 10 days of their presentation.

Grantee shall be absolved of all the above costs regarding said well until such time as Grantee connects to and uses water from said well, unless acceptance of such costs is agreed to in advance in writing.

As a covenant running with the well site, grantor agrees that any future conveyance of any interest in the well site shall be subject to the above conditions.

81-031129

END OF DOCUMENT

AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:

RECORDED IN  
MAY 9 1983 AT 8 A.M.  
SAN BERNARDINO COUNTY, CALIF.

83-099885

NAME: B.L. Ingram and Elizabeth G.  
STREET ADDRESS: Ingram  
366 Sandlewood  
CITY, STATE, ZIP: Calimesa, CA. 92320

4.00  
E

Title Order No. Escrow No. 101

This space for Recorder's use

59183-2

# Grant Deed

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX is \$ 66.00

unincorporated area  City of \_\_\_\_\_

Parcel No. 320-131-05

computed on full value of property conveyed, or

computed on full value less value of liens or encumbrances remaining at time of sale, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

FLOYD F. WARD AND JERRY WARD, husband and wife

hereby GRANT(S) to B.L. INGRAM AND ELIZABETH G. INGRAM, husband and wife  
as joint tenants

the following described real property in the unincorporated area  
county of San Bernardino, state of California:

The Northwest one-quarter of Government Lot 3, said lot being in the West half of Section 18, Township 1 South, Range 1 West, SAN BERNARDINO BASE AND MERIDIAN, in the County of San Bernardino, State of California, according to Government Survey.

Together with easement for ingress, egress and utility purposes as set forth as Attachment "A" attached hereto.

Dated April 20, 1983

STATE OF CALIFORNIA }  
COUNTY OF San Bernardino } ss.

On April 28, 1983 before me,  
the undersigned, a Notary Public in and for said County and State,  
personally appeared Floyd F. Ward and Jerry  
Ward

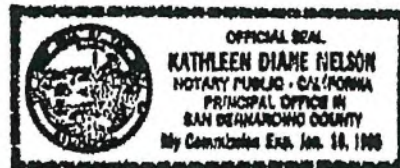
*Floyd F. Ward*  
Floyd F. Ward  
*Jerry Ward*  
Jerry Ward

personally known to me;  
 proved to me on the basis of satisfactory evidence,  
whose name are subscribed to the within instrument and  
acknowledged that they executed the same.

Signature *Kathleen Diane Nelson*

Kathleen Diane Nelson  
Name (Typed or Printed)

Notary Public in and for said County and State



FOR NOTARY SEAL OR STAMP

property over grantors adjacent lands for ingress, egress and utility purposes, said easements over a strip of land 40 feet wide, the centerlines of which are described as follows:

Alignment A

A 20 foot wide easement apportenant over that certain easement conveyed by instrument #81-031120 of the Official Records of San Bernardino County.

Alignment B

Commencing at the Southwest corner of Section 18, Township 1 South, Range 1 West, San Bernardino Base and Meridian; thence N70°23'50"E 1175.97 feet to the true point of beginning; thence N79°09'E 129 feet; thence S89°29'E 69 feet; thence S89°20'E 86 feet; thence N67°25'E 89 feet; thence N48°17'E 70 feet; thence N11°18'W 46 feet; thence N23°59'W 98 feet; thence N37°42'W 27 feet; thence N62°24'W 30 feet; thence N74°58'W 163 feet; thence N32°47'W 74 feet; to the termination of alignment B; thence S57°58'W 1456.19 feet to the point of commencement.

Alignment C

Commencing at the Southwest corner of Section 18, Township 1 South, Range 1 West, San Bernardino Base and Meridian; thence North 1775.28 feet; thence East 587.69 feet to the true point of beginning; thence N17°07'E 49.84 feet; thence N16°30'W 123 feet; thence N54°05'W 71.41 feet to the termination of alignment C; thence South 1982.73; thence West 509.59 feet to the point of commencement.

Grantor further grants a one-fourth ( $\frac{1}{4}$ ) interest in that certain well located S85°48'49"W and 129.26 feet distant from the NE corner of Government Lot 3, Section 18, Township 1 South, Range 1 West, San Bernardino Base and Meridian.

83-099385

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucapipa 52, LLC

PROPOSAL: Case No. 22-150 PD/EDP/TIM 20375 A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375) Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucapipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins. Please note that this is a modified proposal from Case No. 20-136.

LOCATION: Three parcels totaling .52 acres on the east side of Yucapipa Ridge Road, south of the City limits.  
APN: 0320161-08 and 09, 0320181-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucapipa Planning Division, 34272 Yucapipa Boulevard, Yucapipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages)

We dont need or want any parcels less than 1 acre, the roads are already bad the traffic is already bad. The more houses you add the worse off we all are in our North Bench Area. Phase no less than 1 acre

SIGNATURE Arlene Jasso DATE 01-07-23 AGENCY \_\_\_\_\_

PRINT NAME Arlene Jasso ADDRESS \_\_\_\_\_  
YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISE IN WRITING TO THE DIVISION AT OR PRIOR TO THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE CITY CLERK'S OFFICE OR IN WRITING TO THE HEARING BODY AT OR PRIOR TO THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, ORAL TESTIMONY MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF AS QUALITY.

- cc Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucapipa Valley Water District
- Engineering Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL 20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PD/PEDP/TM 20375 A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TM 20375) Final Development Plan for the proposed Semar Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins. Please note that this is a modified proposal from Case No. 20-136.

LOCATION: Three parcels totaling .52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 03201-161-08 and 09, 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages)

We want min 1 acre lots on North the Bench

SIGNATURE: Benjamin Allen DATE: 1/17/23 AGENCY: \_\_\_\_\_

PRINT NAME: Benjamin Allen ADDRESS: \_\_\_\_\_

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cc: Surrounding Property Owners      Yucaipa Valley Water District  
Fire Department                      Engineering Division  
Building & Safety Division

January 18, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Blvd  
Yucaipa CA 92399

RECEIVED

JAN 18 2023

Serrano Estates Project  
Case #PL20220000150

CITY  
OF  
YUCAIPA

To Whom It May Concern,

We are current homeowners on Yucaipa Ridge Road writing in regards to the Serrano Estates project, case number PL20220000150. The letter is to request that the City Of Yucaipa DENY this plan.

When we purchased our home on Yucaipa Ridge Road in 2017 we were very careful to do our research on the empty lot across the street. We visited the City of Yucaipa and checked the zoning and confirmed that it was Rural/Residential with a 1 home 1 acre and a custom home overlay. The neighbors told us of a proposal of 32 custom homes on 1 acre lots. While of course we would have loved to keep the open space, we figured that new 1 acre homesites with custom homes would be good for our property values.

The original Serrano Estate proposal and the new modified proposal for tract homes on small lots seem like a joke, but sadly the original proposal was only rejected by the Planning Commission by one vote. I would really like to know why the Developer of this property has such confidence in submitting a plan that does not meet any of the requirements in the General Plan? We know there is some bending of the language that he believes allows him to build 52 homes, but that seems like an incredible act of subterfuge. The addition of vineyards and "open space" on Undevelopable Land is a further attempt to obscure the fact that this proposal is unfit for the area.

We have been residents of Yucaipa for 21 years. We raised our children here. We shop here, dine here, attend community events and recently relocated our business here. It saddens us that we have had to write letters, attend meetings, and join protest groups in an effort to make the City of Yucaipa put the needs of hundreds of its current residents over the financial gain of one landowner and one developer.

Sincerely,

Brian and Amy Swanston

A handwritten signature in black ink, appearing to be a cursive script, likely representing Brian and Amy Swanston. The signature is written over a horizontal line.

RECEIVED

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

DATE: January 04, 2023

JAN 18 2023

CITY OF YUCAIPA

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

CITY OF YUCAIPA

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development Project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Scrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional pages):

*I oppose this project and do NOT want these zoning changes.*

SIGNATURE Briana Carr DATE 1/15/23 AGENCY \_\_\_\_\_

PRINT NAME Briana Carr ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IF ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING. THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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- cc: Surrounding Property Owners Yucaipa Valley Water District
- Fire Department Engineering Division
- Building & Safety Division



CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 18 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

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COMMENTS (If you need additional space, please attach additional pages):

Our neighborhood, The North Beach, is currently zoned for minimum 1 ACRE parcels to keep it Rural. Reducing the lot size to build more homes is not what we want. We all moved to the North Beach to avoid "cluster housing". We adamantly oppose this proposal.

SIGNATURE Bob Grady DATE 1/18/23 AGENCY \_\_\_\_\_

PRINT NAME Bob Grady ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION. IF YOU CHALLENGE THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

JAN 18 2023

CITY  
OF  
YUCAIPA

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

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COMMENTS (If you need additional space, please attach additional pages):

Please see attached letter.

SIGNATURE Glenn Foster / Cindi Foster DATE 1/17/23 AGENCY \_\_\_\_\_

PRINT NAME Glenn Foster / Cindi Foster ADDRESS \_\_\_\_\_  
YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING

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- cc: Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucaipa Valley Water District
- Engineering Division

January 17, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Blvd.  
Yucaipa, CA 92399

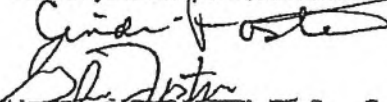
Dear City of Yucaipa Planning Division,

We are Cindi and Glenn Foster, residents in the City of Yucaipa since the year 2000. We live on Ivy Ave. just east of Jefferson St. We have a ten acre property on which we have our residence, four horses, horse pasture, dogs and cats, as well as approximately 400 olive trees. Obviously this is the perfect environment for our life style. It is quiet with like minded neighbors around us.

While we are not adjacent to the proposed Serrano Estates development project we are in complete agreement with our Friends of the North Bench on the violation this project represents to the RL-1 zoning in this area. It is completely out of character to the existing neighborhood, adds dramatically to the traffic on the small neighborhood streets, strains our already marginal water resources and brings in people the are not compatible with our rural lifestyle. And, of course, it does not comply with the one home per one acre of the RL-1 zone.

We therefore ask that you deny this application for development until it is presented in a manner that is consistent with the existing neighborhood and fully complies with the current City of Yucaipa RL-1 zoning regulations.

Thank you for your consideration,

  
Cindi & Glenn Foster

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

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LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

APN: 0320-161-08-and-09; 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages):

reject this project!

SIGNATURE Chad Reynolds DATE 1/11/23 AGENCY \_\_\_\_\_

PRINT NAME Chad Reynolds ADDRESS \_\_\_\_\_

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

January 11, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150.PDP/FDP/TTM 20375

To Whom it May Concern;

This letter is to request that the City of Yucaipa **deny** the planned Serrano Estates Project Case No 22-150 as currently drafted. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre). While the owner has a right to develop the property, the property must be developed in accordance with the intent of the current zoning requirements which is **one home on one acre (43,560 square feet)**. It is entirely inconsistent with the rural culture of the north bench to place homes on anything less than one acre. The City has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the current neighborhood. The homes should be **single story, custom built homes** consistent with the majority of the homes in the neighborhood and should not be tract homes. Photographs showing existing homes along Ivy Avenue and Yucaipa Ridge Road are attached. Please note how the existing homes and lots use the natural slopes, and open lot concept (absence of walls).

#### Senate Bill 9 and Similar Legislation

SB 9 and similar bills referenced in previous comments by developer/owner representatives in city council do not apply to this development. First, SB 9 only applies urbanized areas as designated by the US Census. California discourages urban sprawl into existing rural areas. This property is located outside the urban area designated by the US Census. Second, SB-9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments. Third, SB 9 excludes areas of high fire hazard severity. This area is prone to and experienced wildfires, most recently, the El Dorado Fire.

#### RL-1 Zoning

The proposed Serrano Estates property is zoned **RL-1 meaning Rural Living, one acre minimum**. The developer argues that, averaged over the entire 52 acres, the proposed 51 lots meets the requirement of **one dwelling per one gross acre**. Further, Developer representatives falsely claimed to city council that the development met the definition of rural living as the only definition for rural living is found in the dictionary.

Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. While the definition does include a minimum lot size of one gross acre, it specifically notes a **maximum housing density of one dwelling unit per acre**. The one-acre gross minimum lot size definition was not intended to be averaged over a large development but allowed for consideration of lot lines extending into right-of-way or easements. Consistent with the maximum dwelling unit requirement in the ordinance there should not be more than 24 homes in this development based on the sum of the 51 lot areas.

The RL zoning designation allows farm animal husbandry, orchards, etc. Consistent with the Yucaipa City Ordinance 84.0320, the development must allow for these property uses on each lot.

City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc. that need to be observed in the development.

### **Slopes**

The development as planned calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1) for residential lots in a high seismic hazard area. Slopes exceed 20 feet in height and occupy nearly a third of smaller lots and are nearly 50 feet high at the northeast corner lot. These are excessively steep and inconsistent with the area (see attached photographs). Properties in the area use the natural slopes with split level homes and walk out basements. There are no one acre lots in the area with engineered slopes this steep and high. We ask that the development make better use of the land to preserve natural slopes and limit slopes to 3:1 and not more than 10 feet in height.

### **High Risk Wildfire Area**

This area of the North Bench is a high-risk wildfire area and was most recently affected by the El Dorado wildfire. Closely spaced homes increase the risk to the public. Senior citizens are especially susceptible to the hazards of wildfires, yet the development provides for small, senior citizen housing. Based on wildfire hazard alone, the lot sizes should not exceed the maximum housing density of one dwelling unit per acre and should not be designated by the city for senior housing.

### **Senior Housing**

With regard to the argument for smaller lots for senior housing, we note the single largest demographic in this area of the North Bench are seniors—living on one acre or larger lots. Smaller lots for seniors unnecessary in this area.

### **Flood and Stormwater Control**

We ask that the city review the assumptions and calculations behind the design of flood and stormwater control basins and conveyance structures. As a result of the El Dorado Fire, stormwater flows have increased dramatically. The assumptions and parameters used in calculating stormwater runoff and control features should be based on fire-denuded slopes, unvegetated lots with corrals, and lightly vegetated vineyards. This is the new reality of the area.

### **Other Development Considerations**

In addition to the elements discussed above and consistent with the rural culture of the area, we ask that the development implement the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to rolling blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area (see attached photographs)
- Demonstrate that the additional water requirements will not lead to additional restrictions on existing residents, their orchards, and livestock.
- Demonstrate that traffic will not adversely impact neighborhood safety including cycling, pedestrian, and equestrian traffic. The analysis should include the additional traffic from the commercial winery on Yucaipa Ridge Road.

In summary, the development must be consistent with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal husbandry, and development consistent with the culture of the area (one story homes with lots honoring the natural slopes), with careful attention to public safety, particularly as relates to wildfires and stormwater.

Sincerely,

Chad Reynolds

## 84.0320 Rural Living (RL) District.

The Rural Living (RL) District shall be located as specified by the Yucaipa General Plan.

### (a) Permitted Land Uses

#### (1) Row, Field, Tree, and Nursery Crop Cultivation

Any structure associated with this activity is limited to 10,000 square feet on parcels of five acres or less.

#### (2) Single dwelling unit.

#### (3) Small residential care facility.

#### (4) Animal Raising

(A) Animal raising as a primary use of the property must be on a parcel no less than two acres in size. Lot area used to qualify one animal type, either Primary or Accessory Animal Raising, shall not be reused to qualify another animal type. Proper manure management will be carried out in accordance with Title 3 of the San Bernardino County Code as adopted by the city of Yucaipa.

<u>Animal Type</u>	<u>Animal Density Per Square Foot</u>
Cattle/Buffalo	1 per 10,000
Horses	1 per 10,000
Hogs (9 maximum)	1 per 20,000
Sheep, Female Goats, and Similar Livestock	1 per 4,000
Male Adult Goats (4 maximum)	for parcels of less than 10 acres, 1
Male Adult Goats (4 maximum)	for parcels 10 acres+, 1 per 5 acres
Rabbits and Chinchillas (200 maximum)	50 per 10,000 (min. parcel size 1 acre)
Female Poultry	for parcels of less than 1 acre, 25
Female Poultry	for parcels of 1 to less than 10 acres, 99
Female Poultry	for parcels of 10 acres +, 99 per 10 acres
Male Poultry (9 maximum)	for parcels of less than 10 acres, 2 per parcel
Male Poultry (9 maximum)	for parcels of 10 acres +, 2 per 5 acres

### (B) Small Animal Ranches/Farms

Aviaries, aparies, or similar small animal ranches or farms shall be permitted on parcels that are at least one-half acre in size. Fish raising shall be limited to one pond per acre, with a maximum of four ponds per parcel. Each pond shall not exceed one-half surface acre in area.

#### (5) Accessory uses as specified by Chapter 5 of this division.

#### (6) Small family day care home.

### (b) Land Uses Subject to Conditional Use Permit

#### (1) Commercial kennels and catteries—two-acre minimum parcel size.

#### (2) Commercial chicken ranches restricted to a minimum of 10 acres.

#### (3) Agricultural support services.

#### (4) Mobilehome park (not to exceed four spaces per acre on minimum parcel size of 20 acres).



(5) Any structure associated with row, field, tree, and nursery crop cultivation that is greater than 10,000 square feet on parcels of five acres or less.

(6) Planned development.

(7) Boarding house (for up to six residents).

(8) Bed and breakfast lodge (for up to six guests).

(9) Parolee homes.

(10) Botanical gardens and arboretums.

(11) Historic and monument sites.

(12) Unmanned public utilities and services uses/structures.

(13) Unmanned radio and television stations/towers.

(14) Wildlife and nature preserves.

(c) Property Development Standards

The following property development standards shall apply to all land uses within the RL District.

Maximum Structure Height	35 feet
Minimum Lot Size (map suffix will modify)	1.0 gross acre
Maximum Lot Coverage	40%
Maximum Building Coverage	40%
Maximum Lot Dimensions (width/depth ratio)<	10 acres = 1:3
Maximum Lot Dimensions (width/depth ratio)>	10 acres = 1:4
Minimum Lot Dimensions (width/depth in feet)	125/125
Front Yard Setback	30 feet
Side Yard Setbacks	15 feet
Rear Yard Setbacks	25 feet
Street Side Yard Setbacks (local streets)	20 feet
Street Side Yard Setbacks (collector streets)	30 feet
Maximum Housing Density	1 du/acre
Minimum District Size	10 gross acres

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

JAN 18 2023

CITY  
OF  
YUCAIPA

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages): - see attached Letter

1-17-2023

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ AGENCY \_\_\_\_\_

PRINT NAME DWAYNE + LUCINDA BRINK'S ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IF ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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- cc: Surrounding Property Owners Yucaipa Valley Water District
- Fire Department Engineering Division
- Building & Safety Division

# PUBLIC COMMENT – PLANNING COMMISSION

January 17, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

To Whom It May Concern:

I am writing on behalf of my husband, Dwayne and myself. We designed, built and have lived in our home on the North Bench since 1987. We were attracted to the beauty, open spaces, and rural living the North Bench provided.

We are requesting that the City of Yucaipa deny the planned Serrano Estates Project Case No 22-150 as currently drafted. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning, with lots as small as 12,090 square feet (i.e. a quarter acre). We agree that the owner has a right to develop the property; however, the property must be developed in accordance with the intent of the current zoning requirements which is one home on one acre (43,560 square feet). It is entirely inconsistent with the rural culture of the North Bench to place homes on anything less than one acre. The City has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the beauty of the North Bench. The homes should be custom built homes consistent with the majority of the homes in the neighborhood and should not be "cookie cutter" tract homes.

We would like to make sure our objection to the proposed Serrano Estates property land use change from RL-1 to RS is recorded. The long standing General Plan has maintained the RL-1 designation be the maximum density of one unit per acre. It is also discussed in the "General Housing Plan 2021-2029." Several years ago, a developer tried to change the land use designation and the Planning Commission and City Council rejected the request. Additionally, Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. While the definition does include a minimum lot size of one gross acre, it specifically notes a maximum housing density of one dwelling unit per acre. The ordinance also specifies home setbacks, lot dimensions, allows for farm animal husbandry, orchards etc. which would need to be observed in the development. The one-acre gross minimum lot size definition was never intended to be averaged over a large development. Consistent with the maximum dwelling unit requirement in the ordinance, there should not be more than 24 homes in this development based on the sum of the 51 lot areas.

Do not be fooled by the developer's comments referencing Senate Bill 9 and similar legislation. These do not apply to the development in question.

The development as planned, calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1). Slopes exceed 20 feet in height and occupy nearly a third of smaller lots and are nearly 50 feet high at the northeast corner lot. These are excessively steep and inconsistent with the area. We ask that the development make better use of the land to preserve natural slopes and limit slopes to 3:1 and not more than 10 feet in height.

We all know that the North Bench is a high-risk wildfire area which was most recently affected by the El Dorado wildfire. The denuded hillside as a result of the wildfires, have resurrected worries for floods and mudslides. Also, a major concern is the fact that we live in a high seismic area.

We do not want increased traffic in our sub-division. There are only two egresses. One is on Azurite and one is on Topaz. Presently, these two streets service upwards of seventy homes. The current proposal will increase the number of cars by nearly 75%. This will have a profound impact by adding more noise and traffic hazards. Our neighbors live at the end/bottom of Quartz St. This necessitated the planting of several palm trees in their front yard to stop any out of control vehicles from crashing into their home. We know of at least three vehicles that have previously crashed onto the property. There is a palpable empathy for our neighbors on Yucaipa Ridge Road, as well as, Quartz St, Chrystal St, Azurite St, Goldstone St and Topaz St. The residents on these streets will take the brunt of the extra traffic. We want assurance that the increased traffic will not adversely impact our neighborhood's safety including cyclists, pedestrians, and equestrian traffic.

We are extremely concerned with the availability of water. California has been in the midst of a drought for years. Where is this additional water coming from? Is there any guarantee that water pressure will not be adversely affected by these homes? The water pressure is currently irregular.

The images described for this new complex does not flow what so ever with the North Bench. The proposal includes a brick wall around the complex. That is not appealing to our open spaces and is in fact, contradictory to the spirit of the North Bench.

There is a planned vineyard. That is awesome. If the vineyard is the driving force behind this development, why not make the entire 52 acres vineyards? Why try to squeeze as many houses possible in the smallest parcel allowed?

We watched the State of the City and viticulture was never mentioned as the direction the city wants to make a high priority. There was much more discussion about the uniqueness of the city with parks and open spaces. Also discussed, was Yucaipa as being a "horse city." Approving this development as is, will deny new residents the opportunity to have horses or farm animals.

We have a few questions that have not been addressed at the Planning Commission or City Council.

- 1) If this development is approved, who will own the vineyard area? Who will profit from the grapes? Why not sell that acreage to a vintner and develop the remaining acres per the current zoning of one acre, one house? Do we even know if the grapes will make good wine? After many years, it appears that several of the local wineries are still importing their grapes from central California.
- 2.) Who will own the designated open space? Will it be maintained? If yes, who is responsible physically and monetarily for the maintenance?
- 3.) Is there a guarantee if the development is required to build a sewer system, our neighborhood will not be required to connect? If we are required, who will pay for that connection?
- 4.) The plan calls for sixteen lots designated as senior housing. We believe that this is just another ploy for smaller lots. How will this be monitored and enforced in the future?

We ask that you deny this project. It is an unwelcomed addition to the North Bench.

Thank you for your consideration.



Dwayne Brinks



Lucinda Brinks

"Housing should not be an industry driven by profit."

City of Yucaipa Planning Division  
34272 Yucaipa Blvd.  
Yucaipa, CA 92399

RECEIVED

JAN 18 2023

Serrono Estates Project  
Case No. PL20220000150  
Applicant Yucaipa 52 LLC  
Proposal: case no. 22-150/PDP/FDP/TIM20375

CITY  
OF  
YUCAIPA

Dear City Planning Commission,

I am the President of the Yucaipa Valley Conservancy, we have worked hard with the City for many years to preserve the rural atmosphere that is here. We worked to acquire the State Park, we gave you the El Dorado, thanks to the Wildlands Conservancy, and we help you purchase the 5 Winds Ranch. We have been able to keep Yucaipa the unique area that it is. Many families bought on the North Bench to have elbow room, keep livestock, and have gardens and orchards. They knew the general plan called for 1 acre lots. So did the developer that now wants to change it. He does not live here. He should not have a say.

Yucaipa has plenty of other areas that are being developed to increase housing. From what I have read, all the new laws that Sacramento is sending our way, is not a problem because we are meeting their quota.

Please deny this project. The developer can develop the land according to the general plan as it now is written.

Thank you,  
DeDe Chudy  
President Yucaipa Valley Conservancy

**CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE**

**DATE:** January 04, 2023

**CASE NUMBER:** PL20220000150

**APPLICANT:** Yucaipa 52, LLC

**PROPOSAL:** Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

**LOCATION:** Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
**APN:** 0320-161-08 and 09; 03201-81-28

**ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES:** The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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**COMMENTS** (If you need additional space, please attach additional pages):

*please see attached*

SIGNATURE *Deborah Davidson* DATE 1/12/2023 AGENCY \_\_\_\_\_

PRINT NAME DEBORAH DAVIDSON ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON .

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cc: \_\_\_\_\_  
Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

January 12, 2023

City of Yucaipa Planning Division

attn: Benjamin Matlock

34272 Yucaipa Blvd.

Yucaipa, CA 92399

RECEIVED JAN 12 2023

Re: Case Number PL20220000150

Applicant Yucaipa 52, LLC

Dear Mr. Matlock,

I own property directly adjacent to the proposed Serrano Estates Project, and have reviewed the modified plan and tentative tract map at length. The Yucaipa General Plan Vision begins by identifying the Community Cornerstones of "small-town rural character with strong neighborhood identities," as well as "scenic vistas, wild lands, ravines, and hillsides." While it looks like they have increased the offset from the street to the surrounding block wall to about 60 feet, that is not nearly enough space from the existing residential homes. The land slopes upward there, and the end result will be like looking at a prison wall.

I'm sure you are aware that existing neighborhoods on the outskirts of Yucaipa are zoned Rural 1 (one acre lots). If you refer to the enclosed map that shows the existing custom homes (identified with a blue square) compared to the modified development plan (homes shown with a red square) you can see that the character of the existing neighborhood is still not remotely preserved. Even though they are including one token 1-acre lot and some half-acre lots, the overall house count is still the same, which brings up other concerns that have not been addressed.

One of the biggest concerns is everyday traffic. Yucaipa Ridge, Crystal, and Quartz are all rural streets without sidewalks or stop signs. They both empty onto Azurite, which empties to Juniper, and then out to Bryant Street where there is no traffic light. Even with the existing number of homes that are spread out, it can take several minutes to make a left turn onto Bryant Street during commuting hours today. This proposed development would add 51 homes to that equation that could have 2, 3 or more cars each. Even a few trips a day would create dangerous traffic congestion.

One of the primary reasons for one-acre lot zoning requirements next to undeveloped land is for better emergency control in the event of wildfires, mudslides, or other natural disasters. Having houses so closely packed together would make emergency management of ingress and egress very difficult, since all of these 51 homes would have to channel out through Azurite Street and Juniper. Two to three roads that all exit to the same road



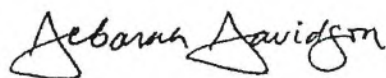
within a quarter mile does not meet the requirements for secondary access, and an emergency evacuation order would be a huge mess. The existing neighborhood is on septic, and the new development is planned to be on a sewer system, although no details have been provided. Sewer construction would make road accessibility even more problematic.

There was a seismic trench excavated in the mid-2000s. It was left open for several years with no erosion controls, and eventually most of it was filled in with a bulldozer for safety reasons. However, there was no compaction or compaction tests from a soils engineer. This will all have to be dug out and recompacted before building.

The neighborhood already has extremely low water pressure ever since high density housing was built on the west side of Bryant Street. Adding an additional high density development would require additional water infrastructure, and that has not been addressed.

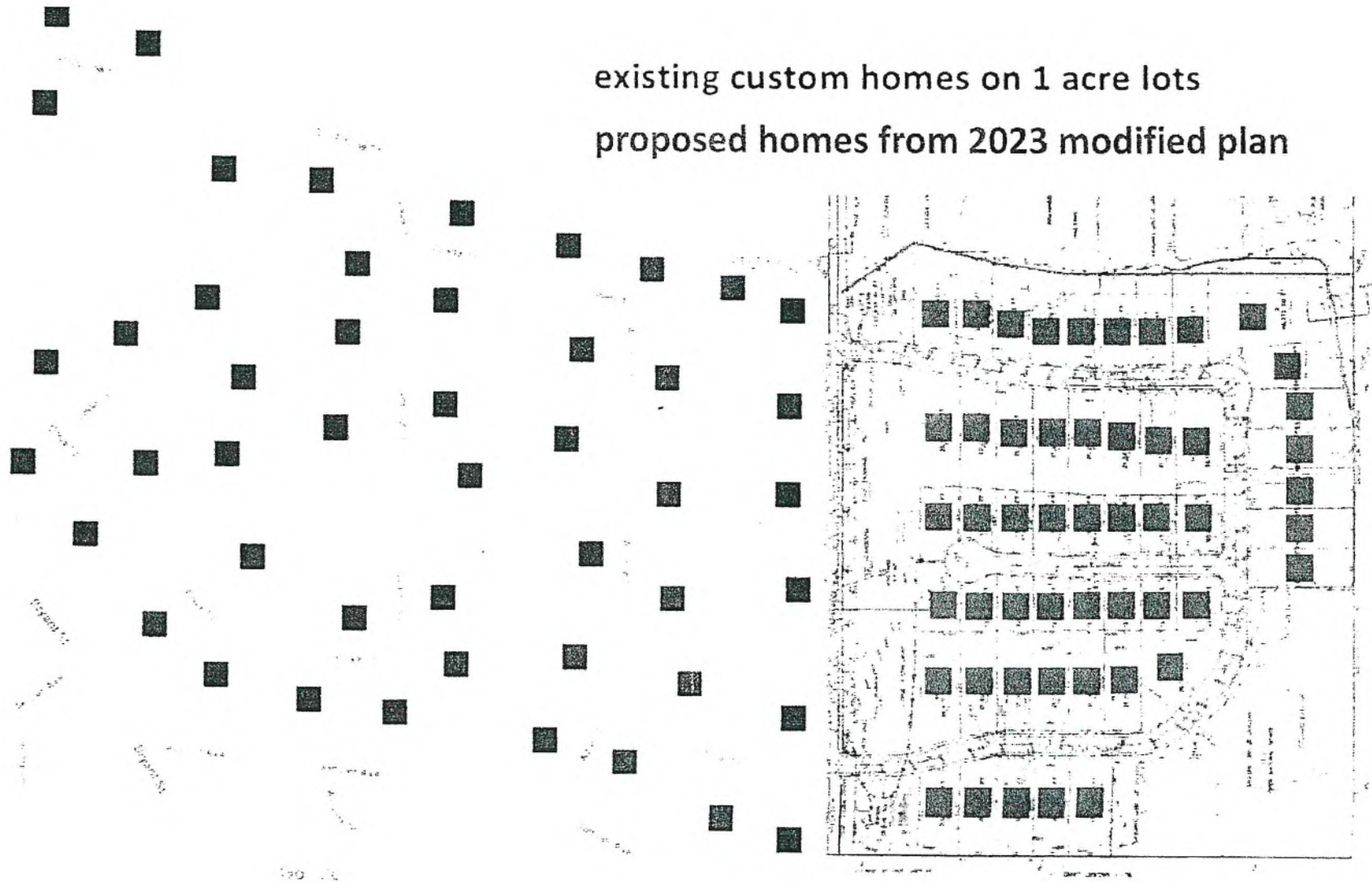
The changes made by the developer to the plan have spread out the same number of lots to make some of the lot sizes larger by reducing the undeveloped land slightly, but they have not addressed any of these other serious issues that have been raised by the community. Please do not let backdoor deals set a precedent that is not in the best interests of Yucaipa. I am requesting that the Planning Commission reject this modified plan until all of these serious concerns are successfully mediated to meet the goals of the General Plan and the concerns of the existing neighborhood. Thank you for your time and consideration, and for your service to our community.

Sincerely,

A handwritten signature in black ink that reads "Deborah Davidson". The signature is written in a cursive, flowing style.

Deborah Davidson

existing custom homes on 1 acre lots  
proposed homes from 2023 modified plan



CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

DATE: January 04, 2023

RECEIVED JAN 17 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

APN: ~~0320-161-08 and 09; 03201-81-28~~

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COMMENTS (If you need additional space, please attach additional pages):

WE PURCHASED OUR LAND HERE IN 1983. WE WERE TOLD ALL PARCELS WERE 1 ACRE MINIMUM. AFTER LIVING WITH NEIGHBORS 6 FT AWAY, THIS IS WHAT WE WANTED. THERE ARE MANY WHO FEEL THIS WAY. WE HATE TO SEE RURAL YUCAIPA CHANGE. IF WE ALLOW THIS TO HAPPEN MANY OF OUR NEIGHBORS WILL WANT TO SPLIT THEIR PARCELS

SIGNATURE Don Epstein DATE 1/9/23 AGENCY \_\_\_\_\_

→  
SEE  
OVER

PRINT NAME DON EPSTEIN ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THEM. ALL CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

11/11/11

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BEFORE MOVING OUT OF THE AREA. BEING A LONG  
TIME YUCAIPA RESIDENT (ATTENDED GRADE SCHOOL HERE) I  
HATE TO SEE CHANGES LIKE THIS OCCUR AND RUIN  
ONE OF YUCAIPA'S LAST RURAL AREAS. PLEASE  
DENY THIS REQUEST.

January 16, 2023

Yucaipa City Planning Division  
34272 Yucaipa Boulevard  
Yucaipa CA 92399

RECEIVED JAN 17 2023

To Whom it May Concern:

Re: PL20220000150

From the General Plan, April 2016, less than 7 years ago:

"Yucaipa is the Jewel of the Inland Empire. Framed by the San Bernardino Mountains, Yucaipa's natural environment—with its cleaner air and unique topography—distinguishes its exceptional quality of life. Yucaipa offers an attractive, peaceful, and safe community for all of its residents. Yucaipa is thoughtfully planned, balancing the needs of residents, the environment, and the business community. Quality public facilities, schools, community services, and other amenities draw residents and visitors of all ages to live, work, play, and retire in Yucaipa." And it goes on about all of the reasons we call Yucaipa home.

Our leaders seem have lost sight of and is ignoring our roots and the needs and concerns of the people whom they work.

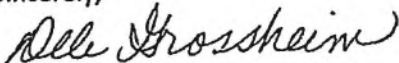
Traffic congestion, crime, drugs, homelessness and out of control growth is dramatically changing the quiet, rural, family atmosphere of our Yucaipa forever.

Although the nearby catch basins have been revamped and are being better maintained, there has been very little consideration of any actual infrastructure presented. Poor Oak Glen has suffered mightily from the heavy rains due to the fires we experienced a couple of years ago.

In addition, should Californians continue be forced into "going green," where will those alternative power supply facilities be? We already experience brown outs during the summer months even with the use of solar in roughly 30% of homes in California. My family has been part of the Edison Summer Discount plan for over a decade. Where has that gotten us? What is Edison doing to assure us that they can provide even MORE sufficient, stable energy to our community?

This proposal is not huge, and I'm certain it's only a small part of a grander scheme. How can the Planning Division and our City Council imagine that additional residential homes, not to mention the shopping, additional businesses and nightmarish traffic that will explode exponentially along with them, is of any benefit to those of us who call Yucaipa home. SaveYucaipa

Sincerely,



Deb Grossheim

### CITY OF YUCAIPA PLANNING DIVISION PROJECT NOTICE

DATE: January 03, 2023

CASE NUMBER: PL 20220000150

APPLICANT: Yucalpa 52, LLC

PROPOSAL: Case No. 22-150 PDP/EDP/TTM 20175 A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375) Final Development Plan for the proposed Semino Estates Project, which will establish 51 Single Family Residential lots, with 35 residential lots on parcels 30,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucalpa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins. Please note that this is a modified proposal from Case No. 20-136.

LOCATION: Three parcels totaling 52 acres on the east side of Yucalpa Ridge Road, south of the City limits.  
APN: 0320-161-08 and 09, 03201-81-28

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COMMENTS (If you need additional space, please attach additional page(s).)

SIGNATURE Deborah E. Johnston 1/18/2023 Self  
AGENCY \_\_\_\_\_

PRINT NAME Deborah E. Johnston

IF YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL, ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING TO THE DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE. CORRESPONDENCE DELIVERED TO THE HEARING BODY AT OR PRIOR TO THE HEARING.

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- cc: Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucalpa Valley Water District
- Engineering Division

## **Benjamin Matlock**

---

**From:**  
**Sent:** Monday, January 16, 2023 11:01 AM  
**To:** Benjamin Matlock  
**Subject:** Yucaipa Ridge Project PL20220000150

Dear Ben Matlock and Planning Commission,

For the Yucaipa Ridge Road Project we **oppose** the current, redone plans for the project PL20220000150 (to be presented 1/18/2023) and any other projects on the North bench's zone designated rural living. We want it kept rural living, one acre minimum lots. We have been here since 2004 and moved here because of the rural designation. Any other zone of less than one acre lots would ruin this area's character and uniqueness.

This area is zoned for one acre lots, rural living on the North Bench. With or without vineyards, each lot should be one acre, not a small lot for every acre of land that is developed. That does not make it rural anymore.

It they want to place vineyards on the outside of housing area, that would be fine, but do not change the lot size. When the vineyards were first proposed, the lot sizes started to shrink and shrink and shrink. Since the developers cannot help themselves and want to change our area with ever changing exceptions, we need to keep the lots one acre, **NO EXCEPTIONS**. If the vineyards are suppose to work so well, the developers will not need to develop small lots to make more money and ruin our area on the North Bench. The open areas of the North Bench add so much uniqueness to Yucaipa, please do not ruin it.

Sincerely,  
DeEsta West

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: 1/16/2023

CASE NUMBER: 2023-00001

APPLICANT: Yucapal LLC

PROPOSAL: The applicant is requesting for the City of Yucaipa Planning Division to review and approve the proposed project located at 11111 N. Main Street, Yucaipa, CA 91789. The project consists of a new 100-unit residential development. The applicant is requesting for the City of Yucaipa Planning Division to review and approve the proposed project. The applicant is requesting for the City of Yucaipa Planning Division to review and approve the proposed project. The applicant is requesting for the City of Yucaipa Planning Division to review and approve the proposed project.

LOCATION: 11111 N. Main Street, Yucaipa, CA 91789

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The applicant is requesting for the City of Yucaipa Planning Division to review and approve the proposed project. The applicant is requesting for the City of Yucaipa Planning Division to review and approve the proposed project. The applicant is requesting for the City of Yucaipa Planning Division to review and approve the proposed project. The applicant is requesting for the City of Yucaipa Planning Division to review and approve the proposed project.

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SIGNATURE: *DeSta West* DATE: *1-16-23*  
PROJECT FILE: *DeSta J. West*  
APPLICANT: Yucapal LLC  
PROJECT ADDRESS: 11111 N. Main Street, Yucaipa, CA 91789  
PROJECT CONTACT: DeSta West  
PROJECT PHONE: (951) 231-1234  
PROJECT FAX: (951) 231-1234  
PROJECT EMAIL: *desta@yucapal.com*



**From:**  
**Subject:** Yucaipa Ridge Project PL20220000150  
**Date:** January 16, 2023 at 11:00 AM  
**To:** bmatlock@yucaipa.org

Dear Ben Matlock and Planning Commission,

For the Yucaipa Ridge Road Project we **oppose** the current, redone plans for the project and any other projects on the North bench's zone designated rural living. We want it kept as it has been here since 2004 and moved here because of the rural designation. Any other changes would ruin this area's character and uniqueness.

This area is zoned for one acre lots, rural living on the North Bench. With or without vineyards, a small lot for every acre of land that is developed. That does not make it rural anymore.

If they want to place vineyards on the outside of housing area, that would be fine, but if that were first proposed, the lot sizes started to shrink and shrink and shrink. Since the developers change our area with ever changing exceptions, we need to keep the lots one acre, NC to work so well, the developers will not need to develop small lots to make more money. Open areas of the North Bench add so much uniqueness to Yucaipa, please do not ruin it.

Sincerely,  
DeEsta West

*DeEsta West*

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL 20220000150

APPLICANT: Yucapra 52, LLC

PROPOSAL: Case No. 22-150 PDP/ED/TTM 20375 A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375) Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualify use seniors on lots greater than 12,000 square feet, an additional numbered lot (S2) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09, 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages)

We want min 4 acre lots on the North Bench

SIGNATURE: *[Handwritten Signature]* DATE: 1/7/23 AGENCY: \_\_\_\_\_

PRINT NAME: *[Handwritten Name]* ADDRESS: \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN COURT, YOU MUST DO SO WITHIN 10 BUSINESS DAYS OF THE DATE YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE PLANNING DIVISION AT, OR PRIOR TO, THE DATE IT MAKES ITS DECISION ON THE PROPOSAL OR, IF A PUBLIC HEARING IS HELD ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

- cc Surrounding Property Owners Yucaipa Valley Water District
- Fire Department Engineering Division
- Building & Safety Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

JAN 18 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

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CITY  
OF  
YUCAIPA

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COMMENTS (If you need additional space, please attach additional pages):

*I am in opposition to this project and to the change in zoning for this area. The City of Yucaipa was founded due to overzealous development by SB County. The leaders of this community should keep that in mind when considering proposals to increase housing density and keep Yucaipa as a rural home town community. We are big enough.*

SIGNATURE Glen Carr DATE 1/13/23 AGENCY Homeowner

PRINT NAME GLEN CARR ADDRESS \_\_\_\_\_

IF YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE TO THE CITY PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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- cc: Surrounding Property Owners
- Yucaipa Valley Water District
- Fire Department
- Engineering Division
- Building & Safety Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

JAN 18 2023

CITY  
OF  
YUCAIPA

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Sorano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

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COMMENTS (If you need additional space, please attach additional pages):

SIGNATURE *Gregory P. Mitchell* DATE 1-18-23 AGENCY Homeowner

PRINT NAME Gregory P. Mitchell ADDRESS \_\_\_\_\_

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- cc: Surrounding Property Owners Yucaipa Valley Water District
- Fire Department Engineering Division
- Building & Safety Division

January 11, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

RECEIVED

JAN 18 2023

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

CITY  
OF  
YUCAIPA

To Whom it May Concern:

This letter is to request that the City of Yucaipa **deny** the planned Serrano Estates Project Case No 22-150 as currently drafted. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre). While the owner has a right to develop the property, the property must be developed in accordance with the intent of the current zoning requirements which is **one home on one acre (43,560 square feet)**. It is entirely inconsistent with the rural culture of the north bench to place homes on anything less than one acre. The City has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the current neighborhood. The homes should be **single story, custom built homes** consistent with the majority of the homes in the neighborhood and should not be tract homes. Photographs showing existing homes along Ivy Avenue and Yucaipa Ridge Road are attached. Please note how the existing homes and lots use the natural slopes, and open lot concept (absence of walls). I am also very concerned about the zoning precedent that this will set for the area if approved. At some point in the future it is easy to see how the current proposed neighborhood could be separated from the rest of the "parcel" in discussion and then be used as an example by future developers to develop neighborhoods with ¼ acre parcels. This is not acceptable for those of us who bought property and built here specifically because of the rural nature zoning that has existed for decades.

#### **Senate Bill 9 and Similar Legislation**

SB 9 and similar bills referenced in previous comments by developer/owner representatives in city council do not apply to this development. First, SB 9 only applies urbanized areas as designated by the US Census. California discourages urban sprawl into existing rural areas. This property is located outside the urban area designated by the US Census. Second, SB-9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments. Third, SB 9 excludes areas of high fire hazard severity. This area is prone to and experienced wildfires, most recently, the El Dorado Fire.

#### **RL-1 Zoning**

The proposed Serrano Estates property is zoned **RL-1 meaning Rural Living, one acre minimum**. The developer argues that, averaged over the entire 52 acres, the proposed 51 lots meets the requirement of **one dwelling per one gross acre**. Further, Developer representatives falsely claimed to city council that the development met the definition of rural living as the only definition for rural living is found in the dictionary.

Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. While the definition does include a minimum lot size of one gross acre, it specifically notes a **maximum housing density of one dwelling unit per acre**. The one-acre gross minimum lot size definition was not

intended to be averaged over a large development but allowed for consideration of lot lines extending into right-of-way or easements. Consistent with the maximum dwelling unit requirement in the ordinance there should not be more than 24 homes in this development based on the sum of the 51 lot areas.

**The RL zoning designation allows farm animal husbandry, orchards, etc. Consistent with the Yucaipa City Ordinance 84.0320, the development must allow for these property uses on each lot.**

City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc. that need to be observed in the development.

### **Slopes**

The development as planned calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1) for residential lots in a high seismic hazard area. Slopes exceed 20 feet in height and occupy nearly a third of smaller lots and are nearly 50 feet high at the northeast corner lot. These are excessively steep and inconsistent with the area (see attached photographs). Properties in the area use the natural slopes with split level homes and walk out basements. There are no one acre lots in the area with engineered slopes this steep and high. We ask that the development make better use of the land to preserve natural slopes and limit slopes to 3:1 and not more than 10 feet in height.

### **High Risk Wildfire Area**

This area of the North Bench is a high-risk wildfire area and was most recently affected by the El Dorado wildfire. Closely spaced homes increase the risk to the public. Senior citizens are especially susceptible to the hazards of wildfires, yet the development provides for small, senior citizen housing. Based on wildfire hazard alone, the lot sizes should not exceed the maximum housing density of one dwelling unit per acre and should not be designated by the city for senior housing.

### **Senior Housing**

With regard to the argument for smaller lots for senior housing, we note the single largest demographic in this area of the North Bench are seniors—living on one acre or larger lots. Smaller lots for seniors unnecessary in this area.

### **Flood and Stormwater Control**

We ask that the city review the assumptions and calculations behind the design of flood and stormwater control basins and conveyance structures. As a result of the El Dorado Fire, stormwater flows have increased dramatically. The assumptions and parameters used in calculating stormwater runoff and control features should be based on fire-denuded slopes, unvegetated lots with corrals, and lightly vegetated vineyards. This is the new reality of the area.

### **Other Development Considerations**

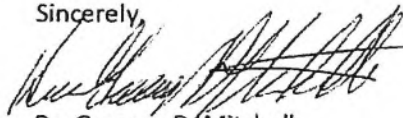
In addition to the elements discussed above and consistent with the rural culture of the area, we ask that the development implement the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to rolling blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area (see attached photographs)

- Demonstrate that the additional water requirements will not lead to additional restrictions on existing residents, their orchards, and livestock.
- Demonstrate that traffic will not adversely impact neighborhood safety including cycling, pedestrian, and equestrian traffic. The analysis should include the additional traffic from the commercial winery on Yucaipa Ridge Road.

**In summary, the development must be consistent with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal husbandry, and development consistent with the culture of the area (one story homes with lots honoring the natural slopes), with careful attention to public safety, particularly as relates to wildfires and stormwater.**

Sincerely,

A handwritten signature in black ink, appearing to read "Dr. Gregory D. Mitchell". The signature is stylized and somewhat cursive, with a prominent "M" and "D" at the end.

Dr. Gregory D. Mitchell

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucalpa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits APN: 0320-161-08 and 09; 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages):

The roads are not equipped for such high-density housing. Please keep it zoned for 1 acre!!

SIGNATURE Heather Tang DATE 1/18/23 AGENCY \_\_\_\_\_

PRINT NAME Heather Tang ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THE ISSUES IN WRITING AND CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc. Surrounding Property Owners      Yucaipa Valley Water District  
Fire Department                              Engineering Division  
Building & Safety Division



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JAN 18 2023

CITY OF YUCAIPA

DATE: January 04, 2023

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APPLICANT: Yucaipa 52, LLC


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COMMENTS (If you need additional space, please attach additional pages):

SIGNATURE  DATE 1-18-23 AGENCY Homecare

PRINT NAME Benjamin Matlock ADDRESS

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January 17, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

RECEIVED  
JAN 18 2023  
CITY  
OF  
YUCAIPA

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

To Whom it May Concern:

This is to request that the City of Yucaipa deny the planned Serrano Estates Project (Case No 22-150).

We have several concerns:

It violates development requirements for RL-1 zoning. All property owners who either built or who purchased with an existing house in this area knew of the provisions in place with this zoning regulation and their decision to purchase and live here was in some degree largely based on this zoning regulation because of what it provided for them and their family. For the developer to justify the plan as meeting the requirements by averaging one house per acre is a very warped way of interpreting the regulation and its intent. If the regulation meant an "average" of homes per acre on a given property, then there are all kinds of very crowded developments that should be allowed on parcels of acreage. We all know what the regulation clearly means per Yucaipa City Ordinance 84.0320. Zoning allows for property owners to have farm animals, gardens and orchards in a way that is not possible on smaller lots, thus the reason for this zoning. Less than the regulation of 1 house/1 acre is not considered rural living, will not allow for the animals and farming and must not be allowed for the special interests of this developer.

Property values are partially based on zoning. To add homes on much smaller lots to the interior of the existing homes which are based on the RL-1 zoning (the current homes would sit between the main road and the proposed development), will significantly affect property values detrimentally. That is unacceptable. Property owners purchased their homes with this consideration as well.

While it is completely acceptable for anyone to purchase property and to build on it in this area, and that in doing so it would affect traffic, it is unacceptable to go outside of the parameters set by the zoning regulations. Property owners purchased their properties know what future building projects could bring as far as homes on the open land and an increase in traffic. They did not make their decision to purchase with an other changes being allowed that are in violation of one home per one acre lot. The traffic through the current homes with the proposed project will be a horrendous increase and burden on the roads, through the existing neighborhoods and additionally on Bryant.

Repeatedly SB 9 and other bills from the State have been stated by City officials as a reason for putting in these homes. Please review the State bills. This project is outside the parameters set by them:

1. Urban development is discouraged from moving into rural areas. This project property is clearly outside the urban area.
2. SB 9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments.
3. SB 9 excludes high fire hazard rated areas. No question on the rating of this property.


All these stated reasons are not the exhaustive list of why this development may not be approved to move forward. There are many more, but the bottom line is this:

This area is zoned for 1 house per 1 acre lot. No one may work around that regulation. It is in place on behalf of the residents of Yucaipa and no developer may put their special interests above that of the residents of the City. And no City representative/s may bend to the wishes of the developers, extending favors that change zoning requirements and regulations without the complete agreement of the City residents. Our City officials are in their positions as our representatives only, not as representing themselves or the special interests of developers who have only their own financial gain as their interests.

Please help us to preserve the rural areas of Yucaipa. Our City is the envy of many because of the rural nature of the area. We give in to this project, we have let that go.

Thank you for your time. We trust you will abide by the wishes of the residents of Yucaipa as you represent us!

Sincerely,



Irmgart Mitchell

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

Traffic situation is already terrible. Greed abounds in this project. Just say no.

RECEIVED JAN 17 2023

SIGNATURE Jean Adams DATE 1-10-23 AGENCY \_\_\_\_\_

PRINT NAME JEAN ADAMS ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSED PROJECT ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN FORM TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

James and Nancy Caldwell

16th January 2023

**Benjamin Matlock**

Planning Manager / City Planner  
34272 Yucaipa Blvd  
Yucaipa, CA 92399

RECEIVED  
JAN 18 2023  
CITY  
OF  
YUCAIPA

Dear Mr. Matlock,

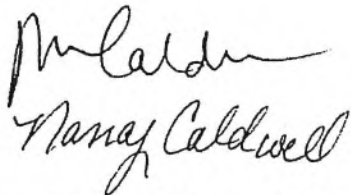
We are in receipt of the Notice for Case Number PL20220000150 dated January 4, 2023.

We acquired our property in July 2017. We were drawn to the North Bench area of Yucaipa because of the Rural Property and the beautiful view of the Yucaipa Ridge Line. Our hope and desire is that the area would remain as a Rural zone for our lifetimes and those of our children's children.

Our understanding of the Project would change the current zoning from 2.5 or 1.0 acres down to 0.5 acre lots or less. In our opinion, this dramatically changes the original intention of the North Bench area as a Rural Living area.

Should the project go forward, we would request that the developer / owner provide horse trails adequate to maintain the current access to the existing trails.

Sincerely,



James and Nancy Caldwell

**CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE**

**DATE:** January 04, 2023

**CASE NUMBER:** PL20220000150

**APPLICANT:** Yucaipa 52, LLC

**PROPOSAL:** Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

**LOCATION:** Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

**APN:** 0320-161-08 and -09; 0320-1-81-28

**ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES:** The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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**COMMENTS** (If you need additional space, please attach additional pages):

SIGNATURE J. Russ Caldwell DATE 1/11/23 AGENCY \_\_\_\_\_

PRINT NAME J. Russ Caldwell ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

RECEIVED

JAN 17 2023

CITY OF YUCAIPA

# CITY OF YUCAIPA PLANNING DIVISION PROJECT NOTICE

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages):

*This suggested re-do doesn't address the main issues against the development: Keeping the rural feel of the North Ranch with 1 acre lots & controlling the traffic. We are against this development*

SIGNATURE *Jacqueline Sproal* DATE 1-16-23 AGENCY \_\_\_\_\_

PRINT NAME Jacqueline Sproal ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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- cc: Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucaipa Valley Water District
- Engineering Division

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

PAID

JAN 18 2023

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

CITY  
OF  
YUCAIPA

To Whom it May Concern:

This letter is to express my concern and opposition in regards to the Serrano Estates Project. I urge the City of Yucaipa to consider and give weight to the perspectives of the current residents as this community is our home, culture and atmosphere.

The North Bench is a unique location in Yucaipa where custom homes are paired on large 1-acre + lots boasting wonderful locations for raising children and cultivating gardens and animal husbandry. This sought-after environment, its feel and environment, is a foundational pillar for those who choose to live and raise their families in the shadow of the mountains. Although the allure of living in the foothills of the mountains is attractive, The Serrano Estates Project, as designed, is a clear departure from the design, purpose and feel of established homes and estates.

Primarily, I urge the City of Yucaipa to reject the Serrano Estates Project for the following reasons:

1. The misapplication of Senate Bill 9 previously referenced: Senate Bill 9 is applied to urban areas; this property and location are not in an urban area citing the US Census. SB9 excludes properties within areas of fire hazard severity; this property is located in close proximity and/or previously the site of raging wildfires. Additionally, SB9 requires owner-occupancy for lot splitting and does not apply to large-scale/multi lot developments.
2. Extreme Fire Hazard: The proposed development location is located in a high fire threat region of the North Bench. The location has open space on three sides of its development without significant defensible space nor significant/proven water pressure to defend the space.
3. The RL-1 Rural Living District Zoning Violation: The RL-1 zoning is clear, the maximum housing density is 1 dwelling per acre. Nowhere in the zoning under RL-1 does it carve out an exception for aggregating high density development if it caps the house total at what would be allowed if homes were built at 1-dwelling per acre.
4. The proposed block wall is significantly out of touch with the local design. The block wall belongs in Chapman Heights or other large tract developments. It is out of place, destroys the views of the natural habitat. Other homes in the area have modest fences with natural habitat and local plants and trees. The Serrano Estates should at a minimum match the surrounding flora and remove the block wall altogether as it will be an eyesore and destroy what makes the North Bench Special—its rural feeling.



5. It appears the developer of this project is using the promise of a vineyard to sweeten the palate of the city in its efforts to gain approval for this project. The vineyard is a trojan horse tactic used to slide this ill-fitting design and plan into the North Bench neighborhoods where the design and aesthetic leaves all the locals and others wanting. The vineyard will not enhance the high density plan currently proposed. Rather it will appear, over time, to be exactly what it is: Sweetening the city to allow a high density development in a rural setting unfit for such development.

Instead of the proposed plan, if vines are desired, enlarge the lots and place vines on each lot thereby enhancing the aesthetic of the lots to achieve the North Bench feel.

The reasons above are only a small outline of the reasons why I oppose this project as designed. Many other reasons including the use of scarce natural resources inform my decision and this letter.

Please deny and oppose the current plan as designed.

Sincerely,



Jake Fry

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL 20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/ETM 20375 A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (ETM 20375) Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lots, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0370-161-08 and 09, 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 44272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional page(s))

We do not want less than  
1 acre lots in our North Beach,

SIGNATURE *Juliana Jasso*

DATE *01-07-23* AGENCY \_\_\_\_\_

PRINT NAME *Juliana Jasso* ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROJECT ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING PRIOR TO THE TIME IT MAKES ITS DECISION. THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED IN WRITING PRIOR TO THE HEARING. ALL CORRESPONDENCE DELIVERED TO THE HEARING BODY AT OR PRIOR TO THE HEARING.

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cc Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

**Benjamin Matlock**

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**From:**  
**Sent:** Wednesday, March 8, 2023 3:16 PM  
**To:** Benjamin Matlock  
**Subject:** Serrano Estates-Yucaipa Ridge Road Project Case No. 22-150/PDP/FDP/TTM 20375

Dear Mr. Matlock,

I have lived in the north bench since 2002 absolutely love it. The zoning for one acre lots was a huge factor when I decided to purchase a home in the north bench. Please do not allow changes to the City of Yucaipa's general plan. Please keep the north bench as it is, one home per one acre. Thank you!

Sincerely,

*Joni Rawson*

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

DATE: January 04, 2023

RECEIVED JAN 17 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages):

Please REJECT THIS Development. Permit  
1-ACRE lots ONLY. OR PLANT ALL  
CRAPEVINES. Do NOT CHANGE THE  
GENERAL PLAN SO DEVELOPER CAN MAKE

SIGNATURE Jon C. Reynolds DATE 1-11-23 AGENCY \_\_\_\_\_

PRINT NAME Jon C. Reynolds ADDRESS:

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PJ 20220000150

APPLICANT: Yucalpa S2, LLC

PROPOSAL: Case No. 22-150-PDP/ED/TTM-20375: A Planned Development project that includes a

proposed Sarano Estates Project, which will establish 51 Single-Family Residential lots with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucalpa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins. Please note that this is a modified proposal from Case No. 20-136.

LOCATION: Three parcels totaling 52 acres on the east side of Yucalpa Ridge Road, south of the City limits. APN 0320101-03 and 0320101-031-23

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the

have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489 ext. 261. You may send your comments to the City of Yucalpa Planning Division, 34272 Yucalpa Boulevard, Yucalpa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional pages)

North Beach is an equestrian and open beautiful area. A housing tract will disturb our lives, family and animals. If we wanted to live in the city we would move to Redlands! Keep North Beach quiet!

SIGNATURE Jordan Scott DATE 01/17/23 AGENCY \_\_\_\_\_

PRINT NAME Jordan Scott ADDRESS: \_\_\_\_\_  
YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN DIVISION AT OR PRIOR TO THE TIME IT MAKES ITS DECISION ON \_\_\_\_\_

CORRESPONDENCE DELIVERED TO THE HEARING BODY AT OR PRIOR TO THE HEARING

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- cc: Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucalpa Valley Water District
- Engineering Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

DATE: January 04, 2023

CASE NUMBER: PL2022000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages):

SIGNATURE Jerry Stohler DATE 1-17-23 AGENCY \_\_\_\_\_

PRINT NAME Jerry Stohler ADDRESS \_\_\_\_\_

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cc: Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

01/17/2023

RECEIVED JAN 17 2023

**CASE NUMBER: PL20200000150**

**APPLICANT: Premium Land Development on behalf of Yucaipa 52, LLC**

**DEVELOPMENT: Serrano Estates**

The residents of the North Bench overwhelming rejected the Serrano Estate Developments' initial plan. Not one person from the North Bench was in favor of it. This is an established area of custom-built homes on minimum one-acre rural lots. A tract of cookie-cutter houses, on lots too small to have horses is not what this area was set aside for. Currently there are horse riding and hiking trails through the proposed development that connect to other existing trails. If this development were allowed, it would block access to the other trails. There needs to a dedicated horse trail through the proposed development.

I have lived in the same home for 39-years. I own eleven acres near this development. Before I purchased the property, I researched the surrounding area and it was designated RL-1, one-acre, "minimum" rural living. Every house that has been built here since has been on a one-acre or larger lot. I would not have bought here had I thought a tract of homes would be my view. The land use description had no mention of one-acre "gross" or "net" size lots. Nobody in this neighborhood has ever read or heard the mention of "net" or "gross" size lots until this project. This is a loophole the developer is using to justify smaller lots. This was originally not the intent when the North Bench was designated rural living. At the very most, a gross, one-acre parcel included the property to the center line of the street, not the unbuildable side of a mountain and an earthquake fault that is not part of the lot, like the developer is proposing. No individual can build on a lot of less than one-acre on the North Bench. The rules need to apply to everybody. One-acre is the minimum size that any home can be built on; it has always been this way.

When the residents of the North Bench previously spoke on this development, they gave multiple reasons why this development should be denied. When it came to a vote it appeared to me that the only thing that concerned the City Council members was the size of the lots and that they harmonized with the surrounding homes. At the first vote on the project, I sat and watched as councilman Bobby Duncan, looked down, and smile as he texted on his phone while the concerned residents spoke. some in tears. I sat there thinking how disrespectful he was. I was also thinking, was he texting back and forth to the developer sitting directly in front of him, who was also on his phone. because it sure appeared like he was. Later when Mr. Duncan realized the vote was not going to go in favor of the development or developer and before he voted, he verbally condemned my neighbor that had made the most articulate argument against the project. He said, "to the distinguished gentleman in the back (in the standing room only section where we had stood for hours) where were you when the development for the wine alliance area was happening. The developer has spent a lot of money on this project based on what we told him we

wanted. I think he has the right to sue the city." I thought wow, A city councilman telling a developer he should sue the city, which is the same as telling him to sue the residents. Bobby Duncan was rude and completely unprofessional. I was left with the feeling he has in the pocket of the developer.

The developer stated at the initial meetings that there was no way a developer could make a profit on lots larger than 12,000 sf. and that he could not compromise on the lot size and still make money. Now he has managed to enlarge the lot sizes with the same number of homes. He did not send out any tract maps that were updated, showing how he has managed to have the same number of houses but on larger lots. Where is this extra land coming from? 20,000 sf is just short of a half-acre. These residents still could not have horses yet be surrounded by them. He states 20,000 sf or greater lots but stops short of saying half acre lots. Doesn't matter because they are not the one-acre parcels the RL-1 land use requires.

During the initial hearings he flat-out lied to all of us, including the Planning Commission and City Council on the profitability of larger lot sizes. He has proven that nothing he says can be believed. He will say anything to get his project approved. Do not forgive this type of dishonest behavior by considering anything less than the required one-acre lots. If one-acre parcels are not profitable for a large developer, it is **not** the problem of the nearby residents. It's the owner and developer's problem for making a bad decision and thinking they are above the rules or can buy off a city council member.

I was here when Yucaipa became a city. What happened was San Bernardino County approved the Rolling Hills Development, homes built on lots as small as 5000' sf. The entire North Bench was against it, yet it was approved by the County. In protest, we organized to succeed from San Bernardino County and become a city where we had a say in what went on here. This is why the City of Yucaipa exists today. Now decades later my neighbors and I are still fighting the developers and the influence they have on politicians.

During the previous meetings, the required CA, new housing starts were discussed, and the pressure Yucaipa is under to meet these quotas. I know that designing a city is a delicate balancing act, but it seems to me we already have built the high-density portions of Yucaipa. The orange groves were torn out to make room for Chapman Heights. Serrano Lakes is being built. ~~Rolling-hills-was-built-in-the-late-1980s. We have 41 mobile-home-parks-with-approximately-4,270~~ spaces. (You can't get any more clustered than they are). It seems like the scales are tipped toward the clustered housing and we have lost our rural atmosphere. I don't recognize the city I move to back in 1984. Yucaipa can have new housing starts with this project but only the number that can be built on one-acre lots. State of CA is mandating all kinds of things that are not practical. Just because they demand it, doesn't mean it is a good idea and we must do it. The residents know what's best for Yucaipa and not Sacramento. The City of Yucaipa's general plan describes itself with ten different "community cornerstones". The very first one being a "**Small-town rural character with strong neighborhood identities**". The proposed Serrano Estates Development would destroy the strong "rural character" of the portion of Yucaipa that was set aside for rural living. It is truly great place to live. Let's keep it that way.

Sincerely, Jerry Stohler



**CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE**

**DATE:** January 10, 2023

**CASE NUMBER:** 22-022006-03

**APPLICANT:** Yucaipa 52, LLC

**PROPOSAL:** Case No. 22-198 PDP PDP ITEM 20175. A Planned Development project that includes a Preliminary Development Plan and Tentative Final Map (TFM) 2037 and a Development Plan for the proposed Senate Estates Project, which will establish 11 Single Family Residential lots with 43 residential lots (approximately 2000 square feet of lot area) and 10 accessory lots totaling approximately 1000 square feet. The lots are located at 4521 Benjamin and along Yucaipa Bridge Road, a remnant lot for a driveway and natural open space. The proposed lots are open space and natural habitat. Please note that this is a modified proposal from Case No. 20-119.

**LOCATION:** Three parcels totaling 5.2 acres on the east side of Yucaipa Bridge Road, south of the City and APN: 002041028 to 020410312.

**ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES:** The development project will be reviewed with the City Council. Development is invited to comment on any or all aspects of the project proposal. Your comments should be received by the Planning Division by January 18, 2023. Comments received after this time might not be considered in the decision. Please refer to this notice by the applicant's name and case number indicated above. If you have any comments or reply to questions, you may send your questions regarding this proposal project contact Benjamin Matlock at (909) 797-3489, ext. 200. You may send your comments to the City of Yucaipa Planning Division, 4521 Yucaipa Boulevard, Yucaipa, CA 92390, or via FAX to (909) 796-1913.

You will be notified of the project decision, project name, date, and location of the same and you will be notified of the decision with exact address, stamped envelope, to be sent to subject to the address provided for delivery of the decision letter.

**COMMENTS:** (If you need additional space please attach additional pages)

*see attachment*

**RECEIVED JAN 17 2023**

SIGNATURE *Jill Tinsley* DATE 1-18-23 AGENCY \_\_\_\_\_

PRINT NAME JILL TINSLEY AGENCY \_\_\_\_\_  
 TITLE \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
 PHONE \_\_\_\_\_ FAX \_\_\_\_\_  
 E-MAIL \_\_\_\_\_  
 I HEREBY CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT.

City of Yucaipa Property Services Department Building & Safety Division  
 Yucaipa Valley Water District Engineering Division

I am sorry. I thought you understood that the North Bench does not want ANY Tract houses. We also do not need anymore traffic, trash, noise, or crime. Are we getting anymore security? Only one acre for vineyards, and open space is insulting. We want to have space for wildlife too. We don't want another bear incident like Oak Glen. This is horse country. Where are the trails for them. Not between houses or on the street we hope. Does this tract also include a stop light on Bryant? When there is an emergency is there a street that can accommodate all the traffic? Please I beg of you, do not fall for this conman. Keep North Bench beautiful.

## **Benjamin Matlock**

---

**From:**  
**Sent:** Wednesday, March 8, 2023 7:50 AM  
**To:** Benjamin Matlock  
**Subject:** Northbench rezoning

Mr. Matlock,

The purpose of this correspondence is to voice my disapproval of the upcoming matter of changing the current zoning laws concerning the North Bench Area. It is my understanding that the properties North of Carter St are all currently protected to be 1 acre minimum. One of the many reasons why I and so many others enjoy this part of Yucaipa is for this reason. I have been a Yucaipa resident since 1995 and moved to the North Bench area in 2004. I have been watching and reading the current upheaval with the current Mayor and councilman. It is a sad state of affairs to say the least. The conduct has been very suspect and unprofessional with little regard for the citizens of this fine community. I hope that our community in the North bench is not sacrificed for the needs of the greedy purely for the sake of making a buck. The infrastructure can not successfully support that many homes and population increase. This would open the door for more developers to sub divide other areas as well. I hope that you will heed our requests and keep the area currently as it is. 1 Acre minimum. Respectfully, Kent Broersma,

**Kent Broersma**

CONFIDENTIALITY NOTICE: This e-mail communication and any attachments may contain confidential and privileged information for the use of the designated recipients named above. If you are not the intended recipient, you are hereby notified that you have received this communication in error and that any review, disclosure, dissemination, distribution or copying of it or its contents is prohibited. If you have received this communication in error, please notify me immediately by replying to this message and destroy all copies of this communication and any attachments. Thank you.

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Semino Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages).

See Attached

SIGNATURE Kevin Miskin DATE 1-17-2023 AGENCY \_\_\_\_\_  
PRINT NAME Kevin Miskin ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL OR, IF A PUBLIC HEARING IS HELD ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

January 11, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

To Whom it May Concern:

This letter is to request that the City of Yucaipa **deny** the planned Serrano Estates Project Case No 22-150 as currently drafted. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre). While the owner has a right to develop the property, the property must be developed in accordance with the intent of the current zoning requirements which is **one home on one acre (43,560 square feet)**. It is entirely inconsistent with the rural culture of the north bench to place homes on anything less than one acre. Further, after the lots are sold **there is no mechanism (e.g., land use covenant) to protect the set aside land for vineyards and open space from future development.**

The City has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the current neighborhood. The homes should be **single-story, custom built homes** consistent with the majority of the homes in the neighborhood and should not be tract homes. Photographs showing existing homes along Ivy Avenue and Yucaipa Ridge Road are attached. Please note how the existing homes and lots use the natural slopes, and open lot concept (absence of walls).

#### **Senate Bill 9 and Similar Legislation**

SB 9 and similar bills referenced in previous comments by developer/owner representatives in city council do not apply to this development. First, SB 9 only applies urbanized areas as designated by the US Census. California discourages urban sprawl into existing rural areas. This property is located outside the urban area designated by the US Census. Second, SB-9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments. Third, SB 9 excludes areas of high fire hazard severity. This area is prone to and experienced wildfires, most recently, the El Dorado Fire.

#### **RL-1 Zoning**

The proposed Serrano Estates property is zoned **RL-1 meaning Rural Living, one acre minimum**. The developer argues that, averaged over the entire 52 acres, the proposed 51 lots meets the requirement of **one dwelling per one gross acre**. Further, Developer representatives falsely claimed to city council that the development met the definition of rural living as the only definition for rural living is found in the dictionary.

Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. While the definition does include a minimum lot size of one gross acre, it specifically notes a **maximum housing density of one dwelling unit per acre**. The one-acre gross minimum lot size definition was not intended to be averaged over a large development but allowed for consideration of lot lines extending into right-of-way or easements. Consistent with the maximum dwelling unit requirement in the ordinance there should not be more than 24 homes in this development based on the sum of the 51 lot areas.

**The RL zoning designation allows farm animal husbandry, orchards, etc. Consistent with the Yucaipa City Ordinance 84.0320, the development must allow for these property uses on each lot.**

City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc. that need to be observed in the development.

### **Slopes**

The development as planned calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1) for residential lots in a high seismic hazard area. Slopes exceed 20 feet in height and occupy nearly a third of smaller lots and are nearly 50 feet high at the northeast corner lot. These are excessively steep and inconsistent with the area (see attached photographs). Properties in the area use the natural slopes with split level homes and walk out basements. There are no one acre lots in the area with engineered slopes this steep and high. We ask that the development make better use of the land to preserve natural slopes and limit slopes to 3:1 and not more than 10 feet in height.

### **High Risk Wildfire Area**

This area of the North Bench is a high-risk wildfire area and was most recently affected by the El Dorado wildfire. Closely spaced homes increase the risk to the public. Senior citizens are especially susceptible to the hazards of wildfires, yet the development provides for small, senior citizen housing. Based on wildfire hazard alone, the lot sizes should not exceed the maximum housing density of one dwelling unit per acre and should not be designated by the city for senior housing.

### **Senior Housing**

With regard to the argument for smaller lots for senior housing, we note the single largest demographic in this area of the North Bench are seniors—living on one acre or larger lots. Smaller lots for seniors are unnecessary in this area.

### **Flood and Stormwater Control**

We ask that the city review the assumptions and calculations behind the design of flood and stormwater control basins and conveyance structures. As a result of the El Dorado Fire, stormwater flows have increased dramatically. The assumptions and parameters used in calculating stormwater runoff and control features should be based on fire-denuded slopes, unvegetated lots with corrals, and lightly vegetated vineyards. This is the new reality of the area.

### **Other Development Considerations**

In addition to the elements discussed above and consistent with the rural culture of the area, we ask that the development implement the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to rolling blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area (see attached photographs)
- Demonstrate that the additional water requirements will not lead to additional restrictions on existing residents, their orchards, and livestock.
- Demonstrate that traffic will not adversely impact neighborhood safety including cycling, pedestrian, and equestrian traffic. The analysis should include the additional traffic from the commercial winery on Yucaipa Ridge Road.

In summary, the development must be consistent with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal husbandry, and development consistent with the culture of the area (one story homes with lots honoring the natural slopes), with careful attention to public safety, particularly as relates to wildfires and stormwater.

Sincerely,



Kevin K. Miskin

## 84.0320 Rural Living (RL) District.

The Rural Living (RL) District shall be located as specified by the Yucaipa General Plan.

### (a) Permitted Land Uses

- (1) Row, Field, Tree, and Nursery Crop Cultivation

Any structure associated with this activity is limited to 10,000 square feet on parcels of five acres or less.

- (2) Single dwelling unit.
- (3) Small residential care facility.
- (4) Animal Raising

(A) Animal raising as a primary use of the property must be on a parcel no less than two acres in size. Lot area used to qualify one animal type, either Primary or Accessory Animal Raising, shall not be reused to qualify another animal type. Proper manure management will be carried out in accordance with Title 3 of the San Bernardino County Code as adopted by the city of Yucaipa.

<u>Animal Type</u>	<u>Animal Density Per Square Foot</u>
Cattle/Buffalo	1 per 10,000
Horses	1 per 10,000

Hogs (9 maximum)	1 per 20,000
Sheep, Female Goats, and Similar Livestock	1 per 4,000
Male Adult Goats (4 maximum)	for parcels of less than 10 acres, 1
Male Adult Goats (4 maximum)	for parcels 10 acres+, 1 per 5 acres
Rabbits and Chinchillas (200 maximum)	50 per 10,000 (min. parcel size 1 acre)
Female Poultry	for parcels of less than 1 acre, 25
Female Poultry	for parcels of 1 to less than 10 acres, 99
Female Poultry	for parcels of 10 acres +, 99 per 10 acres
Male Poultry (9 maximum)	for parcels of less than 10 acres, 2 per parcel
Male Poultry (9 maximum)	for parcels of 10 acres +, 2 per 5 acres

(B) Small Animal Ranches/Farms

Aviaries, apiaries, or similar small animal ranches or farms shall be permitted on parcels that are at least one-half acre in size. Fish raising shall be limited to one pond per acre, with a maximum of four ponds per parcel. Each pond shall not exceed one-half surface acre in area.

(5) Accessory uses as specified by Chapter 5 of this division.

(6) Small family day care home.

(b) Land Uses Subject to Conditional Use Permit

(1) Commercial kennels and catteries—two-acre minimum parcel size.

(2) Commercial chicken ranches restricted to a minimum of 10 acres.

(3) Agricultural support services.

(4) Mobile home park (not to exceed four spaces per acre on minimum parcel size of 20 acres).

(5) Any structure associated with row, field, tree, and nursery crop cultivation that is greater than 10,000 square feet on parcels of five acres or less.

(6) Planned development.

(7) Boarding house (for up to six residents).

(8) Bed and breakfast lodge (for up to six guests).

(9) Parolee homes.

(10) Botanical gardens and arboretums.

(11) Historic and monument sites.

(12) Unmanned public utilities and services uses/structures.

(13) Unmanned radio and television stations/towers.

(14) Wildlife and nature preserves.

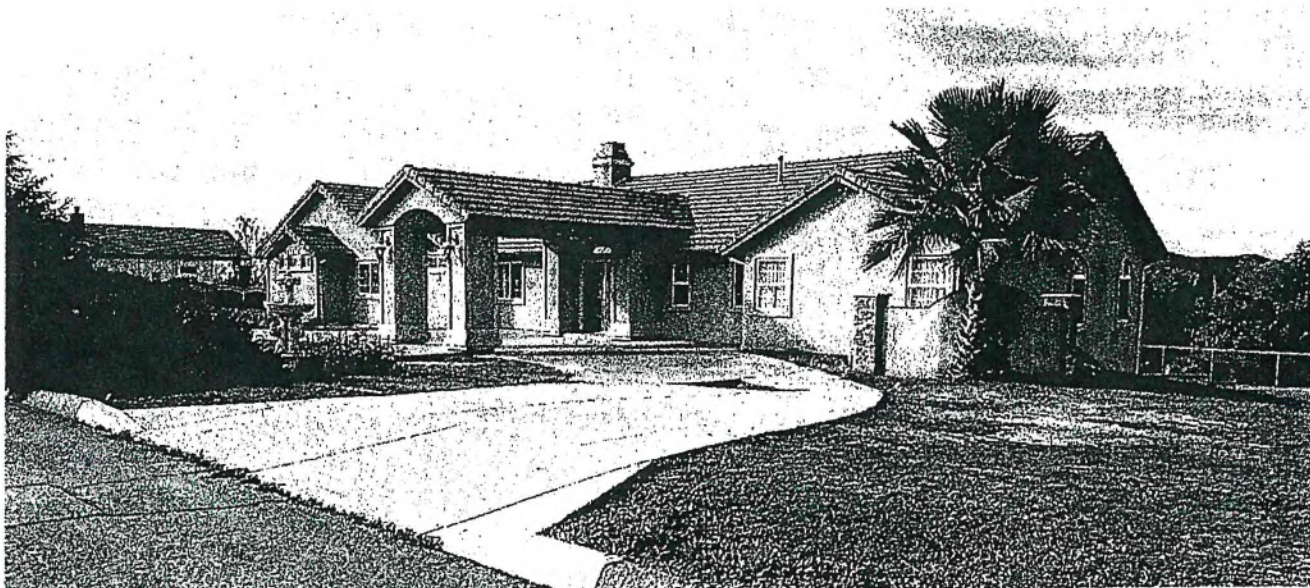
(c) Property Development Standards



The following property development standards shall apply to all land uses within the RL District.

Maximum Structure Height	35 feet
Minimum Lot Size (map suffix will modify)	1.0 gross acre
Maximum Lot Coverage	40%
Maximum Building Coverage	40%
Maximum Lot Dimensions (width/depth ratio)<	10 acres = 1:3
Maximum Lot Dimensions (width/depth ratio)>	10 acres = 1:4
Minimum Lot Dimensions (width/depth in feet)	125/125
Front Yard Setback	30 feet
Side Yard Setbacks	15 feet
Rear Yard Setbacks	25 feet
Street Side Yard Setbacks (local streets)	20 feet
Street Side Yard Setbacks (collector streets)	30 feet
Maximum Housing Density	1 du/acre
Minimum District Size	10 gross acres

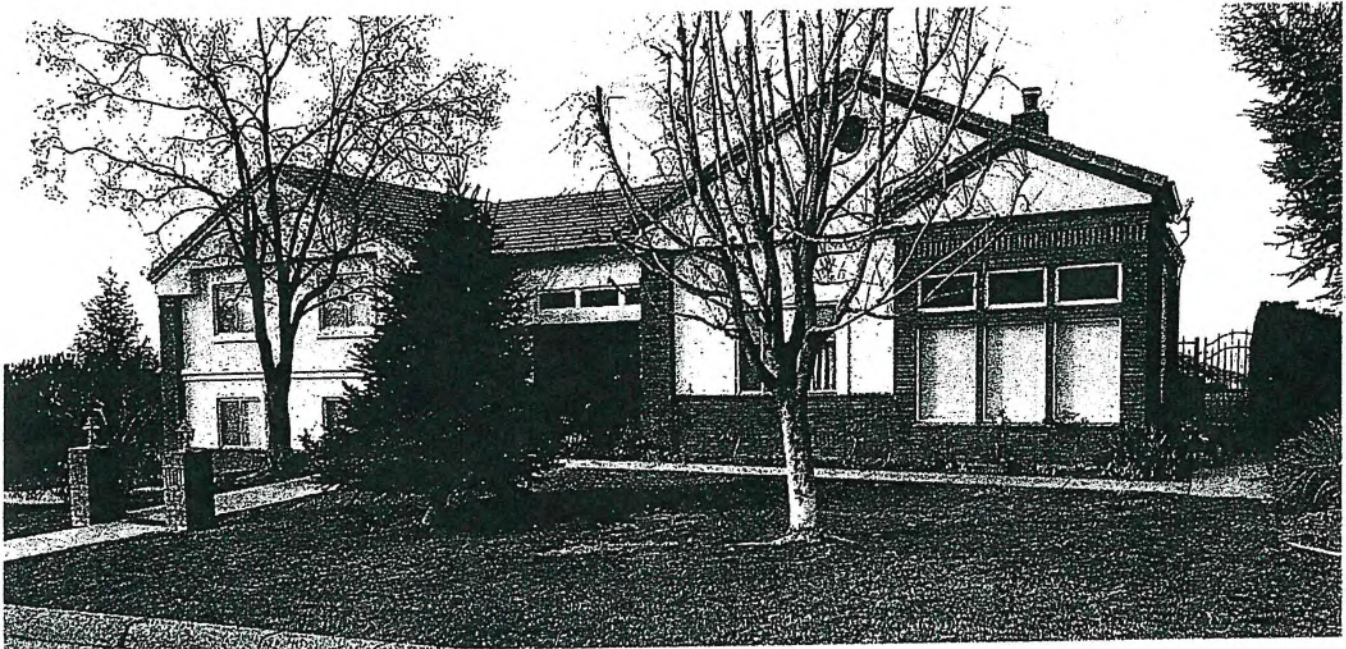
**PHOTOGRAPHS OF PROPERTIES FACING PROPOSED SERRANO ESTATES DEVELOPMENT**



Yucaipa Ridge Road—Single story facing Yucaipa Ridge Road



Yucaipa Ridge Road—use of slopes in development, single story front, two story back



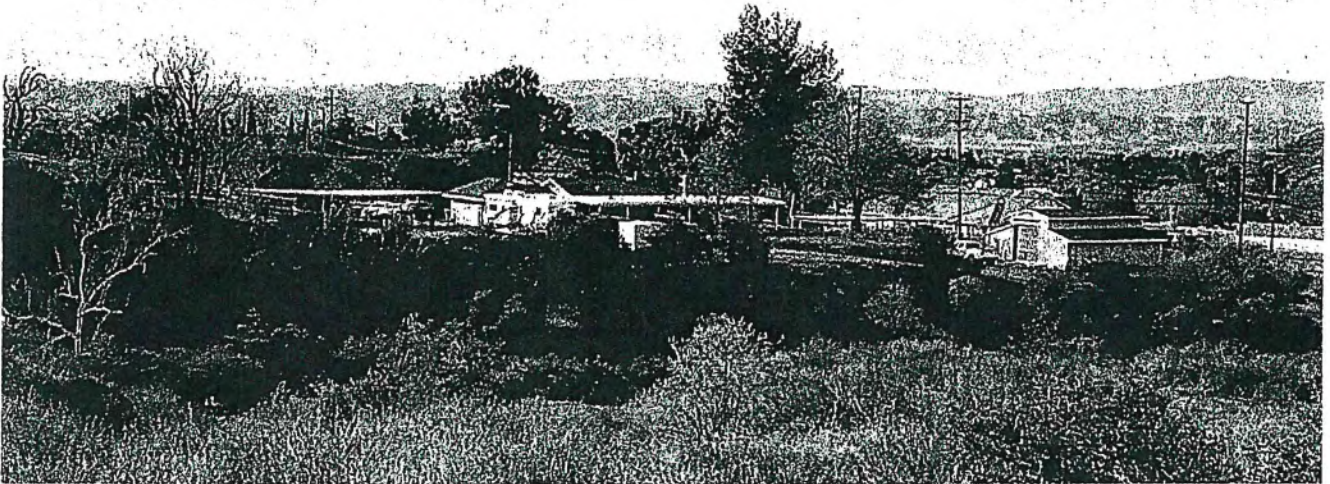
Yucaipa Ridge Road—use of slopes, single story on upslope and split level on downslope



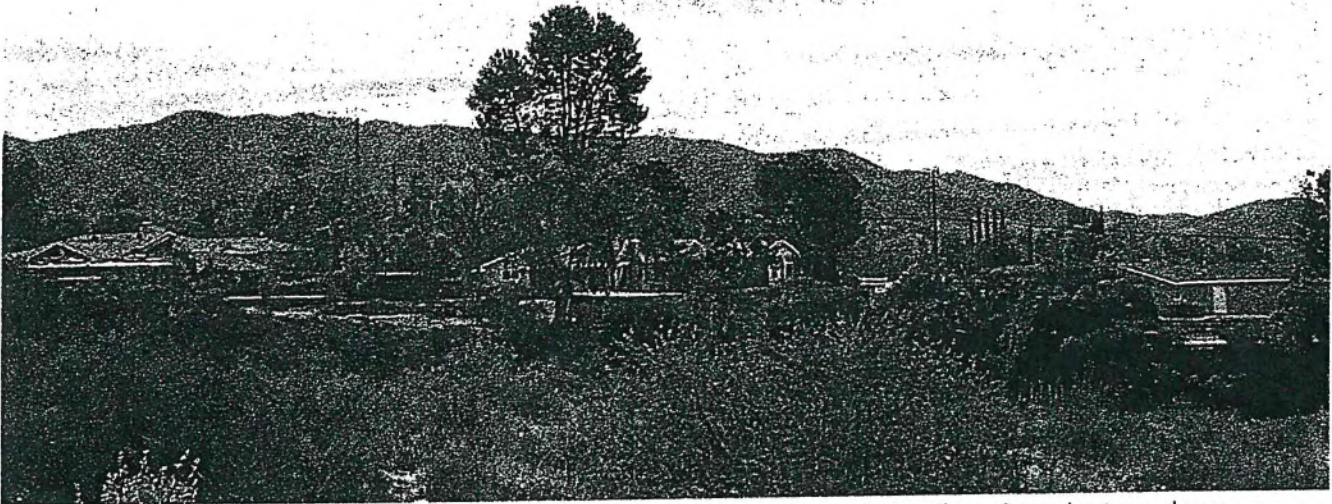
Yucaipa Ridge Road single story home



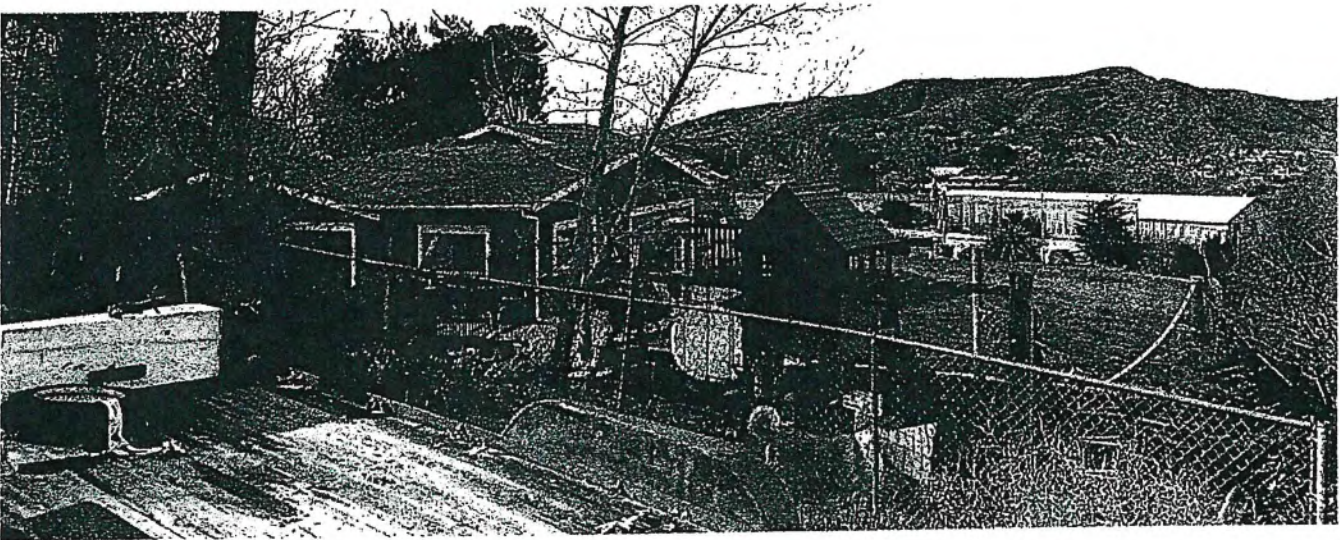
Yucaipa Ridge Road: Properties use slopes to advantage with flat slopes not exceeding 3:1 and generally much flatter



Ivy Avenue homes: Note homes are single story, barns, corrals, and absence of walls and overly steep slopes



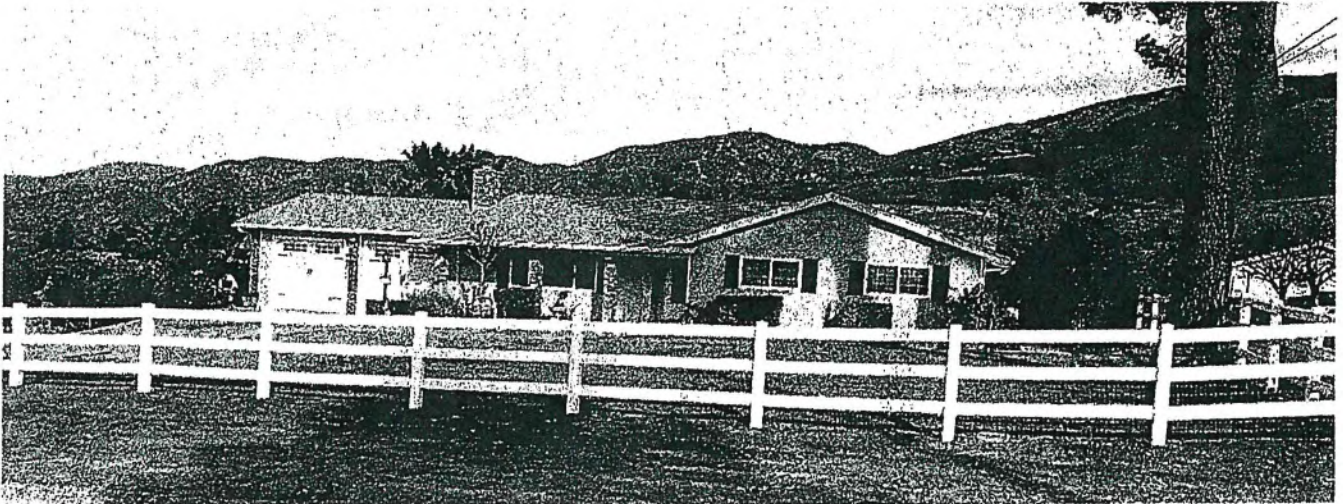
Ivy Avenue homes: Note homes are single story, barns, corrals, and absence of walls and overly steep slopes



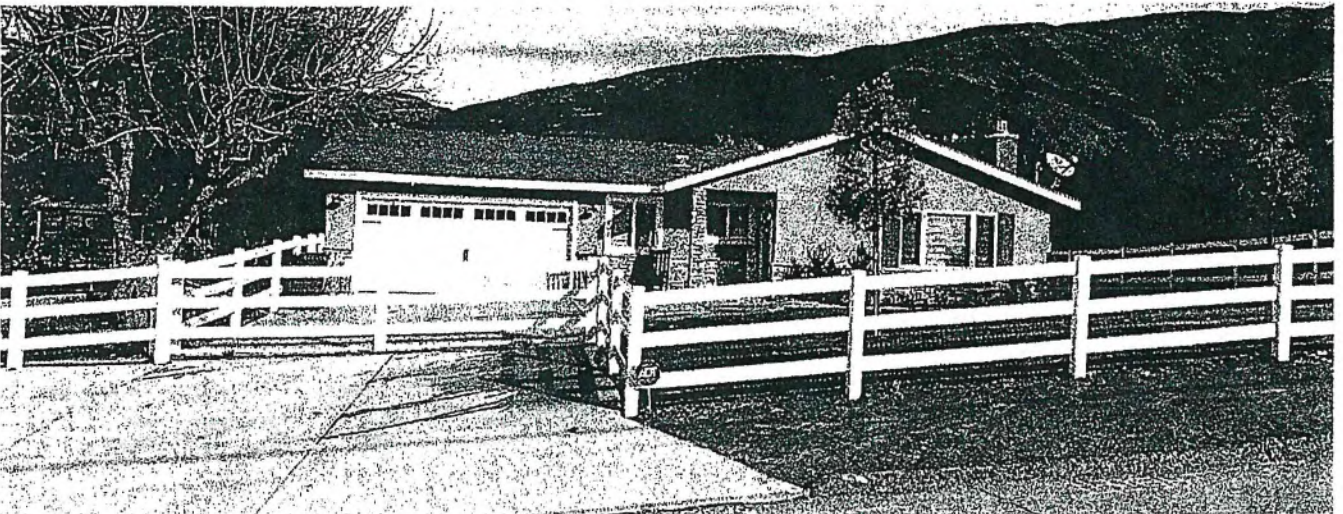
Ivy Avenue home: single story, no walls



Ivy Avenue home: single story, no walls



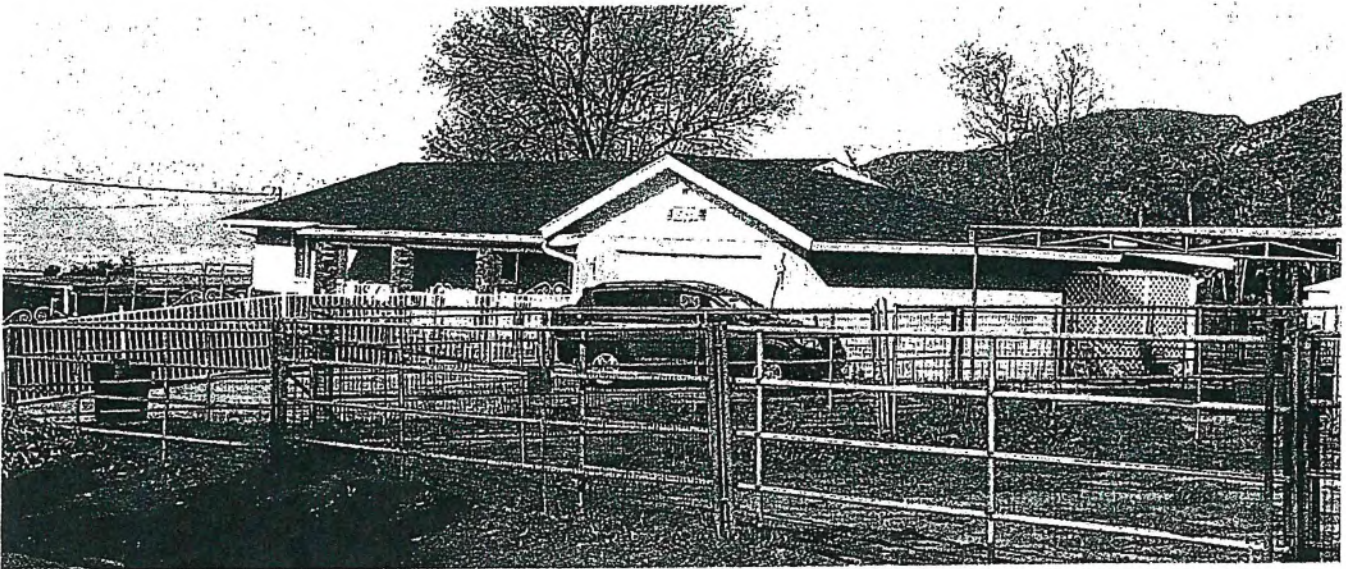
Ivy Avenue home: Single story, gentle sloping side and back yards



Ivy Avenue home: Single story, gentle sloping side and back yards



Ivy Avenue home: Single story, gentle sloping side and back yards



Ivy Avenue home: Single story, corrals, no walls

## Benjamin Matlock

---

**From:**  
**Sent:** Wednesday, March 8, 2023 11:37 AM  
**To:** Benjamin Matlock  
**Subject:** Case No. 22-150/PDP/FDP/TTM 20375 Premium Land Devel. Yucaipa 52, LLC North Bench Prject

This North bench family is opposing the "revised" plan being submitted on March 15. The owner/developer is just submitting a revised sham of the project. Why is this allowed? The plan, once again, does not meet within the General Plan. Is it not your job to advise and guide the developer with the set guidelines? These GREED DRIVEN grapes vines will grow just fine next to houses on one-acre lots.

Planning Department website states it is the intent of this office to do what is best for the residents, visitors and businesses of Yucaipa. This project does not fall into what is best for Yucaipa, only the greed of the owner/developer.

Thank you for your considerations.

Kathleen Reynolds  
Jon Reynolds

--  
Kathleen

Note that this is a new email address. Please use this one in the future.



CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

DATE: January 04, 2023

RECEIVED JAN 17 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Semano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261- You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional pages):

What more can be said - except - once again  
The owner/developer - does not listen, care  
or respect the land, wildlife, or the  
community - All about greed!!!  
One-acre lots are doable - Just not greedy  
enough!!

SIGNATURE Kathleen Reynolds DATE 1/11/23 AGENCY \_\_\_\_\_

PRINT NAME Kathleen Reynolds ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

January 11, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

To Whom it May Concern:]

This letter is to request that the City of Yucaipa **deny** the planned Serrano Estates Project Case No 22-150 as currently drafted. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre). While the owner has a right to develop the property, the property must be developed in accordance with the Intent of the current zoning requirements which is **one home on one acre (43,560 square feet)**. It is entirely inconsistent with the rural culture of the north bench to place homes on anything less than one acre. The City has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the current neighborhood. The homes should be **single story, custom built homes** consistent with the majority of the homes in the neighborhood and should not be tract homes. Photographs showing existing homes along Ivy Avenue and Yucaipa Ridge Road are attached. Please note how the existing homes and lots use the natural slopes, and open lot concept (absence of walls).

#### **Senate Bill 9 and Similar Legislation**

SB 9 and similar bills referenced in previous comments by developer/owner representatives in city council do not apply to this development. First, SB 9 only applies urbanized areas as designated by the US Census. California discourages urban sprawl into existing rural areas. This property is located outside the urban area designated by the US Census. Second, SB-9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments. Third, SB 9 excludes areas of high fire hazard severity. This area is prone to and experienced wildfires, most recently, the El Dorado Fire.

#### **RL-1 Zoning**

The proposed Serrano Estates property is zoned **RL-1 meaning Rural Living, one acre minimum**. The developer argues that, averaged over the entire .52 acres, the proposed 51 lots meets the requirement of **one dwelling per one gross acre**. Further, Developer representatives falsely claimed to city council that the development met the definition of rural living as the only definition for rural living is found in the dictionary.

Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. While the definition does include a minimum lot size of one gross acre, it specifically notes a **maximum housing density of one dwelling unit per acre**. The one-acre gross minimum lot size definition was not intended to be averaged over a large development but allowed for consideration of lot lines extending into right-of-way or easements. Consistent with the maximum dwelling unit requirement in the ordinance there should not be more than 24 homes in this development based on the sum of the 51 lot areas.

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City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc. that need to be observed in the development.

### Slopes

The development as planned calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1) for residential lots in a high seismic hazard area. Slopes exceed 20 feet in height and occupy nearly a third of smaller lots and are nearly 50 feet high at the northeast corner lot. These are excessively steep and inconsistent with the area (see attached photographs). Properties in the area use the natural slopes with split level homes and walk out basements. There are no one acre lots in the area with engineered slopes this steep and high. We ask that the development make better use of the land to preserve natural slopes and limit slopes to 3:1 and not more than 10 feet in height.

### High Risk Wildfire Area

This area of the North Bench is a high-risk wildfire area and was most recently affected by the El Dorado wildfire. Closely spaced homes increase the risk to the public. Senior citizens are especially susceptible to the hazards of wildfires, yet the development provides for small, senior citizen housing. Based on wildfire hazard alone, the lot sizes should not exceed the maximum housing density of one dwelling unit per acre and should not be designated by the city for senior housing.

### Senior Housing



With regard to the argument for smaller lots for senior housing, we note the single largest demographic in this area of the North Bench are seniors—living on one acre or larger lots. Smaller lots for seniors unnecessary in this area.

### Flood and Stormwater Control

We ask that the city review the assumptions and calculations behind the design of flood and stormwater control basins and conveyance structures. As a result of the El Dorado Fire, stormwater flows have increased dramatically. The assumptions and parameters used in calculating stormwater runoff and control features should be based on fire-denuded slopes, unvegetated lots with corrals, and lightly vegetated vineyards. This is the new reality of the area.

### Other Development Considerations

In addition to the elements discussed above and consistent with the rural culture of the area, we ask that the development implement the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to rolling blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area (see attached photographs)
- Demonstrate that the additional water requirements will not lead to additional restrictions on existing residents, their orchards, and livestock.
- Demonstrate that traffic will not adversely impact neighborhood safety including cycling, pedestrian, and equestrian traffic. The analysis should include the additional traffic from the commercial winery on Yucaipa Ridge Road.

In summary, the development must be consistent with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal husbandry, and development consistent with the culture of the area (one story homes with lots honoring the natural slopes), with careful attention to public safety, particularly as relates to wildfires and stormwater.

Sincerely,

Kathleen Reynolds -  
Jon C Reynolds

This pretty much says it all  
about this project.

# 84.0320 Rural Living (RL) District.

The Rural Living (RL) District shall be located as specified by the Yucaipa General Plan.

(a) Permitted Land Uses

- (1) Row, Field, Tree, and Nursery Crop Cultivation

Any structure associated with this activity is limited to 10,000 square feet on parcels of five acres or less.

- (2) Single dwelling unit.
- (3) Small residential care facility.
- (4) Animal Raising

(A) Animal raising as a primary use of the property must be on a parcel no less than two acres in size. Lot area used to qualify one animal type, either Primary or Accessory Animal Raising, shall not be reused to qualify another animal type. Proper manure management will be carried out in accordance with Title 3 of the San Bernardino County Code as adopted by the city of Yucaipa.

<u>Animal Type</u>	<u>Animal Density Per Square Foot</u>
Cattle/Buffalo	1 per 10,000
Horses	1 per 10,000
Hogs (9 maximum)	1 per 20,000
Sheep, Female Goats, and Similar Livestock	1 per 4,000
Male Adult Goats (4 maximum)	for parcels of less than 10 acres, 1
Male Adult Goats (4 maximum)	for parcels 10 acres+, 1 per 5 acres
Rabbits and Chinchillas (200 maximum)	50 per 10,000 (min. parcel size 1 acre)
Female Poultry	for parcels of less than 1 acre, 25
Female Poultry	for parcels of 1 to less than 10 acres, 99
Female Poultry	for parcels of 10 acres +, 99 per 10 acres
Male Poultry (9 maximum)	for parcels of less than 10 acres, 2 per parcel
Male Poultry (9 maximum)	for parcels of 10 acres +, 2 per 5 acres

(B) Small Animal Ranches/Farms

Aviaries, apiaries, or similar small animal ranches or farms shall be permitted on parcels that are at least one-half acre in size. Fish raising shall be limited to one pond per acre, with a maximum of four ponds per parcel. Each pond shall not exceed one-half surface acre in area.

- (5) Accessory uses as specified by Chapter 5 of this division.
- (6) Small family day care home.

(b) Land Uses Subject to Conditional Use Permit

- (1) Commercial kennels and catteries—two-acre minimum parcel size.
- (2) Commercial chicken ranches restricted to a minimum of 10 acres.
- (3) Agricultural support services.
- (4) Mobilehome park (not to exceed four spaces per acre on minimum parcel size of 20 acres).

(5) Any structure associated with row, field, tree, and nursery crop cultivation that is greater than 10,000 square feet on parcels of five acres or less.

(6) Planned development.

(7) Boarding house (for up to six residents).

(8) Bed and breakfast lodge (for up to six guests).

(9) Parolee homes.

(10) Botanical gardens and arboretums.

(11) Historic and monument sites.

(12) Unmanned public utilities and services uses/structures.

(13) Unmanned radio and television stations/towers.

(14) Wildlife and nature preserves.

(c) Property Development Standards

The following property development standards shall apply to all land uses within the RL District.

Maximum Structure Height	35 feet
Minimum Lot Size (map suffix will modify)	1.0 gross acre
Maximum Lot Coverage	40%
Maximum Building Coverage	40%
Maximum Lot Dimensions (width/depth ratio)<	10 acres = 1:3
Maximum Lot Dimensions (width/depth ratio)>	10 acres = 1:4
Minimum Lot Dimensions (width/depth in feet)	125/125
Front Yard Setback	30 feet
Side Yard Setbacks	15 feet
Rear Yard Setbacks	25 feet
Street Side Yard Setbacks (local streets)	20 feet
Street Side Yard Setbacks (collector streets)	30 feet
Maximum Housing Density	1 du/acre
Minimum District Size	10 gross acres

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 0320-1-81-28

**ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES:** The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

SIGNATURE



DATE

1-17-23

AGENCY

PRINT NAME

Kyle Scribner

ADDRESS

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

January 15, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

Dear Council Members and Planning Commissioner's:

I am writing to express my strong opposition and request to deny this project Serrano Estates Project Case No 22-150 as currently drafted. Adding 51 homes directly behind my house greatly impacts my view, and my ability to enjoy what my family has built over the past 12 years and contradicts what this area was designated for by the city. I have a million-dollar view of the entire valley and these 51 homes as proposed turns my home into a view I would have living in a housing tract staring a roof top's. I moved here and chose my property for the same reason many of the opposition letters you are receiving, not wanting to live in a housing tract. I moved to a rural area for that exact reason the rural lifestyle I bought into and have created. Larger clustered development brings more traffic, light pollution, and impacts to resources the city already struggles to maintain. Other than a street sweeper showing up once a month in our entire area, there are no other resources the city provides as a benefit for the taxes paid. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre) not one home on one acre (43,560 square feet). It is entirely inconsistent with the rural culture of the north bench to place homes on anything less than one acre.

I currently work for a large city in the Inland Empire currently as a Public Works Manager. Prior to this position for the same city I worked 19 years as a Senior Engineer in our land development department working on developer driven projects including housing, commercial industrial, and redevelopment. I fully understand the development process through Planning, Building and Safety, and Engineering. I understand the housing constraints the State is placing on cities and the development rights of property owners to develop on their land. While the local community may be unable to prevent development, this project will be detrimental to the area, nearly all residents in the North Bench neighborhood are completely opposed to the addition of the proposed housing development. I know the noticing requirements are typically 600 feet for notification for projects, but this impacts a much larger area than who the notices were sent to. You will receive much more opposition from neighbors just doors down that never received notifications.

The 51 homes will add at least an additional 2 plus cars to the roadway that will cause increased traffic congestion and safety concerns. The VMT traffic analysis and mitigation measures for the additional traffic should show the impacts and required improvements for this project as well and should be shared. Bryant Avenue is highly traveled, and it is unsafe at times when trying to enter or exit off the adjacent intersecting roads in this area. The current widths and lacking in designated turn pockets create more issues with more traffic. The current roads are not kept up as needed to maintain the asphalt and are in immediate need of repair and added traffic will make quality of the streets that much more of a necessity. Once we lose the integrity of the asphalt the entire road will break down and the cost to the city will be exorbitant. Most of the area lacks the drainage improvements along with the curb and



gutter to move this water through the streets. Schools are already over-capacity and create more impacts on class sizes and teachers' abilities to teach our future leaders efficiently. Adding condensed development will continue to destroy local wildlife habitat, the wildlife that have already been impacted and forced down out of the mountains due to the past fire will only be greater impacted with the higher density development. The surrounding larger rural property values have shown a reduction in surrounding property values with the addition of higher density housing. The project brought before the city does not meet the intent of the zoning that is designated for this entire area. The general plan designates the area zoning district as Rural Living (RL) which allows a Maximum Housing Density of 1 du/acre. Unfortunately, what comes with people that want to live in higher density developments is complaints for smells of animals and noises. They want the Orange County city lifestyle in a rural setting. Yucaipa has always been a special place that you know you can get away from the standard city life. These words were taken directly from a google search for Yucaipa, "Yucaipa is the jewel of the Inland Empire framed by the San Bernardino Mountains, Yucaipa's natural environment, with its cleaner air and unique topography". This is exactly why I moved to Yucaipa especially the North Bench area. The views of the mountains, the open space and the natural environment and unique topography.

Rezoning this area should be required if this proposal would be allowed. This creates more issues I'm sure the city does not want to tackle like spot zoning, which needs to analyze if a project is in the best interest of the public. This project would be a hard sell with its current proposal. I can see the craftiness the developer is trying to use for getting this approved as submitted. I understand more density means more money. They purchased this property in 2014 and the zoning was the same then as it is now. They need to comply with the property they bought and build what the land was designated for long ago by the public and the elected city officials. The developer is trying to sell the picture that they are building 1 house per acre of land that they own, but that is not what they are presenting on paper. The city has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the current neighborhood. The homes should be single-story, custom-built homes consistent with most of the homes in the neighborhood and should not be tract homes. I am never against somebody developing their property that they own, it is their right to develop, but they need to develop and bring a project forward that supports the surroundings and compliments the immediate area and build per the approved zoning and general plan.

#### **Senate Bill 9 and Similar Legislation**

SB 9 and similar bills referenced in previous comments by developer/owner representatives in city council do not apply to this development. First, SB 9 only applies urbanized areas as designated by the US Census. California discourages urban sprawl into existing rural areas. This property is located outside the urban area designated by the US Census. Second, SB-9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments. Third, SB 9 excludes areas of high fire hazard severity. This area is prone to and experienced wildfires, most recently, the El Dorado Fire.

## RHNA (Regional Housing Needs Allocation)

The RHNA numbers are unrealistic for any city and the article that came out this past week shows a lot of the state is behind and struggling with meeting the unrealistic requirements set by the state. That is because they are unrealistic. Scare tactics by the developer or the city should not be means for approving this project-based on these numbers. The 4 categories that RHNA requires are very- low, low, moderate, and above moderate. None of these homes that they are proposing fit these descriptions. The developer stated they would be high end \$700k homes, which does nothing for the city to meet their RHNA numbers and does not fall under any of these categories. The numbers are unattainable for most cities that aren't Los Angeles which has clustered high density housing already with a good public transportation network already built within their city. Tying this to your need to approve a project like this, is not supported by what is being presented by the developer. If a teacher sets a goal and 90% of their students fail that shows the teachers expectations and guidance are unattainable so failing is the only thing possible. That same logic goes for the RHNA numbers, the state set a goal that can't be met. Cities and Counties don't build homes we permit and keep developers in compliance with laws set by the state and the local governments codes. The City of Yucaipa should then follow their development code and comply with the rules set forth by the elected officials and the people of this great city. The program has been around for 54 years and this proposed project in a rural neighborhood will not assist the city in any way for this argument. So don't approve a project in fear that the state will fine the city, nor do the people of the city need to feel guilty because this project does nothing to assist the city with any of those numbers.

## RL-1 Zoning

The proposed Serrano Estates property is zoned RL-1 meaning Rural Living, one acre minimum. The developer argues that, averaged over the entire 52 acres, the proposed 51 lots meets the requirement of one dwelling per one gross acre. Further, Developer representatives falsely claimed to city council that the development met the definition of rural living as the only definition for rural living is found in the dictionary. Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. While the definition does include a minimum lot size of one gross acre, it specifically notes a maximum housing density of one dwelling unit per acre. The one-acre gross minimum lot size definition was not intended to be averaged over a large development but allowed for consideration of lot lines extending into right-of-way or easements. Consistent with the maximum dwelling unit requirement in the ordinance there should not be more than 24 homes in this development based on the sum of the 51 lot areas. The RL zoning designation allows farm animal husbandry, orchards, etc. Consistent with the Yucaipa City Ordinance 84.0320, the development must allow for these property uses on each lot. City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc. that need to be observed in the development.

## Senior Housing

Regarding the argument for smaller lots for senior housing, the single largest demographic in this area of the North Bench are seniors—living on one acre or larger lots by choice. Smaller lots for seniors are unnecessary in this area. Senior housing requirements typically have close public transportation, restaurants, and grocery stores all within walking distance. This project provides none of that. Using senior housing as a way to promote this project provides no benefit other than to the developer to act as if they are helping the senior demographic, but ultimately not showing any concern for a what a senior development requires. Look at your own general plan section 2 where you discuss senior housing and how they typically are on fixed incomes and require special assistance and smaller spaces, but they want to use seniors as a means to approve this project as well by including a few senior designated lots. Quit using a protected class to make this project sound more attractive to approve.

**Fire Zone and Insurance**

As you are all aware there was a large fire in this area that impacted my ability to obtain fire insurance last year, the State of California allowed my own insurance company to drop me with no regards to what I have paid in nor have made a claim with. The state now requires me to utilize the California fair plan which every one of these homes would have to utilize because no insurance company will write a fire policy in this area. My insurance has doubled because of this, something I'm sure the developer will not disclose because it's not their requirement to provide insurance to them. Combat that with the current fire and medical emergency deficiencies state and city wide. This does not bode well for response times. Not to mention the current water issues the entire state is combating. Adding more homes impacts the resources we all need to sustain our homes and adding more only strains the utilities and emergency services ability to serve the customers they already serve. Please consider this and protect the people already struggling to survive in this current environment.

I urge you to deny the proposed project and have the developer come back to the table with all of the cities different development teams and come up with a better plan to fit the surrounding neighborhood and comply with the general plan, development, and zoning code for this area. From recent meetings and discussions with my neighbors, I know my opinions are shared by many who have not managed to attend meetings or write letters and emails.

Thank you for your continued service and support of our community, and I understand the importance and responsibility you have as a public servant to balance right from wrong and protecting the public as well as serving the property owners trying to develop in this great city, we all call home. Please remember "Yucaipa is the jewel of the Inland Empire framed by the San Bernardino Mountains, Yucaipa's natural environment, with its cleaner air and unique topography.

Sincerely,  
*Kyle Scribner*  
Kyle Scribner

APPLICANTS NAME: YUCAIPA 52, LLC

January 17, 2023

CASE#: 22-150 PDP/TTM 20375

To whom it may concern,

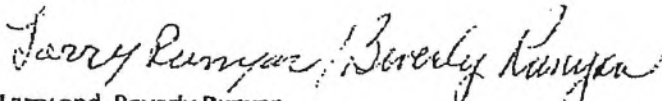
As long time residents of the North Bench we are filing our disagreement with the above proposed development.

In accordance to the current zoning, it requires one (1) house to be on no less than one (1) acre. The current roads and highways are not suitable for accommodating additional traffic and congestion. Plus with the degrading of the one (1) acre lots it will be a greater fire danger to life and property, not to mention the additional demand of water and power.

Access to this proposed area appears to be very limited and not easily accessible, which will cause serious and dangerous situations if experiencing fires such as the fire in September 2020, The El Dorado Fire, which threatened this entire area.

Please take this and other letters of concerns into consideration before making your decision and you will agree that this proposal is not a good development for this area.

Respectfully,

  
Larry and Beverly Runyan

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TIM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional pages):

THE RL-1 ZONING MUST BE FOLLOWED LIKE THE ORIGINAL PLAN STATES. THIS MEANS ONE HOME PER ONE ACRE.

SIGNATURE



DATE 1/16/23 AGENCY

PRINT NAME Laurel Falconi ADDRESS

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

JAN 18 2023

DATE: January 04, 2023

CITY  
OF  
YUCAIPA

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

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COMMENTS (If you need additional space, please attach additional pages):

See attached page

SIGNATURE Lynell McIntyre DATE 1/18/23 AGENCY \_\_\_\_\_

PRINT NAME Lynell McIntyre ADDRESS: \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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- cc: Surrounding Property Owners Yucaipa Valley Water District
- Fire Department Engineering Division
- Building & Safety Division

I wish to voice an opinion about the Serrano Estates Project Case no.22-150.

I am NOT opposed to development of open land in the north bench area. But I want it to be developed responsibly and in keeping with the existing landscape and atmosphere of the surrounding properties.

New homes should be single story custom homes, each with its own personality, on lots of a minimum of 1 acre. They should be situated on the natural contour of the land without a lot of excavating required. I want

open fencing to mark boundary lines and secure livestock.

The north bench area is in a high fire danger location. If the evacuation during the El Dorado taught me nothing else, I learned that I might have to leave in a hurry. I think that packing 51 homes on smaller lots in such an area with so few ways out is irresponsible and dangerous.

I want the intent of the RL zoning in the north bench area to remain unchanged and I welcome new neighbors who also want to enjoy all the benefits of rural living.

Respectfully submitted,

LM

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

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COMMENTS (If you need additional space, please attach additional pages) *Please deny the Serrano Estates due to the current proposal. The general Plan is in place for a reason. Do not allow this developer to have less than 1 acre per house. We need here to have a larger lot to raise chickens, vegetables, etc. Why would you make all these changes for this development? No!*

SIGNATURE *Lenece M. Will* DATE *1/10/23* AGENCY \_\_\_\_\_

PRINT NAME *Lenece M. Will* ADDRESS *10*

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY

cc Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division



CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional pages):

SEE ATTACHED PAGES 1-2 & EXHIBITS 1-3

SIGNATURE Michael Ball DATE 1/16/22 AGENCY HOMEOWNER

PRINT NAME Michael Ball ADDRESS

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING TO THE CITY PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

January 16, 2022

Ref: Case Number PL20220000150

North Bench Construction Project adverse impact on existing traffic patterns with solutions.

Sirs:

## Overview

In response to your call for comments, I submit the following items for your consideration:

1. Any additional traffic, regardless of the traffic impact report by the developer, will already exacerbate a dangerous traffic speed condition on Bryant St. Additional traffic will result in additional accidents. See Comments and Exhibits 1 - 8.
2. Days when non-resident tourists visit the snow already result in stopped traffic from State Highway 38 past the south end of Juniper St. Entering and exiting Bryant St. is difficult and sometimes fully blocked by non-moveable, non-residents. This issue has become much worse since Bryant St. is now open to Interstate 10 via Singleton Road.
3. Resolution will be installation of new traffic signals on Bryant to allow safe ingress and egress for new residents. This should be the responsibility of the developer.
  - a. Intersection of Juniper and Bryant, between Ivy and Topaz.
  - b. Intersection of Topaz and Bryant.
  - c. Intersection of Juniper and Bryant, between Ivy and Carter.

## Comments

I have lived at the intersection of Bryant Street and Ivy Avenue for approximately 5 years. During my residence, I have observed no less than seven high speed traffic incidents within viewing distance of the stop sign in front of my home. I am attaching Exhibits 1 through 7 to document some, but not all accidents. Exhibit 8 is a map of the area for reference.

I cannot address incidents that have occurred farther north or south of this location. I cannot address the severity of personal injury from any of these accidents. I cannot address the expense to the City of Yucaipa for emergency services.

Traffic on Bryant already exceeds the 50mph posted speed limit regularly. I have noted multiple instances of traffic exceeding 80mph passing my home. Southbound traffic slowed behind large trucks regularly passes on the uphill section of Bryant between State Highway 38 and the intersection of Topaz and Bryant. Other southbound traffic under acceleration to climb the hill, sometimes fail to release pressure on the accelerator when reaching the summit at Juniper and increase speed rapidly beyond the summit. Northbound traffic also fails to release accelerator upon approaching the summit.

Visibility on Bryant St. between Carter St. and Topaz St. is limited by terrain and road design. Bryant St. is cut through a hill between Carter St. and Ivy Ave. Bryant St. is curved and begins descent to State Highway 38 at Juniper St.

I believe that any additional traffic entering or exiting Bryant between Carter St. and Topaz St. will result in many additional accidents. Most residents of the North Bench residing on or near Ivy already avoid the intersection of Ivy and Bryant. They use either end of Juniper to enter and exit Bryant. My home has the distinction of being known as the 'Accident House.'

## Resolution

As a method of controlling the number of traffic incidents, I propose that the developer be responsible for the installation of three new signals on Bryant St.

I have walked Bryant St. from Topaz St. to the south intersection of Juniper and Bryant St. Due to limited range of visibility, I conclude that the first signal be installed at the intersection of Juniper and Bryant between Ivy Avenue and Topaz St. This is the closest and most logical location for new residents of the proposed construction project to enter and exit Bryant St. This location is visible from the Topaz/Bryant intersection to the north. It is the highest point between State Highway 38 and Oak Glen Road (as evidenced by the Redlands Bicycle Classic using this as the location for the 'King of The Hill' jersey.) It is visible from the south as far as 100 yards south of Ivy Avenue intersection with Bryant. This location allows drivers on Bryant the greatest distance to respond to the signal in both directions.

The second closest access location for the residents to enter and exit would be Topaz St. A signal at Topaz St and Bryant St. is visible from State Highway 38 to the north and Juniper St. to the south.

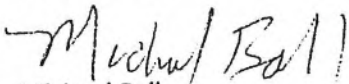
Both signals would slow the already fast traffic heading southbound on Bryant. Note that 4 of the 7 exhibits represent high speed traffic southbound on Bryant. The signals would also slow northbound traffic on the downhill stretch of Bryant.

The third location will be the intersection at the south end of Juniper St. and Bryant St. between Ivy Ave. and Carter St. This is the intersection already used by most residents on their way to Stater Brothers, downtown Yucaipa, and Interstate 10 access. It is an optional access point to Bryant for new residents.

## Addendum

Based purely on my observations while driving along Bryant, I also recommend that a signal be placed at the Carter intersection with Bryant, possibly replacing the third location mentioned in Comments section. A signal at Carter St. may also be needed due to the number of new homes being built east of Bryant St. and south of Carter St. This is not relevant to the current topic, but relevant to quality of life on the North Bench of Yucaipa.

Respectfully,

  
Michael Ball

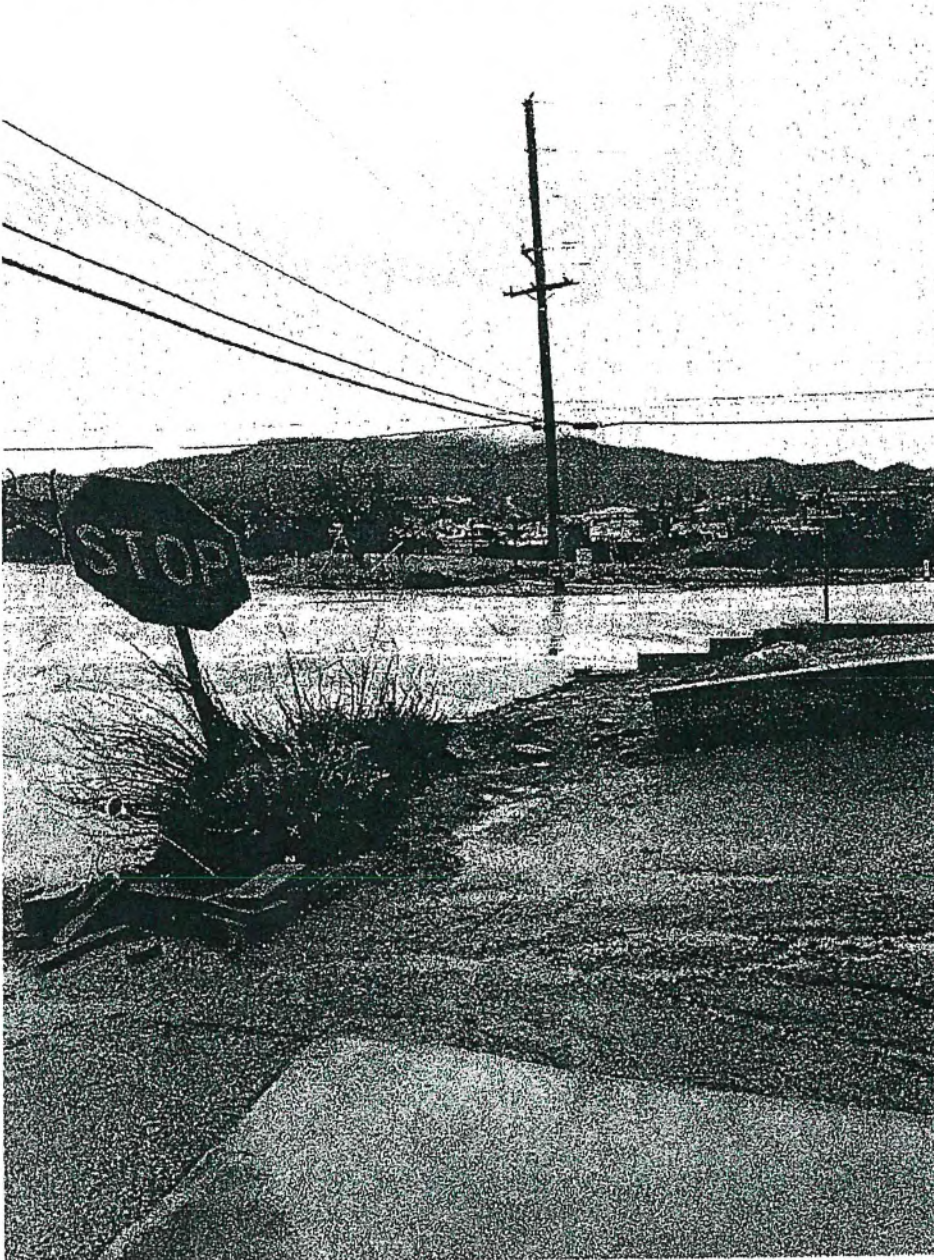
Attachments: Exhibits 1 – 8.

Page | 2

Exhibit 1 - Excessive Speed accident on Bryant St.

April 9, 2020 Approximately 11:00 PM

Solo northbound vehicle failed to brake early enough to turn right onto eastbound Ivy. Vehicle struck my front wall. No skid marks due to rain. Excessive speed for the conditions.



**Exhibit 2 - Excessive Speed accident on Bryant St.**

November 27, 2020 Approximately 9:30 AM

Solo Southbound vehicle on Bryant drove off west side of Bryant between Juniper and Ivy. No skidmarks. Excessive speed and inattention at summit.

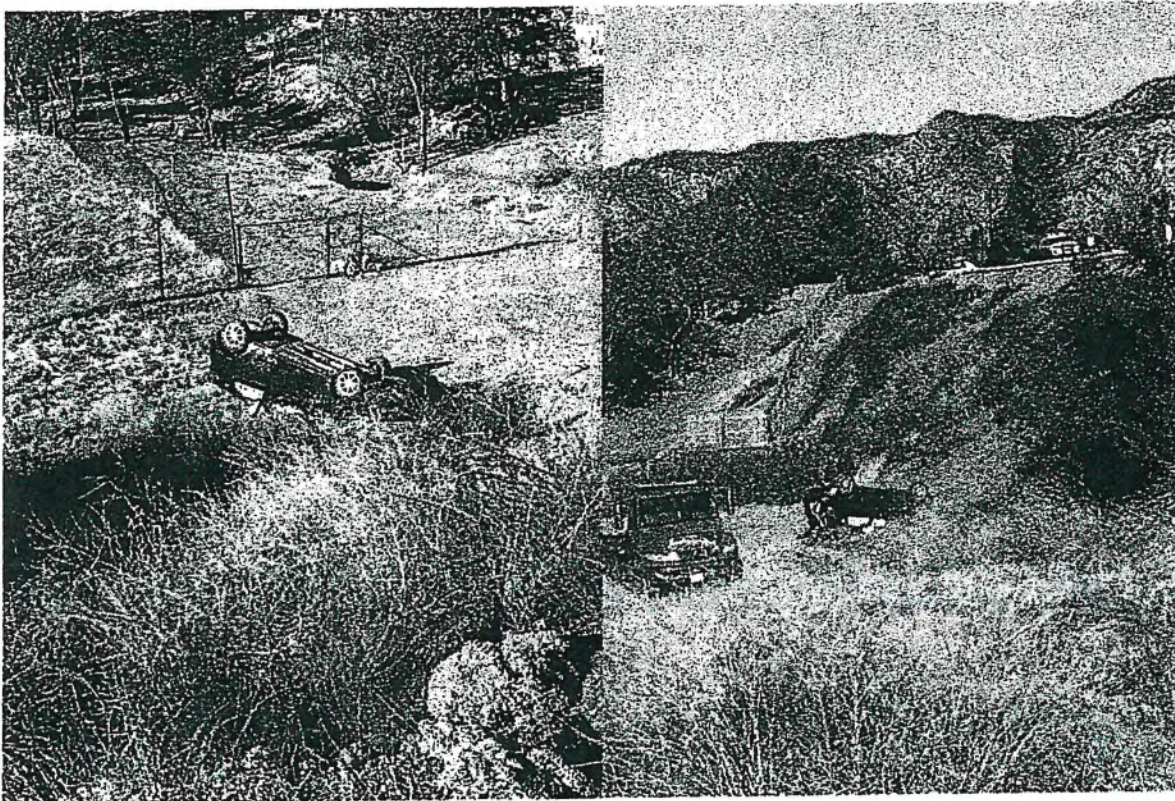


Exhibit 3 - Excessive Speed accident on Bryant St.

January 17, 2021, Approximately 5:30 PM

Solo northbound vehicle 1 on Bryant drove off east side of Bryant at Ivy. Vehicle 1 rear-ended a northbound vehicle 2 turning left on to Adams St at Ivy Ave. High speed Vehicle 1 left skid marks from braking for extended range. Vehicle 1 ended up in drainage ditch on east side of Bryant, within 4 feet of my west side fence. Vehicle 2 ended up on west side of Bryant north of Adams St. Excessive speed and inattention.

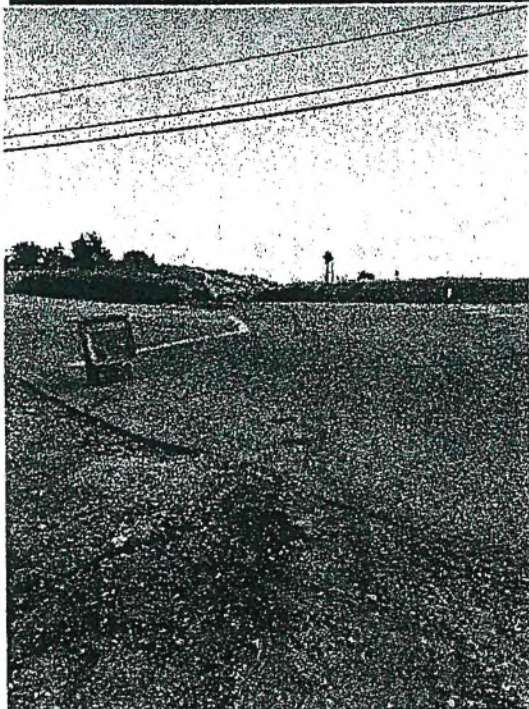
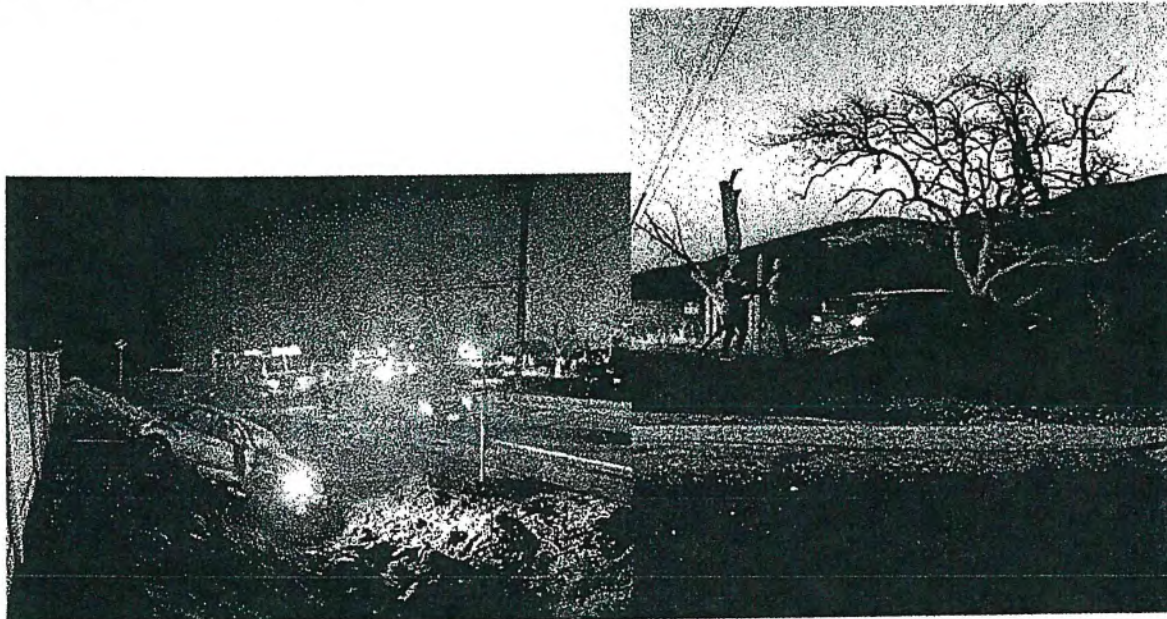


Exhibit 4 - Excessive Speed accident on Bryant St.

September 2, 2021, Approximately 5:00 PM

Solo northbound vehicle drove off Bryant at Ivy striking my front wall. Wehicle driver had no explanation for behavior. No skid marks prior to hitting the wall. Significant damage to wall. Excessive speed and inattention.

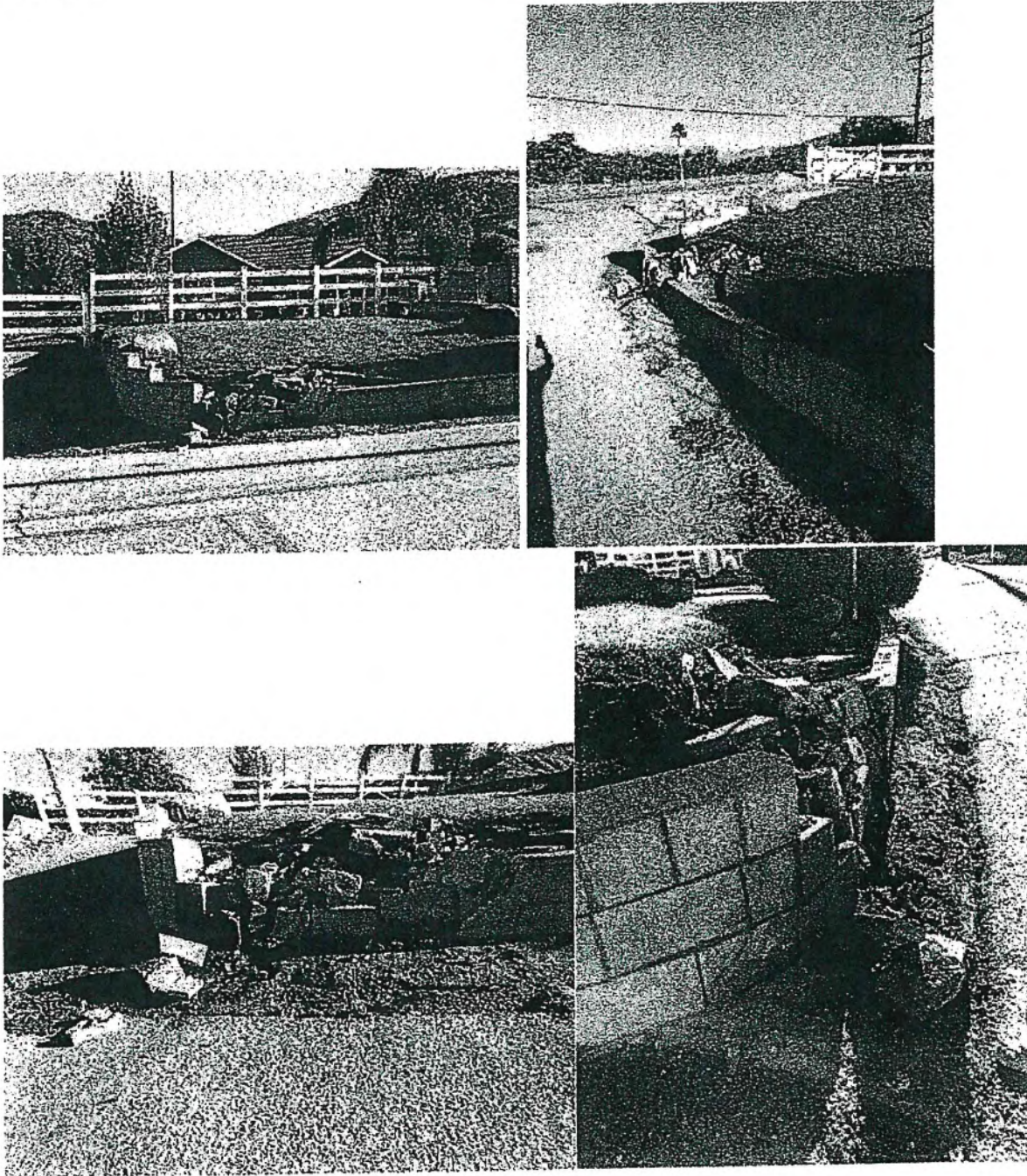
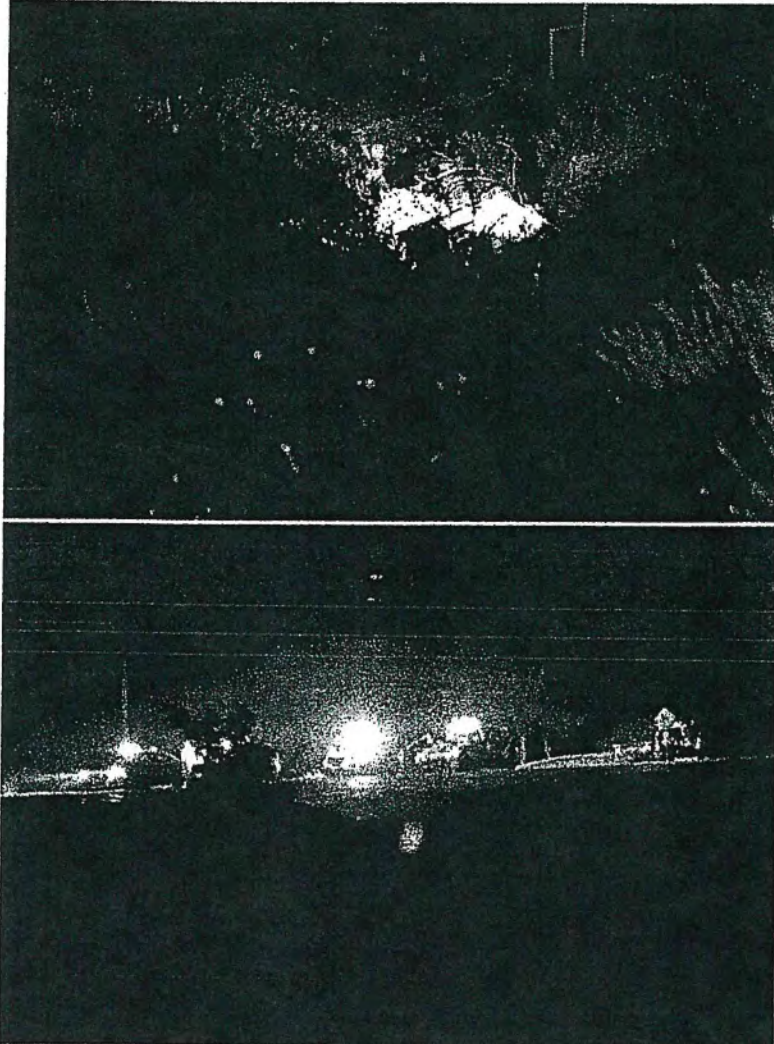


Exhibit 5 - Excessive Speed accident on Bryant St.

April 28, 2022, Approximately 1:30 AM

Solo southbound vehicle drove over west side of Bryant into creek bed between Ivy and Juniper. High speed solo crash. No skid marks. Excessive speed and inattention.

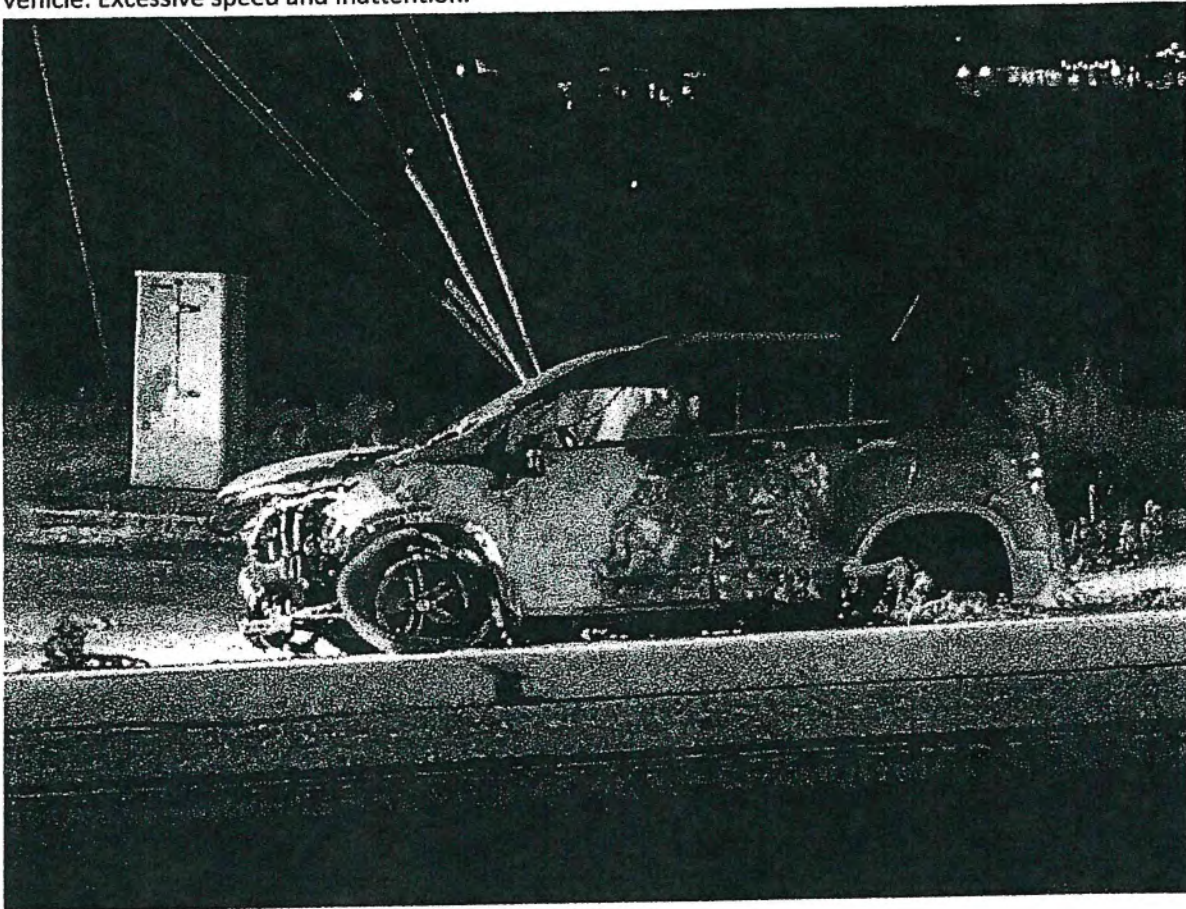




**Exhibit 6 - Excessive Speed accident on Bryant St.**

July 15, 2022, Approximately 8:00 PM

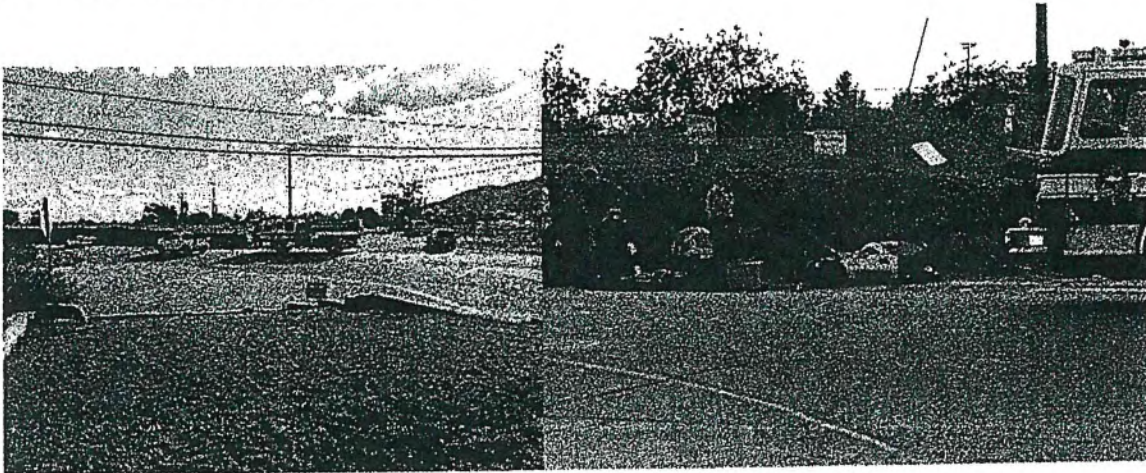
Solo southbound vehicle on Bryant drove over west side of Bryant into creek bed between Ivy and Juniper. High speed, solo crash, no skid marks. Vehicle caught fire while I assisted solo driver from the vehicle. Excessive speed and inattention.



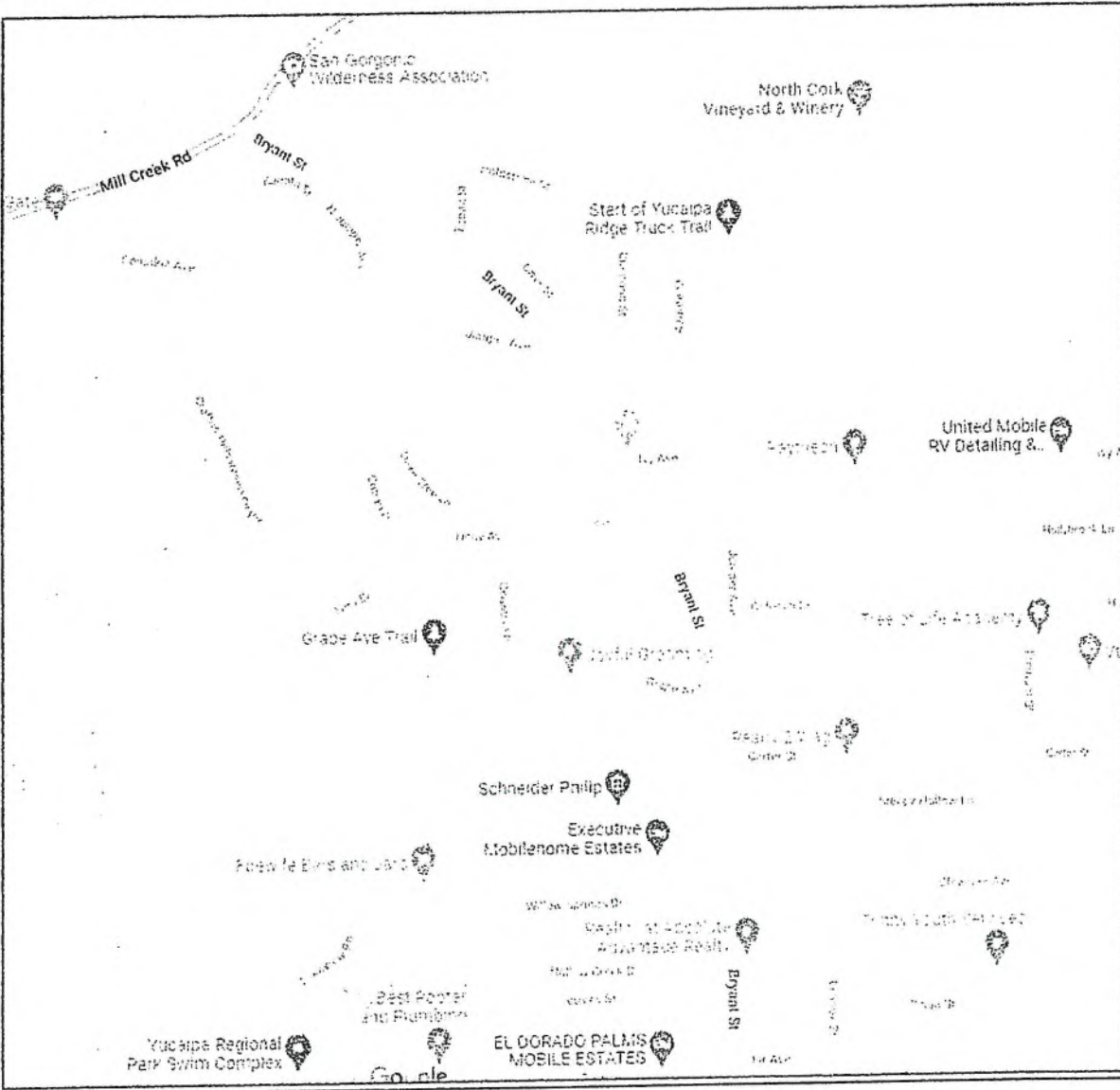
**Exhibit 7 - Excessive Speed accident on Bryant St.**

November 3, 2022, Approximately 3:45 PM

Motorcycle crash southbound Bryant at Ivy St. Traffic slowed behind southbound vehicle turning left onto Ivy. Southbound motorcyclist attempted to pass traffic at high speed. Motorcycle impacted turning vehicle. Excessive speed and inattention.



**Exhibit 8 - Area Map**



RECEIVED

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

JAN 18 2023

DATE: January 04, 2023

CITY  
OF  
YUCAIPA

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Seano Estates Project which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages):

*I do not approve this nor approve high density housing -*

SIGNATURE Marilyn Carr DATE 10/16/2023 AGENCY Homeowner

PRINT NAME Marilyn Carr ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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- cc: Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucaipa Valley Water District
- Engineering Division

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COMMENTS (If you need additional space, please attach additional pages).

*I am against this proposal building so many houses in less than one acre lots will destroy the North bench and create traffic night moves, As there are limited entrances, roads to this area. And where would these children go to school the area is not equipped to handle this.*

SIGNATURE Maria L. Fernandez DATE 1/18/23 AGENCY \_\_\_\_\_

PRINT NAME MARIA L. FERNANDEZ ADDRESS \_\_\_\_\_

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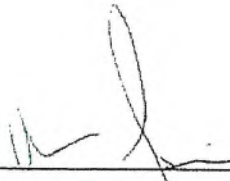
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COMMENTS (If you need additional space, please attach additional pages):

Please see Attached  
Letter

SIGNATURE  DATE 1/16/23 AGENCY \_\_\_\_\_

PRINT NAME OSCAR SPIER ADDRESS \_\_\_\_\_

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Fire Department Engineering Division  
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APPLICANT: Yucaipa 52, LLC

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COMMENTS (If you need additional space, please attach additional pages):

*Please see Attached Letter*

SIGNATURE *Lisa Spier* DATE *1-16-23* AGENCY \_\_\_\_\_

PRINT NAME *Lisa Spier* ADDRESS \_\_\_\_\_

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Fire Department    Engineering Division  
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January 16, 2023

City of Yucaipa planning Division  
Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

To Whom it May Concern:

This letter is to request that the City of Yucaipa.

The reason is that this Rural Community will be affect with too much noise , heavy road traffic, and also safety for those ride their Bicycles also pedestrian and those who ride their equestrian.

This Rural Equestrian area should be as normal daily living neighborhood .  
It is already too much traffic as it is trying to cross over Bryant ave. ( North and South bound).

We think that the city of Yucaipa has a responsibility to the existing residents to preserve the Rural Culture of the neighborhood and disapproved the development, at the Serrano Estate Project.

The other reason is that my Wife and I left the city life is that was getting to crowded no respect for the neighborhood and getting to noisy traffic and the housing are too close to each other. Especially the night sky! Up here in Yucaipa rural area. I'm able to see the night sky without the city lights intervening my view of the night sky.

We have been looking for a place that is quit and no city lights. When we had an opportunity to buy a home in Yucaipa...we did it in a rural neighborhood of Yucaipa.

Also don't forget if the developer does go thru building the Serrano Estates they will be taking the environment habitat away. We also need to conserve our natural environment for our future generation.

That the wild animals able to hunt and survive, and have their life with nature.

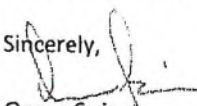
Is bad enough that the wild animal are coming down to our neighborhood to look for food. We lost 4 pets since moved in to new home and that is sad!  
Then media comes in blowout proportion regarding these animals .

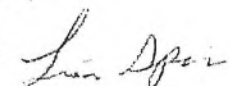
Then again where is the water coming from. We are already in a water shortage do too this drought we been having for last 3 years. Yes we did got a few good showers this year, but not enough. Also there be no additional water restriction on the existing residents their orchard and their life stocks.

We also complaining about our electricity shortage that the power grit can't support it.  
That's why we have power outage or black outs.

And also in summary that the development must be considerate with city ordinances.

Sincerely,

  
Oscar Spier

Lisa Spier 



CITY OF YUCAIPA PLANNING DIVISION  
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LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

APN: 0320-161-06 and 09, 0320-1-81-28

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COMMENTS (If you need additional space, please attach additional pages):

Please See Attached

Patrick & Denise Aguirre

SIGNATURE Denise Aguirre DATE 1/10/22 AGENCY \_\_\_\_\_

PRINT NAME Denise Aguirre ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING. IF YOU CHALLENGE THE DECISION OF THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

To City of Yucaipa Planning Division

Case number PL20220000150

My husband and I purchased our home at \_\_\_\_\_, Jan 2010. Prior to that time, we did our research, we were informed that that area was a 1-acre lot and will remain that way. We moved from a congested area and were in search of a less populated area and we had found our forever home. We are not opposed to the building on the land in question however want them to remain the 1 house per buildable acre. The builder and property owner are not concerned with the people and houses that are currently in this area. They are just wanting to make the most profit at our expense of the long-term residence that were her long before the property owner purchased that lot. We currently have a beautiful area with lots of mountain's views and serenity, ~~The picture that Yucaipa stands for at this time will be lost. That proposed property builder will have a hillside congested with~~ visible roof tops stacked one on top of another. This is not in any way in keeping the surrounding areas as they are now. We ask you to visit the area, so you can see for yourself what we would be looking at. You will see that the houses will be built along and on top of the hillside stacked up, the beauty and serenity will be gone and all we are left with is congestion. I live directly down from the path on Quartz ends at Diamond St. which would be a main path out of that area for the new houses. That street is a steep hill and we have already had a runaway Traylor and prior to our ownership a car run down to our property. We now have had to keep palm trees lined in front of our house to try and prevent run away cars from going down into our property and into our house. So, we ask you, who will make sure my family will be safe. We ask that you protect the surrounding area and keep the one acre lots and keep our serenity the way it is for the sake of the people that have chosen to reside in that area and not let some outside builder and landowner make a profit at our expense and safety.

Thank you

Patrick and Denise Aguirre

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

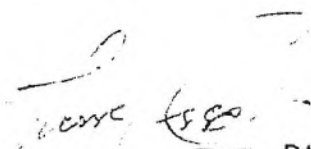
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COMMENTS (If you need additional space, please attach additional pages):

*Please refer to included letter*

SIGNATURE



DATE 1-16-23 AGENCY Owner

PRINT NAME Pierre Assaf ADDRESS

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

January 16, 2023  
From: Pierre Assaf

RECEIVED

JAN 18 2023

To: City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

CITY  
OF  
YUCAIPA

Re: Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

## To Whom it May Concern

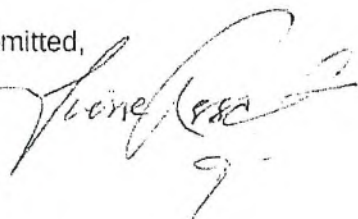
This letter is to state my opposition to the above development proposal as submitted to the city of Yucaipa planning division. While much better than the previous plan, it still does not conform to the RL-1 zoning of the neighborhood. It is incompatible with the characteristics of our rural area and is backed by Yucaipa City Ordinance 84.0320. By definition a rural area is an open land that has uncrowded homes or other buildings, and has a low population density. The North Bench residents made their point loud and clear in March 2014 by rejecting a revision of the general plan when it came to possible rezoning the area. The entire neighborhood and beyond were against the possibility of smaller lots. This point of view has not changed regarding the Serano Estates Project for this and many other reasons. Here are few of the concerns:

- This property east of Yucaipa ridge road is located in a very high fire hazard severity zone and is serviced by 2 narrow roads to access Bryant street (Quartz and Crystal) making evacuation of crowded dwellings (some reserved for seniors) very problematic in case of fire or earthquake. Traffic noise, pollution, congestion and safety of pedestrians are other concerns
- The area is outside the urban area designated by the US Census making references to SB 9 to promote proposed housing development moot.
- Since the El Dorado Fire, mudslides have increased dramatically in the region.

So the development of the Serrano Estates Project must respect the city ordinance for RL-1 zoning and has to be mindful of public safety.

Respectfully submitted,

Pierre Assaf



## Benjamin Matlock

---

**From:**  
**Sent:** Wednesday, January 18, 2023 1:26 PM  
**To:** Benjamin Matlock  
**Subject:** Re: PL20220000150 YUCAIPA 52  
**Attachments:** 23.01.18 city notice.tiff

I forgot to include my notice. I don't know if you need that. So I'm attaching here. Thanks Patty

On Wed, Jan 18, 2023 at 1:23 PM Patty

Ben,

Attached are my comments and a couple of maps showing a suggested redesign. I feel it is important to attempt to keep the rural feel of the area. By adjusting the lot widths to a minimum of 125 feet for the 1/2 acre lots, this will be accomplished. Other comments are also noted in the letter.

One of the maps has been overlaid on the proposed project map so that you can see the areas affected.

Thank you for your consideration of these comments,

Patty

--

*Patricia Ingram*

--

*Patricia Ingram*

**CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE**

**DATE:** January 04, 2023

**CASE NUMBER:** PL20220000150

**APPLICANT:** Yucaipa 52, LLC

**PROPOSAL:** Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

**LOCATION:** Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
**APN:** 0320-161-08 and 09; 03201-81-28

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**COMMENTS** (If you need additional space, please attach additional pages):

*See attached email w/ comments & maps*

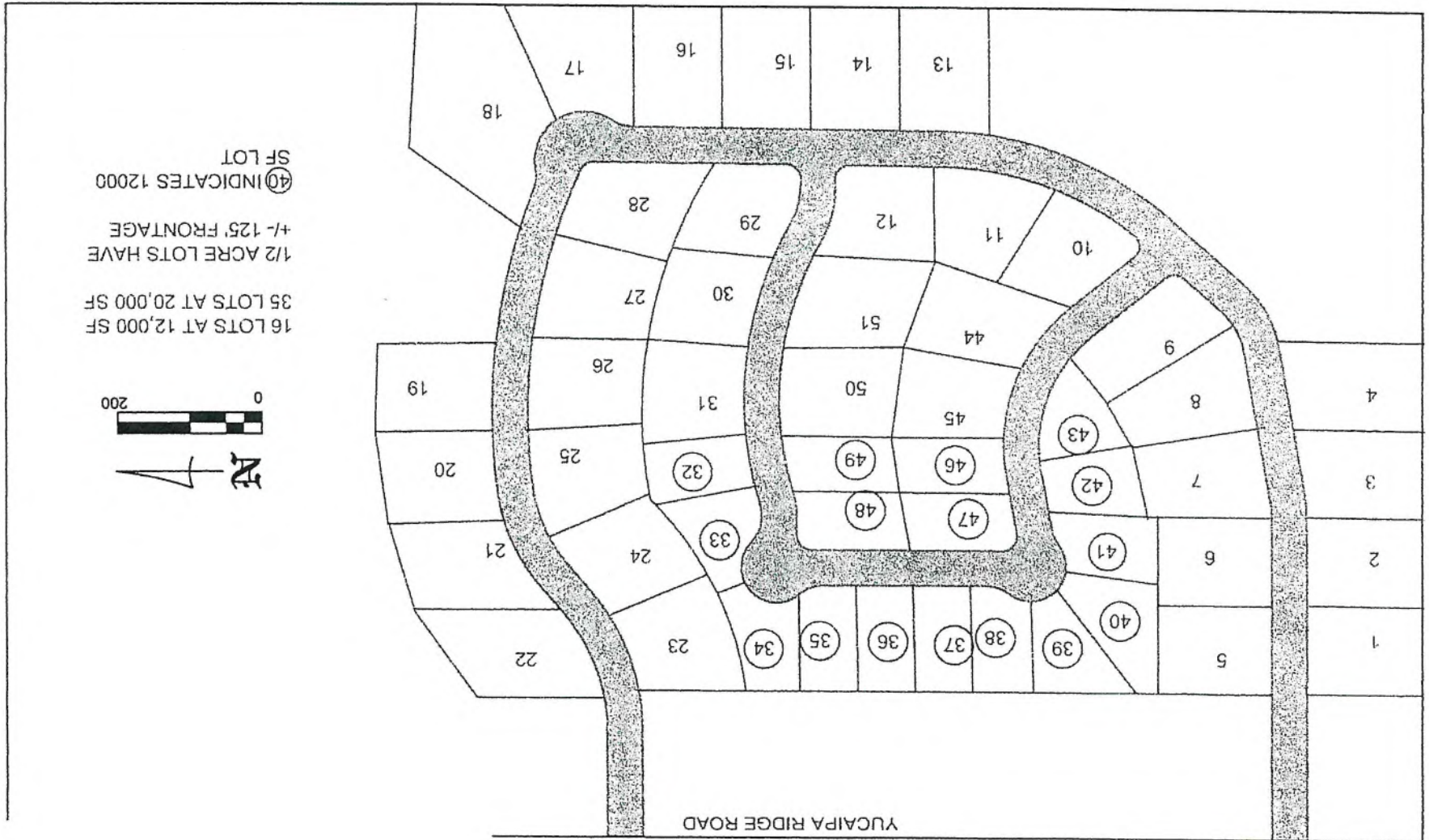
**SIGNATURE** *Patricia Ingram* **DATE** 1-18-23 **AGENCY** \_\_\_\_\_

**PRINT NAME** Patricia Ingram **ADDRESS** \_\_\_\_\_

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**cc:** Surrounding Property Owners      Yucaipa Valley Water District  
Fire Department                      Engineering Division  
Building & Safety Division



City of Yucaipa  
Planning Department  
Sent via email

Response to request for comments and suggested map revisions  
Case Number PL20220000150, Yucaipa 53 LLC

Dear Mr. Matlock,

Thank you for this opportunity to comment on the above project. I appreciate that the developer has attempted to respond to many comments made on the original submission including some of mine. In particular, Yucaipa Ridge Road right of way, north of Quartz Street now has a 40 foot half width as well as a curve at the north end to correspond with the existing roadway.

The applicant has also provided more ½ acres lots, however, I believe he has missed the general intent of the community and that was to keep a rural atmosphere. Section HN-2.4 of the General Plan Housing Element states “development in the North Bench and Wildwood Canyon to be consistent with the rural character of those areas and ensure that they provide high-quality housing opportunities that leverage the unique setting of those areas.”

This area is part of the Custom Home Overlay, which according to General Plan Element HN-3.5, projects require “adherence to housing related regulations.” In that Overlay, the minimum lot width regulation is 125 feet. This allows for larger side yard setbacks and at least the feeling of large, rural lots as you drive down the street. As presented the average lot width is about 80 feet which is more consistent with RS zoning and detracts from the rural atmosphere.

I have attached a plan showing a design concept with this in mind. It utilizes just a slight bit of the vineyard area to keep the same number of lots as proposed with 16 lots at 12,000 sf and 35 lots at 20,000 sf. The ½ acre lots with 125’ width will allow a driveway beside the house so that the rear yards may be accessed. Those are the types of features that separate RL zoning from RS.

I’m still not convinced that the vineyards should take priority over reaching the 1 acre lot size or at least ½ acre lot size. The small amount of vineyards proposed are not enough for an independent business and there is no guarantee of their viability or upkeep.

The idea of senior housing as an incentive for smaller lots doesn’t really make sense here. If you read the General Plan Special Housing needs regarding seniors, their needs are better met closer to the downtown area where easy access, buses and other conveniences are nearby. The price of housing is also less expensive in this area.

The purpose of the Planned Development process is to make a project better by utilizing variances to the existing zoning. However, there should also be an attempt to conform to the surrounding area and homes. For this reason, I believe it is important to look at a redesign that provides a rural housing atmosphere in conformance with the surrounding area.

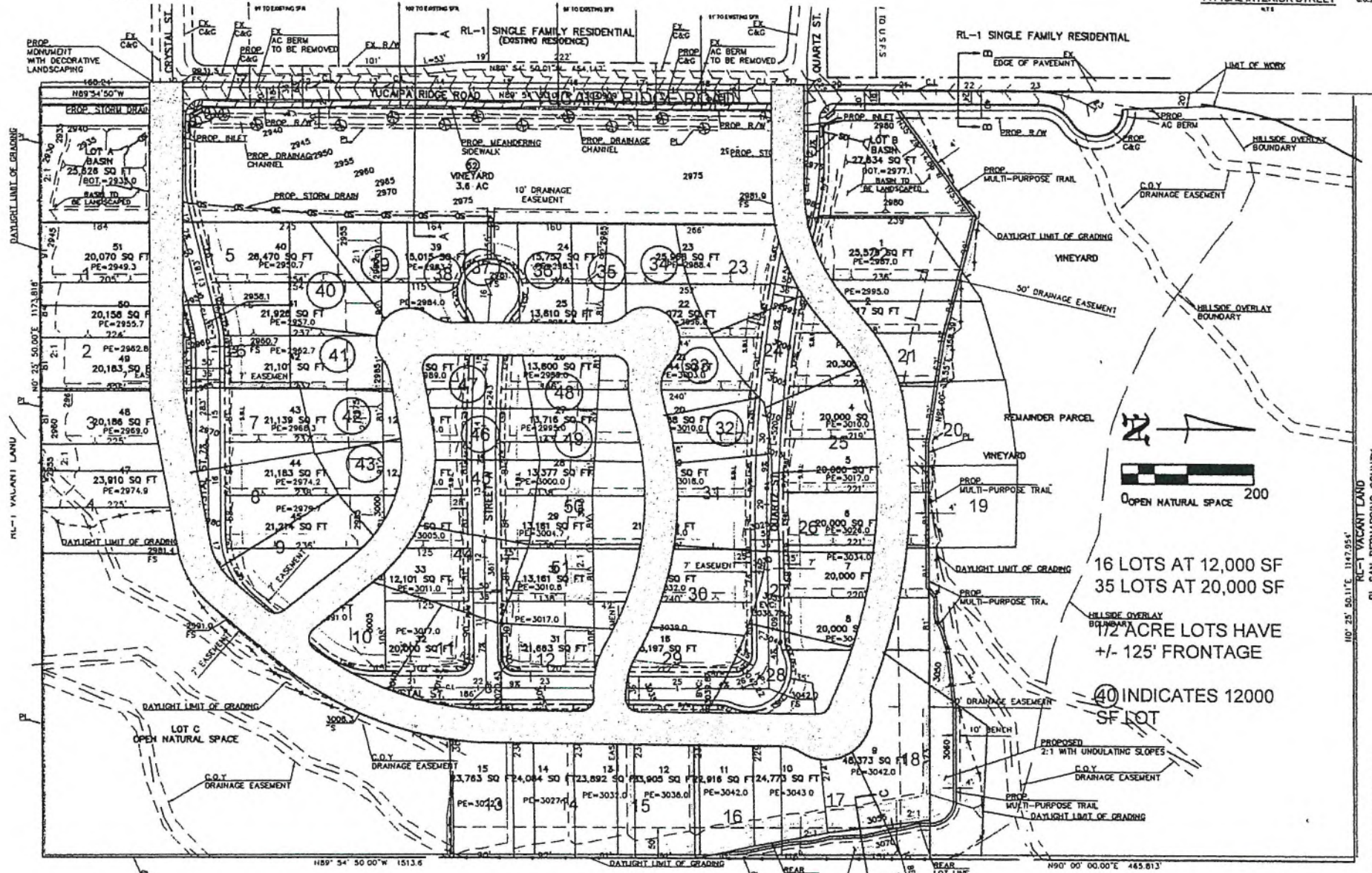
Thank you for your anticipated consideration of my comments. I would be happy to discuss them further with the developer or staff as needed.

Patty Ingram

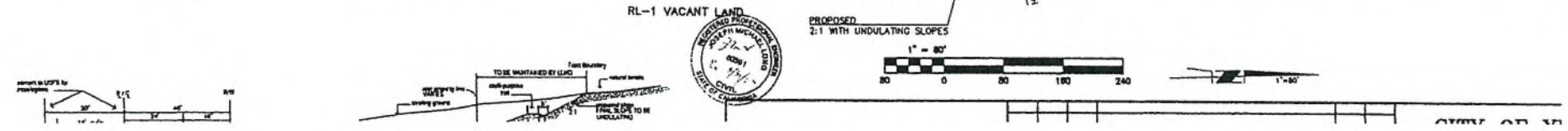


SECTION "A" YUCAIPA RIDGE ROAD

TYPICAL INTERIOR STREET  
 4.5' SURFACE / 1' UNDEVELOPED DRAINAGE SWALE  
 4" DIA



16 LOTS AT 12,000 SF  
 35 LOTS AT 20,000 SF  
 1/2 ACRE LOTS HAVE  
 +/- 125' FRONTAGE  
 40 INDICATES 12000  
 SF LOT



RECEIVED JAN 17 2023

**CITY OF YUCAIPA PLANNING  
PROJECT NOTICE**

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

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APN: 0320-161-08-and-09; 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages):

*Just say no!! Project is terrible for the area! Traffic nightmare!*

SIGNATURE Patricia S Parker DATE 1/10/23 AGENCY \_\_\_\_\_

PRINT NAME Patricia S Parker ADDRESS \_\_\_\_\_  
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cc: Surrounding Property Owners      Yucaipa Valley Water District  
Fire Department                              Engineering Division  
Building & Safety Division

**CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE**

**DATE:** January 04, 2023

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**APPLICANT:** Yucaipa 52, LLC

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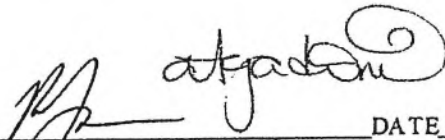
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RECEIVED

JAN 17 2023

CITY  
OF  
YUCAIPA

SIGNATURE

 Amy Agadoni

DATE 1/17/23 AGENCY \_\_\_\_\_

PRINT NAME

Ryan Agadoni

ADDRESS \_\_\_\_\_

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cc:                       
Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

Jessy  
17, 2023.

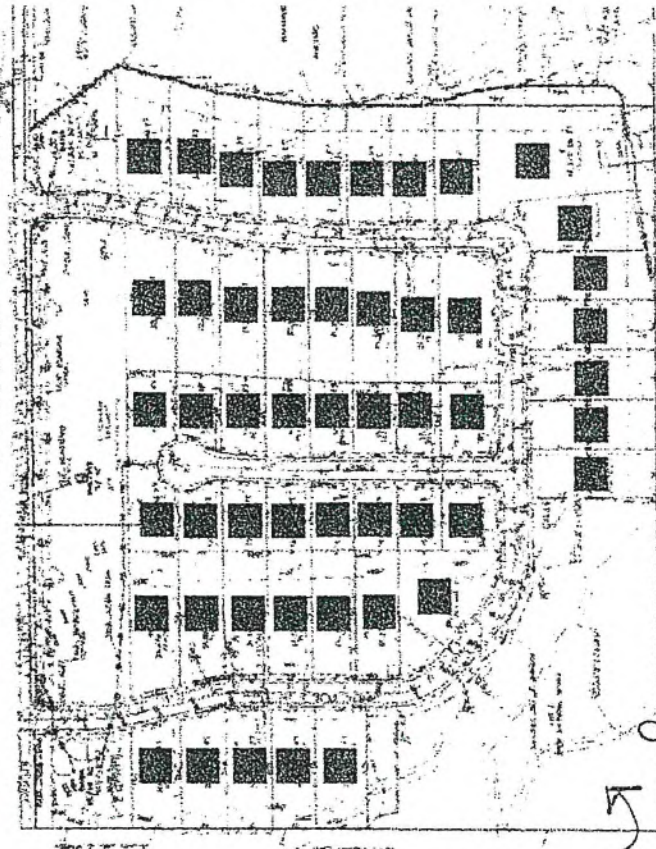
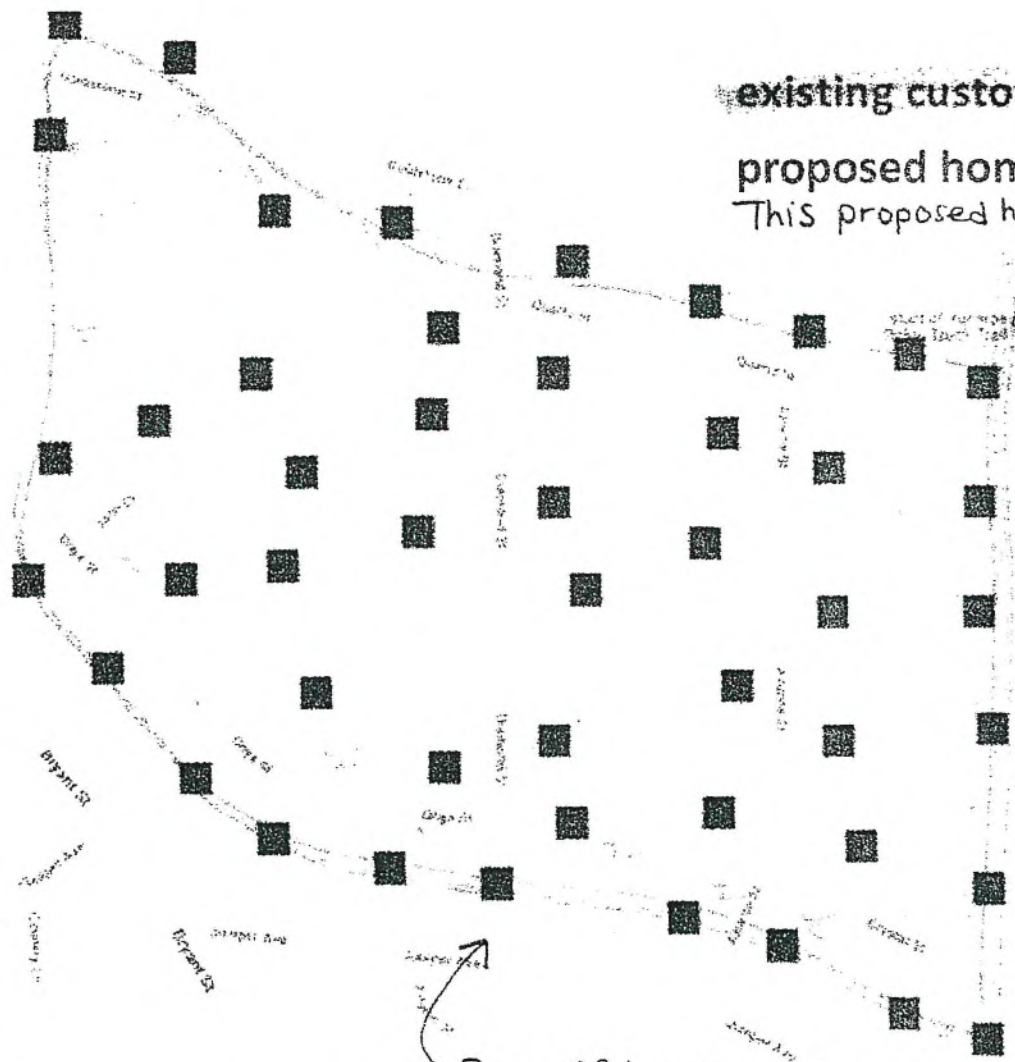
existing custom homes on 1 acre lots

proposed homes from 2023 modified plan

This proposed homes from 2023 modified plan is such a disappointment

It was said at the council meeting in Sept. that the plan would be revisited to look less structured/ less like tract homes.

This DID NOT HAPPEN! did the developer even try?



Beautiful, unique shaped lots. Homes placed intentionally to accommodate custom homes with the natural landscape of the north bench.

Boring, cookie cutter, not creative. zero imagination. Does not fit the current long standing unique nature

A. Agoston  
2-17-2023.

January 11, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

To Whom it May Concern:j

This letter is to request that the City of Yucaipa **deny** the planned Serrano Estates Project Case No 22-150 as currently drafted. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre). While the owner has a right to develop the property, the property must be developed in accordance with the intent of the current zoning requirements which is **one home on one acre (43,560 square feet)**. It is entirely inconsistent with the rural culture of the north bench to place homes on anything less than one acre. Further, after the lots are sold there is no mechanism (e.g., land use covenant) to protect the set aside land for vineyards and open space from future development.

The City has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the current neighborhood. The homes should be **single story, custom built homes** consistent with the majority of the homes in the neighborhood and should not be tract homes. Please note that the existing homes and lots use the natural slopes, and open lot concept (absence of walls).

### **Senate Bill 9 and Similar Legislation**

SB 9 and similar bills referenced in previous comments by developer/owner representatives in city council do not apply to this development. First, SB 9 only applies urbanized areas as designated by the US Census. California discourages urban sprawl into existing rural areas. This property is located outside the urban area designated by the US Census. Second, SB-9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments. Third, SB 9 excludes areas of high fire hazard severity. This area is prone to and experienced wildfires, most recently, the El Dorado Fire.

### **RL-1 Zoning**

The proposed Serrano Estates property is zoned **RL-1 meaning Rural Living, one acre minimum**. The developer argues that, averaged over the entire 52 acres, the proposed 51 lots meets the requirement of **one dwelling per one gross acre**. Further, Developer representatives falsely claimed to city council that the development met the definition of rural living as the only definition for rural living is found in the dictionary.

Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. While the definition does include a minimum lot size of one gross acre, it specifically notes a **maximum housing density of one dwelling unit per acre**. The one-acre gross minimum lot size definition was not intended to be averaged over a large development but allowed for consideration of lot lines extending into right-of-way or easements.

Consistent with the maximum dwelling unit requirement in the ordinance there should not be more than 24 homes in this development based on the sum of the 51 lot areas.

**The RL zoning designation allows farm animal husbandry, orchards, etc. Consistent with the Yucaipa City Ordinance 84.0320, the development must allow for these property uses on each lot.**

City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc. that need to be observed in the development.

### **Slopes**

The development as planned calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1) for residential lots in a high seismic hazard area. Slopes exceed 20 feet in height and occupy nearly a third of smaller lots and are nearly 50 feet high at the northeast corner lot. These are excessively steep and inconsistent with the area.

Properties in the area use the natural slopes with split level homes and walk out basements. There are no one acre lots in the area with engineered slopes this steep and high. We ask that the development make better use of the land to preserve natural slopes and limit slopes to 3:1 and not more than 10 feet in height.

### **High Risk Wildfire Area**

This area of the North Bench is a high-risk wildfire area and was most recently affected by the El Dorado wildfire. Closely spaced homes increase the risk to the public. Senior citizens are especially susceptible to the hazards of wildfires, yet the development provides for small, senior citizen housing. Based on wildfire hazard alone, the lot sizes should not exceed the maximum housing density of one dwelling unit

per acre and should not be designated by the city for senior housing.

### **Senior Housing**

With regard to the argument for smaller lots for senior housing, we note the single largest demographic in this area of the North Bench are seniors—living on one acre or larger lots. Smaller lots for seniors unnecessary in this area.

### **Flood and Stormwater Control**

We ask that the city review the assumptions and calculations behind the design of flood and stormwater control basins and conveyance structures. As a result of the El Dorado Fire, stormwater flows have increased dramatically. The assumptions and parameters used in calculating stormwater runoff and control features should be based on fire-denuded slopes, unvegetated lots with corrals, and lightly vegetated vineyards. This is the new reality of the area.

### **Other Development Considerations**

In addition to the elements discussed above and consistent with the rural culture of the area, we ask that the development implement the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to rolling blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area
- Demonstrate that the additional water requirements will not lead to additional restrictions on existing residents, their orchards, and livestock.
- Demonstrate that traffic will not adversely impact neighborhood safety including cycling, pedestrian, and equestrian traffic. The analysis should include the additional traffic from the commercial winery on Yucaipa Ridge Road.

**In summary, the development must be consistent with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal husbandry, and development consistent with the culture of the area (one story homes with lots honoring the natural slopes), with careful attention to public safety, particularly as relates to wildfires and stormwater.**

Sincerely, Ryan Anderson: Amy Anderson



## 84.0320 Rural Living (RL) District.

The Rural Living (RL) District shall be located as specified by the Yucaipa General Plan.

### (a) Permitted Land Uses

- (1) Row, Field, Tree, and Nursery Crop Cultivation

Any structure associated with this activity is limited to 10,000 square feet on parcels of five acres or less.

- (2) Single dwelling unit.  
(3) Small residential care facility.  
(4) Animal Raising

(A) Animal raising as a primary use of the property must be on a parcel no less than two acres in size. Lot area used to qualify one animal type, either Primary or Accessory Animal Raising, shall not be reused to qualify another animal type. Proper manure management will be carried out in accordance with Title 3 of the San Bernardino County Code as adopted by the city of Yucaipa.

<u>Animal Type</u>	<u>Animal Density Per Square Foot</u>
Cattle/Bufalo	1 per 10,000
Horses	1 per 10,000
Hogs (9 maximum)	1 per 20,000
Sheep, Female Goats, and Similar Livestock	1 per 4,000
Male Adult Goats (4 maximum)	for parcels of less than 10 acres, 1
Male Adult Goats (4 maximum)	for parcels 10 acres+, 1 per 5 acres
Rabbits and Chinchillas (200 maximum)	50 per 10,000 (min. parcel size 1 acre)
Female Poultry	for parcels of less than 1 acre, 25
Female Poultry	for parcels of 1 to less than 10 acres, 99
Female Poultry	for parcels of 10 acres +, 99 per 10 acres
Male Poultry (9 maximum)	for parcels of less than 10 acres, 2 per parcel
Male Poultry (9 maximum)	for parcels of 10 acres +, 2 per 5 acres

### (B) Small Animal Ranches/Farms

Aviaries, apiaries, or similar small animal ranches or farms shall be permitted on parcels that are at least one-half acre in size. Fish raising shall be limited to one pond per acre, with a maximum of four ponds per parcel. Each pond shall not exceed one-half surface acre in area.

- (5) Accessory uses as specified by Chapter 5 of this division.  
(6) Small family day care home.

### (b) Land Uses Subject to Conditional Use Permit

- (1) Commercial kennels and catteries—two-acre minimum parcel size.
- (2) Commercial chicken ranches restricted to a minimum of 10 acres.
- (3) Agricultural support services.
- (4) Mobilehome park (not to exceed four spaces per acre on minimum parcel size of 20 acres).
- (5) Any structure associated with row, field, tree, and nursery crop cultivation that is greater than 10,000 square feet on parcels of five acres or less.
- (6) Planned development.
- (7) Boarding house (for up to six residents).
- (8) Bed and breakfast lodge (for up to six guests).
- (9) Parolee homes.
- (10) Botanical gardens and arboretums.
- (11) Historic and monument sites.
- (12) Unmanned public utilities and services uses/structures.
- (13) Unmanned radio and television stations/towers.
- (14) Wildlife and nature preserves.

### (c) Property Development Standards

The following property development standards shall apply to all land uses within the RL District.

Maximum Structure Height	35 feet
Minimum Lot Size (map suffix will modify)	1.0 gross acre
Maximum Lot Coverage	40%



Maximum Building Coverage	40%
Maximum Lot Dimensions (width/depth ratio)<	10 acres = 1:3
Maximum Lot Dimensions (width/depth ratio)>	10 acres = 1:4
Minimum Lot Dimensions (width/depth in feet)	125/125
Front Yard Setback	30 feet
Side Yard Setbacks	15 feet
Rear Yard Setbacks	25 feet
Street Side Yard Setbacks (local streets)	20 feet
Street Side Yard Setbacks (collector streets)	30 feet
Maximum Housing Density	1 du/acre
Minimum District Size	10 gross acres

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

JAN 18 2023

DATE: January 04, 2023

CITY  
OF  
YUCAIPA

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Scarno Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

*NO Change to the Current Zone.*

SIGNATURE *[Signature]* DATE 1/15/23 AGENCY \_\_\_\_\_

PRINT NAME Byron Carr ADDRESS \_\_\_\_\_  
YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE TO THE CITY PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 18 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

SIGNATURE Ramona Etheredge DATE \_\_\_\_\_ AGENCY \_\_\_\_\_

PRINT NAME Ramona P. Etheredge ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING. IF YOU CHALLENGE THE DECISION OF THE CITY PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

To the City of Yucaipa Planning Division  
Concerning Case # PL20220000 150, If you continue,  
You are in violation of the general plan  
ordinance # 84.0320, RL-1 zoning of one acre or  
more. You cannot change zoning laws, especially  
when we the people have already spoken against  
this project, mainly because you want to  
change our zoning to less than an acre.  
The council no longer is heading to the will  
of the people, you are violating the current  
citizens rights, and are going against the Constitution  
of the United States of America.  
We the people already told you our decisions,  
and this incident:  
Why was one of the Council members  
escorting Chinese Investors to view the  
land on the North Bench. Why did these  
Chinese Investors buy 120 acres?  
When you rejected the will of the  
people you declared war on the citizens  
of Yucaipa.

Ramona Etheredge

RECEIVED JAN 18 2023

### CITY OF YUCAIPA PLANNING DIVISION PROJECT NOTICE

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/EDP/TIM 20175 A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375) Final Development Plan for the proposed Senano Estates Project, which will establish 31 Single Family Residential lots, with 35 residential lots on parcels 20,000 square feet or greater, and 10 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyard, along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits APN: 0320-161-08 and 09-03204-51-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages).

SIGNATURE Richard Johnston DATE 01/18/23 AGENCY RESIDENCE

PRINT NAME RICHARD JOHNSTON ADDRESS: \_\_\_\_\_  
YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE, RAISED IN WRITING DIVISIONAL, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES WITH THE PLANNING DIVISION BEFORE THE HEARING. COMMENTS NOT DELIVERED TO THE HEARING BODY AT OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

- cc Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucaipa Valley Water District
- Engineering Division

January 11, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

RECEIVED

JAN 18 2023

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

CITY  
OF  
YUCAIPA

To Whom it May Concern:j

This letter is to request that the City of Yucaipa **deny** the planned Serrano Estates Project Case No 22-150 as currently drafted. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre). While the owner has a right to develop the property, the property must be developed in accordance with the intent of the current zoning requirements which is **one home on one acre (43,560 square feet)**. It is entirely inconsistent with the rural culture of the north bench to place homes on anything less than one acre. The City has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the current neighborhood. The homes should be **single story, custom built homes** consistent with the majority of the homes in the neighborhood and should not be tract homes. Photographs showing existing homes along Ivy Avenue and Yucaipa Ridge Road are attached. Please note how the existing homes and lots use the natural slopes, and open lot concept (absence of walls).

#### **Senate Bill 9 and Similar Legislation**

SB 9 and similar bills referenced in previous comments by developer/owner representatives in city council do not apply to this development. First, SB 9 only applies urbanized areas as designated by the US Census. California discourages urban sprawl into existing rural areas. This property is located outside the urban area designated by the US Census. Second, SB-9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments. Third, SB 9 excludes areas of high fire hazard severity. This area is prone to and experienced wildfires, most recently, the El Dorado Fire.

#### **RL-1 Zoning**

The proposed Serrano Estates property is zoned **RL-1 meaning Rural**

**Living, one acre minimum.** The developer argues that, averaged over the entire 52 acres, the proposed 51 lots meets the requirement of **one dwelling per one gross acre**. Further, Developer representatives falsely claimed to city council that the development met the definition of rural living as the only definition for rural living is found in the dictionary.

Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. While the definition does include a minimum lot size of one gross acre, it specifically notes a **maximum housing density of one dwelling unit per acre**. The one-acre gross minimum lot size definition was not intended to be averaged over a large development but allowed for consideration of lot lines extending into right-of-way or easements.

Consistent with the maximum dwelling unit requirement in the ordinance there should not be more than 24 homes in this development based on the sum of the 51 lot areas.

**The RL zoning designation allows farm animal husbandry, orchards, etc. Consistent with the Yucaipa City Ordinance 84.0320, the development must allow for these property uses on each lot.**

City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc. that need to be observed in the development.

### **Slopes**

The development as planned calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1) for residential lots in a high seismic hazard area. Slopes exceed 20 feet in height and occupy nearly a third of smaller lots and are nearly 50 feet high at the northeast corner lot. These are excessively steep and inconsistent with the area (see attached photographs). Properties in the area use the natural slopes with split level homes and walk out basements. There are no one acre lots in the area with engineered slopes this steep and high. We ask that the development make better use of the land to preserve natural slopes and limit slopes to 3:1 and not more than 10 feet in height.

### **High Risk Wildfire Area**

This area of the North Bench is a high-risk wildfire area and was most recently affected by the El Dorado wildfire. Closely spaced homes increase the risk to the public. Senior citizens are especially susceptible to the hazards of wildfires, yet the development provides for small, senior citizen housing. Based on wildfire hazard alone, the lot sizes should not exceed the maximum housing density of one dwelling unit per acre and should not be designated by the city for senior housing.

### **Senior Housing**

With regard to the argument for smaller lots for senior housing, we note the single largest demographic in this area of the North Bench are seniors—living on one acre or larger lots. Smaller lots for seniors unnecessary in this area.

### **Flood and Stormwater Control**

We ask that the city review the assumptions and calculations behind the design of flood and stormwater control basins and conveyance structures. As a result of the El Dorado Fire, stormwater flows have increased dramatically. The assumptions and parameters used in calculating stormwater runoff and control features should be based on fire-denuded slopes, unvegetated lots with corrals, and lightly vegetated vineyards. This is the new reality of the area.

### **Other Development Considerations**

In addition to the elements discussed above and consistent with the rural culture of the area, we ask that the development implement the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to rolling blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area (see attached photographs)
- Demonstrate that the additional water requirements will not lead to additional restrictions on existing residents, their orchards, and livestock.
- Demonstrate that traffic will not adversely impact neighborhood safety including cycling, pedestrian, and equestrian traffic. The analysis should include the additional traffic from the commercial winery on Yucaipa Ridge Road.

**In summary, the development must be consistent with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal husbandry, and development consistent with the culture of the area (one story homes with lots honoring the natural slopes), with careful attention to public safety, particularly as relates to wildfires and stormwater.**

Sincerely,



□



CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional pages):

Please See Attached papers.

SIGNATURE Robin Miskin DATE 1-17-2023 AGENCY \_\_\_\_\_

PRINT NAME Robin Miskin ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING. THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

January 17, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

Dear City Planner and City Council:

My purpose in writing is to request that the City of Yucaipa **deny** the planned Serrano Estates Project (Case No 22-150) as planned. We believe that the current development plan is much better than the previous plan, but it is still inconsistent with the RL-1 zoning. Some of the lots are as small as one quarter acre which will not support rural living as defined by Yucaipa ordinance 84-0320. I recognize that the owner has a right to develop the property but it needs to comply with current zoning.

Consistent with current construction, the new homes should be one-story custom-built homes and should make use of the natural slopes and avoid excessively high slopes greater than 10 feet.

The proposed Serrano Estates property is zoned RL-1 meaning Rural Living, one acre minimum. Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. As clearly stated, the maximum allowable housing density is one dwelling unit per acre—NOT one dwelling unit per gross acre as currently planned. This means that 24 acres are allowed on the 24 acres of land currently designated for construction.

Under Yucaipa City Ordinance 84.0320, the RL zoning designation allows for farm animals including horses, cows, sheep, etc. The lots must allow for these uses on each lot.

The slopes of 2 horizontal to 1 vertical (2:1) are extraordinarily steep for residential lots heights of 20 feet on small lots and up to 50 feet on the largest lot. It will be very difficult to maintain these slopes and may lead to instability and excessive erosion that plugs backyard drains. Properties in the area use the natural slopes with split level homes and walk out basements. 3:1 slopes are more common and we suggest that the slopes not be higher than 10 feet.

The North Bench has been evacuated several times for wildfires and it a high-risk wildfire area. Less densely packed houses would reduce the risk of homes spreading fires.

With regard to senior housing, most of the homeowners in this area are seniors and doing just fine on one acre or larger lots. Smaller lots for seniors are unnecessary in this area.

Did the stormwater design features account for increased runoff from denuded slopes from wildfires and lots from large animal raising? If not, the stormwater control system needs to be re-designed for the "new reality" of increased stormwater flows.

In addition to the above, I ask that the development consider the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to rolling blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area
- Show that the additional water requirements for homes and vineyards will not lead to restrictions on existing homeowners.
- Show that traffic will not cause a safety concern for cyclists, pedestrians, and horse riders.

To summarize, the development must be consistent with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal raising, and development consistent with the culture of the area (one story homes with lots honoring the natural slopes), with careful attention to public safety, particularly as relates to wildfires and stormwater.

Sincerely yours,

Robin D. Miskin

# 84.0320 Rural Living (RL) District.

The Rural Living (RL) District shall be located as specified by the Yucaipa General Plan.

(a) Permitted Land Uses

- (1) Row, Field, Tree, and Nursery Crop Cultivation

Any structure associated with this activity is limited to 10,000 square feet on parcels of five acres or less.

- (2) Single dwelling unit.
- (3) Small residential care facility.
- (4) Animal Raising

(A) Animal raising as a primary use of the property must be on a parcel no less than two acres in size. Lot area used to qualify one animal type, either Primary or Accessory Animal Raising, shall not be reused to qualify another animal type. Proper manure management will be carried out in accordance with Title 3 of the San Bernardino County Code as adopted by the city of Yucaipa.

<u>Animal Type</u>	<u>Animal Density Per Square Foot</u>
Cattle/Buffalo	1 per 10,000
Horses	1 per 10,000
Hogs (9 maximum)	1 per 20,000
Sheep, Female Goats, and Similar Livestock	1 per 4,000
Male Adult Goats (4 maximum)	for parcels of less than 10 acres, 1
Male Adult Goats (4 maximum)	for parcels 10 acres+, 1 per 5 acres
Rabbits and Chinchillas (200 maximum)	50 per 10,000 (min. parcel size 1 acre)
Female Poultry	for parcels of less than 1 acre, 25
Female Poultry	for parcels of 1 to less than 10 acres, 99
Female Poultry	for parcels of 10 acres +, 99 per 10 acres
Male Poultry (9 maximum)	for parcels of less than 10 acres, 2 per parcel
Male Poultry (9 maximum)	for parcels of 10 acres +, 2 per 5 acres

(B) Small Animal Ranches/Farms

Aviaries, apiaries, or similar small animal ranches or farms shall be permitted on parcels that are at least one-half acre in size. Fish raising shall be limited to one pond per acre, with a maximum of four ponds per parcel. Each pond shall not exceed one-half surface acre in area.

- (5) Accessory uses as specified by Chapter 5 of this division.
- (6) Small family day care home.

(b) Land Uses Subject to Conditional Use Permit

- (1) Commercial kennels and catteries—two-acre minimum parcel size.
- (2) Commercial chicken ranches restricted to a minimum of 10 acres.
- (3) Agricultural support services.

- (4) Mobile home park (not to exceed four spaces per acre on minimum parcel size of 20 acres).
- (5) Any structure associated with row, field, tree, and nursery crop cultivation that is greater than 10,000 square feet on parcels of five acres or less.
- (6) Planned development.
- (7) Boarding house (for up to six residents).
- (8) Bed and breakfast lodge (for up to six guests).
- (9) Parolee homes.
- (10) Botanical gardens and arboretums.
- (11) Historic and monument sites.
- (12) Unmanned public utilities and services uses/structures.
- (13) Unmanned radio and television stations/towers.
- (14) Wildlife and nature preserves. \*

(c) Property Development Standards

The following property development standards shall apply to all land uses within the RL District.

Maximum Structure Height	35 feet
Minimum Lot Size (map suffix will modify)	1.0 gross acre
Maximum Lot Coverage	40%
Maximum Building Coverage	40%
Maximum Lot Dimensions (width/depth ratio)<	10 acres = 1:3
Maximum Lot Dimensions (width/depth ratio)>	10 acres = 1:4
Minimum Lot Dimensions (width/depth in feet)	125/125
Front Yard Setback	30 feet
Side Yard Setbacks	15 feet
Rear Yard Setbacks	25 feet
Street Side Yard Setbacks (local streets)	20 feet
Street Side Yard Setbacks (collector streets)	30 feet
Maximum Housing Density	1 du/acre
Minimum District Size	10 gross acres

RECEIVED

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucnipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional pages):

*my husband and I moved here because its so quiet and we all have land. We are hoping that this area can remain its own quiet neighborhood. These houses would bring so much traffic to our streets. We also*

SIGNATURE *Rebecca Pedersen* DATE 1/17 AGENCY \_\_\_\_\_

PRINT NAME Rebecca Pedersen ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE TO THE CITY OF YUCAIPA PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

*don't believe that having more wine vineyards in front of track homes makes it any easier to accept. we don't drink wine so that*

doesn't mean anything to us personally.  
The land owner bought this land  
knowing that it wasn't to be used  
in this proposed way. It's not  
right, that the rules are being  
changed for him or for money.

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

~~APN: 0320-161-08 and 09; 03201-81-28~~

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COMMENTS (If you need additional space, please attach additional pages):

I Do Not approve of this  
Development

SIGNATURE Ron Soffel DATE 1/12/23 AGENCY \_\_\_\_\_

PRINT NAME Ron Soffel ADDRESS \_\_\_\_\_

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- cc: Surrounding Property Owners Yucaipa Valley Water District
- Fire Department Engineering Division
- Building & Safety Division



CITY OF YUCAIPA PLANNING DIVISION  
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APPLICANT: Yucaipa 52, LLC

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COMMENTS (If you need additional space, please attach additional pages.)

*We bought our property with the code as one acre lots. We don't believe it is right to change code after the fact. We do not want less than one acre lots.*

SIGNATURE *Richard D. Whitlock* DATE 1-17-23 AGENCY \_\_\_\_\_

PRINT NAME Richard D. Whitlock ADDRESS \_\_\_\_\_

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cc Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
Building & Safety Division

**Benjamin Matlock**

---

**From:**  
**Sent:** Tuesday, March 7, 2023 6:49 AM  
**To:** Benjamin Matlock  
**Subject:** Building homes Yucaipa ridge

Please don't let them build under 1 acre lot house's on the Yucaipa ridge. Yucaipa is getting so congested already not to mention the school situation, water, roads, keep our town the way it is!

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

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COMMENTS (If you need additional space, please attach additional pages):

SEE ATTACHED.

SIGNATURE Stephen Freeman DATE 1-17-23 AGENCY \_\_\_\_\_

PRINT NAME Stephen Freeman ADDRESS \_\_\_\_\_

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

Stephen A. Freeman  
Cynthia S. Freeman

January 16, 2023

Benjamin Matlock, City of Yucaipa Planning Manager

Dear Mr. Matlock,

We are residents of the north bench and your district. We are opposed to the proposed Serrano development.

The primary reasons are:

1. The infrastructure will not properly support the proposed population density. There is not enough room to provide streets large enough to handle the traffic. There is no way to provide proper access to utilities without damaging the property and property values of the current residents. The streets will not handle the traffic from 52 more homes.
2. Will eminent domain be used by the city to take the land from current owners to widen the existing streets? Will existing home owners lose property and property value?
3. Will current residents be forced to connect to new sewers?.
4. Is the developer going to pay for all the cost to change the roads? The irony will be making existing home owners pay in taxes to have their quality of life reduced.
5. This area represents the rural history of Yucaipa. Development of the north bench on parcels of less than 1 acre will destroy that heritage.
- 6.. A promise made by government should be kept. All the residents in the area purchased their homes believing that the 1 acre lot size zoning would be kept. They trusted their city government.

**Last but not least.**

**4. The, at best, disingenuous statements of the developer are an indicator of character. The developer knew, when the property was purchased many years ago, that the northern section was not suitable for homes due to the well known seismic conditions. The developer had to know then how many homes could be built safely on suitable land given a one acre lot size zoning. At the oral presentation made and the earlier planning commission hearing the developer's representatives purposely did not state that fact of the seismic issues and**

inferred that using the northern portion for agriculture was some sort of magnanimous gesture on their part. The seismic issue was not mentioned to the commissioners until noted by one of the speakers from the audience. This northern section of the property is about one half of the total acreage. Looking at that northern section makes one wonder if it will ever successfully support a vineyard or other agricultural purpose. It is steep and very uneven ground that will need a massive amount of excavation to create suitable vineyard land which makes it financially nonviable for a vineyard. The developers efforts to align with the wine commission is no more than a cheap political trick. The whole wine plan is an ugly hoax at worst and a useless pipe dream at best.

*Please vote no on the Serrano project.*

Steve and Cindy Freeman

## Benjamin Matlock

---

**From:**  
**Sent:** Tuesday, January 17, 2023 1:37 PM  
**To:** Benjamin Matlock  
**Subject:** Re: Planning commissioners

Mr. Matlock,

Please sent the following to all of the Commissioners.

We are residents of the north bench and your district. We are opposed to the proposed Serrano development.

The primary reasons are:

1. The infrastructure will not properly support the proposed population density. There is not enough room to provide streets large enough to handle the traffic. There is no way to provide proper access to utilities without damaging the property and property values of the current residents. The streets will not handle the traffic from 52 more homes.
2. Will emanate domain be used by the city to take the land from current owners to widen the existing streets? Will existing home owners loose property and property value?
3. Will current residents be forced to connect to new sewers?.
4. Is the developer going to pay for all the cost to change the roads? The irony will be making existing home owners pay in taxes to have their quality of life reduced.
5. This area represents the rural history of Yucaipa. Development of the north bench on parcels of less than 1 acre with destroy that heritage.
- 6.. A promise made by government should be kept. All the residents in the area purchased their homes believing that the 1 acre lot size zoning would be kept. They trusted their city government.

**Last but not least.**

**4. The, at best, disingenuous statements of the developer are an indicator of character. The developer knew, when the property was purchased many years ago, that the northern section was not suitable for homes due to the well known seismic conditions. The developer had to know then how many homes could be built safely on suitable land given a one acre lot size zoning. At the oral presentation made and the earlier planning commission hearing the developer's representatives purposely did not state that fact of the seismic issues and inferred that using the northern portion for agriculture was some sort of magnanimous gesture on their part. The seismic issue was not mentioned to the commissioners until noted by one of the speakers from the audience. This northern section of the property is about one half of the total acreage. Looking at that norther section makes one wonder if it will ever successfully support a vineyard or other agricultural purpose. It is steep and very uneven ground that will need a massive amount of excavation to create suitable vineyard land which makes it financially nonviable for a vineyard. The developers efforts to align with the wine**

**commission is no more than a cheap political trick. The whole wine plan is an ugly hoax at worst and a useless pipe dream at best.**

***Please vote no on the Serrano project.***

Steve and Cindy Freeman

In a message dated 1/17/2023 1:06:59 PM Pacific Standard Time, bmatlock@yucaipa.org writes:

Hi Steve,

The Commissioners are as follows:

JR Allgower

Tony Hicks

Richard Beck

Donna Snodgrass

Stacey Chester

Dave Higginson

Lyle Vick

You can submit letters to myself or to the City Clerk.

Thank you,

Benjamin Matlock  
Planning Manager / City Planner  
City of Yucaipa  
City Hall • 34272 Yucaipa Blvd • Yucaipa, CA 92399  
Office: 909-797-2489 Ext. 261  
[www.yucaipa.org](http://www.yucaipa.org)



**Sent:** Tuesday, January 17, 2023 12:42 PM  
**To:** Benjamin Matlock <[bmatlock@yucaipa.org](mailto:bmatlock@yucaipa.org)>  
**Subject:** Planning commissioners

How do I know who the planning commissioners are and how can I communicate with them via the city website as I have done in the past?



CITY OF YUCAIPA PLANNING DIVISION

PROJECT NOTICE

RECEIVED

DATE: January 04, 2023

JAN 18 2023

CASE NUMBER: PL202200001-0

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TFM 20375- A Planned Development that includes a Preliminary Development Plan and Tentative Tract Map (TFM 20375) Final Development Plan for the proposed Semano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-116

CITY OF YUCAIPA

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits.

APN: 0320-161-08 and 09; 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages)

Attached

SIGNATURE Silvia Garcia Flores DATE 1-18-23 AGENCY \_\_\_\_\_

PRINT NAME Silvia Garcia Flores ADDRESS \_\_\_\_\_

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- cc Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucaipa Valley Water District
- Engineering Division

City of Yucaipa Planning Division  
34272 Yucaipa Blvd.  
Yucaipa CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: case No. 22-150 PDP/FDP/TTM20375

To whom it may concern:

This letter is to request that the city of Yucaipa deny the planned Serrano Estates Project Case No. 22-150 as currently drafted. The current development violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre). While owners have the right to develop their property, it must be within the intent of the current zoning requirements which is one home on one acre (43,560 square feet). This project proposal is completely inconsistent with the rural culture of the north bench to place homes on anything less than one acre and violates existing zoning requirements. The city is entrusted by its citizens to preserve these zoning requirements and to be the gatekeeper and *disapprove developments that adversely effect the current neighborhood.*

The proposal violates the zoning requirements in a number of areas. The use of developer's attempt to use legislation SB9 as justification does not apply to this project since the area is not designated by u.s. census as an urbanized areas. The area of the proposal is designated as rural and is outside of the urban area designated by the u.s. census.

The proposal does not comply with RL-1 and exceeds the existing dwelling ratio of one dwelling per one gross acre with a proposed 4 dwellings per gross acre. The proposal is also inconsistent with Yucaipa city ordinance 84.0320 which indicates that development property must allow use on each lot for farm animal husbandry, orchards, etc. City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc that need to be observed.

The development as planned calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1) for residential lots in a high seismic hazard area. The proposed development is in close proximity to the San Andreas Fault Zone in the area of Yucaipa Ridge Road.

The existing properties in the area use the natural slopes with split level and walk out basements. A majority of existing properties are single story. There are no one acre lots in the area with engineered slopes this steep and high. We request that the natural slopes be preserved and limited to a 3:1 and not more than 10 feet in height.

This area of the North Bench is a high-risk wildfire area and was most recently affected by the El Dorado wildfire. Closely spaced homes increase the risk to the public. Senior citizens are especially susceptible to the hazards of wildfires, yet the development provides for small senior citizen housing.

The single largest demographics of the North Bench area are senior citizens living on one acre or larger lots.

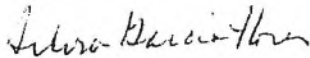
We ask that the city review the assumptions and calculations behind design of flood and stormwater control basins and conveyance structures. As a result of the El Dorado Fire, stormwater flows have increased dramatically. The assumptions and parameters used in calculating stormwater runoff and control structures should be based on fire-denuded slopes, unvegetated lots with corrals and lightly vegetated vineyards.

In addition, we ask the the development implement the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area
- Demonstrate that the additional water requirements will not lead to additional restrictions on existing residents, their orchards and livestock.
- Demonstrate that traffic will not adversely impact neighborhood safety including emergency evacuations, cycling, pedestrian and equestrian traffic. The analysis should include the additional traffic from the commercial winters on Yucaipa Ridge Road.

In summary, the development must be consistent and in compliance with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal husbandry, and development consistent with the culture of the area (one story homes honoring the natural slopes) with careful attention to public safety, particularly as it relates to wildfires and stormwater.

Sincerely,



CASE NUMBER: PL20220000150

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Project Planning Notice

City of Yucaipa Planning Division

Benjamin Matlock

34272 Yucaipa Blvd.  
Yucaipa, CA 92399

RECEIVED

JAN 18 2023

CITY  
OF  
YUCAIPA

Benjamin,

My name is Samuel Sherwood and I live a received the letter regarding case number PL20220000150 regarding the serrano estates project. This project does not comply with the North Bench RL1 zoning. Additionally – this project does not comply with Senate Bill 9 which states "building or modifications to a property need to be in keeping with the look of the neighborhood". We are located in a high risk fire zone and this project would congest the evacuation routes. This project needs to be rejected to meet the 1 house per acre North Bench RL1 **zoning requirement**. We want the City of Yucaipa to grow and prosper but this is not the legal way to do it. Developers need to stop cutting corners and follow the zoning requirements of Yucaipa.

Sincerely,



Samuel Sherwood

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

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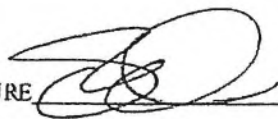
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COMMENTS (If you need additional space, please attach additional pages):

SEE ATTACHED LETTER

→ This Project Does Not Comply with RL1 zoning.

SIGNATURE



DATE 1-17-23 AGENCY

PRINT NAME Sam Sherwood ADDRESS

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Fire Department  
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CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

*I am requesting that you deny this project.  
Please see attached letter.*

SIGNATURE Sherry L.H. Todd DATE 1/11/2023 AGENCY homeowner

PRINT NAME Sherry L.H. Todd ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IF ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE TO THE CITY PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division  
Yucaipa Valley Water District  
Engineering Division

January 11, 2023

City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

Serrano Estates Project  
Case No. PL20220000150  
Applicant: Yucaipa 52, LLC  
Proposal: Case No. 22-150 PDP/FDP/TTM 20375

To Whom it May Concern:

This letter is to request that the City of Yucaipa deny the planned Serrano Estates Project Case No 22-150 as currently drafted. While the current development plan is much better than the previous plan, it still violates development requirements for RL-1 zoning with lots as small as 12,090 square feet (quarter acre). While the owner has a right to develop the property, the property must be developed in accordance with the intent of the current zoning requirements which is **one home on one acre (43,560 square feet)**. It is entirely inconsistent with the rural culture of the north bench to place homes on anything less than one acre. The City has a responsibility to the existing residents to preserve the culture and atmosphere of the neighborhood and to disapprove developments that adversely affect the current neighborhood. The homes should be **single story, custom built homes** consistent with the majority of the homes in the neighborhood and should not be tract homes. Photographs showing existing homes along Ivy Avenue and Yucaipa Ridge Road are attached. Please note how the existing homes and lots use the natural slopes, and open lot concept (absence of walls).

#### Senate Bill 9 and Similar Legislation

SB 9 and similar bills referenced in previous comments by developer/owner representatives in city council do not apply to this development. First, SB 9 only applies urbanized areas as designated by the US Census. California discourages urban sprawl into existing rural areas. This property is located outside the urban area designated by the US Census. Second, SB-9 requires owner/occupancy on lots proposed for splitting and does not apply to multi-lot developments. Third, SB 9 excludes areas of high fire hazard severity. This area is prone to and experienced wildfires, most recently, the El Dorado Fire.

#### RL-1 Zoning

The proposed Serrano Estates property is zoned **RL-1 meaning Rural Living, one acre minimum**. The developer argues that, averaged over the entire 52 acres, the proposed 51 lots meets the requirement of **one dwelling per one gross acre**. Further, Developer representatives falsely claimed to city council that the development met the definition of rural living as the only definition for rural living is found in the dictionary.

Yucaipa City Ordinance 84.0320 defines rural living and clarifies the designation of the RL district. Attached is the full citation of the ordinance. While the definition does include a minimum lot size of one gross acre, it specifically notes a **maximum housing density of one dwelling unit per acre**. The one-acre gross minimum lot size definition was not intended to be averaged over a large development but allowed for consideration of lot lines extending into right-of-way or easements. Consistent with the maximum dwelling unit requirement in the ordinance there should not be more than 24 homes in this development based on the sum of the 51 lot areas.

The RL zoning designation allows farm animal husbandry, orchards, etc. Consistent with the Yucaipa City Ordinance 84.0320, the development must allow for these property uses on each lot.

City Ordinance 84.0320 also specifies home setbacks, lot dimensions, etc. that need to be observed in the development.

#### Slopes

The development as planned calls for flat lots with unconventionally steep slopes of 2 horizontal to 1 vertical (2:1) for residential lots in a high seismic hazard area. Slopes exceed 20 feet in height and occupy nearly a third of smaller lots and are nearly 50 feet high at the northeast corner lot. These are excessively steep and inconsistent with the area (see attached photographs). Properties in the area use the natural slopes with split level homes and walk out basements. There are no one acre lots in the area with engineered slopes this steep and high. We ask that the development make better use of the land to preserve natural slopes and limit slopes to 3:1 and not more than 10 feet in height.

#### High Risk Wildfire Area

This area of the North Bench is a high-risk wildfire area and was most recently affected by the El Dorado wildfire. Closely spaced homes increase the risk to the public. Senior citizens are especially susceptible to the hazards of wildfires, yet the development provides for small, senior citizen housing. Based on wildfire hazard alone, the lot sizes should not exceed the maximum housing density of one dwelling unit per acre and should not be designated by the city for senior housing.

#### Senior Housing

With regard to the argument for smaller lots for senior housing, we note the single largest demographic in this area of the North Bench are seniors—living on one acre or larger lots. Smaller lots for seniors unnecessary in this area.

#### Flood and Stormwater Control

We ask that the city review the assumptions and calculations behind the design of flood and stormwater control basins and conveyance structures. As a result of the El Dorado Fire, stormwater flows have increased dramatically. The assumptions and parameters used in calculating stormwater runoff and control features should be based on fire-denuded slopes, unvegetated lots with corrals, and lightly vegetated vineyards. This is the new reality of the area.

#### Other Development Considerations

In addition to the elements discussed above and consistent with the rural culture of the area, we ask that the development implement the following:

- Dark sky street and home lighting (street and house lights with shades pointing downward)
- Energy independence (the area is prone to rolling blackouts)
- Use of trees and ranch style fencing in place of block walls which are uncharacteristic of the culture and existing developments in the area (see attached photographs)
- Demonstrate that the additional water requirements will not lead to additional restrictions on existing residents, their orchards, and livestock.
- Demonstrate that traffic will not adversely impact neighborhood safety including cycling, pedestrian, and equestrian traffic. The analysis should include the additional traffic from the commercial winery on Yucaipa Ridge Road.



In summary, the development must be consistent with city ordinance for RL-1 zoning requirements which specifically establishes a one-acre maximum housing density, allowance for large animal husbandry, and development consistent with the culture of the area (one story homes with lots honoring the natural slopes), with careful attention to public safety, particularly as relates to wildfires and stormwater.

Sincerely,

*Sherry L.H. Todd*  
Sherry L.H. Todd

## 84.0320 Rural Living (RL) District.

The Rural Living (RL) District shall be located as specified by the Yucaipa General Plan.

### (a) Permitted Land Uses

- (1) Row, Field, Tree, and Nursery Crop Cultivation

Any structure associated with this activity is limited to 10,000 square feet on parcels of five acres or less.

- (2) Single dwelling unit.

- (3) Small residential care facility.

- (4) Animal Raising

(A) Animal raising as a primary use of the property must be on a parcel no less than two acres in size. Lot area used to qualify one animal type, either Primary or Accessory Animal Raising, shall not be reused to qualify another animal type. Proper manure management will be carried out in accordance with Title 3 of the San Bernardino County Code as adopted by the city of Yucaipa.

<u>Animal Type</u>	<u>Animal Density Per Square Foot</u>
Cattle/Buffalo	1 per 10,000
Horses	1 per 10,000
Hogs (9 maximum)	1 per 20,000
Sheep, Female Goats, and Similar Livestock	1 per 4,000
Male Adult Goats (4 maximum)	for parcels of less than 10 acres, 1
Male Adult Goats (4 maximum)	for parcels 10 acres+, 1 per 5 acres
Rabbits and Chinchillas (200 maximum)	50 per 10,000 (min. parcel size 1 acre)
Female Poultry	for parcels of less than 1 acre, 25
Female Poultry	for parcels of 1 to less than 10 acres, 99
Female Poultry	for parcels of 10 acres +, 99 per 10 acres
Male Poultry (9 maximum)	for parcels of less than 10 acres, 2 per parcel
Male Poultry (9 maximum)	for parcels of 10 acres +, 2 per 5 acres

### (B) Small Animal Ranches/Farms

Aviaries, apiaries, or similar small animal ranches or farms shall be permitted on parcels that are at least one-half acre in size. Fish raising shall be limited to one pond per acre, with a maximum of four ponds per parcel. Each pond shall not exceed one-half surface acre in area.

- (5) Accessory uses as specified by Chapter 5 of this division.

- (6) Small family day care home.

### (b) Land Uses Subject to Conditional Use Permit

- (1) Commercial kennels and catteries—two-acre minimum parcel size.

- (2) Commercial chicken ranches restricted to a minimum of 10 acres.

- (3) Agricultural support services.

- (4) Mobilehome park (not to exceed four spaces per acre on minimum parcel size of 20 acres).

(5) Any structure associated with row, field, tree, and nursery crop cultivation that is greater than 10,000 square feet on parcels of five acres or less.

(6) Planned development.

(7) Boarding house (for up to six residents).

(8) Bed and breakfast lodge (for up to six guests).

(9) Parolee homes.

(10) Botanical gardens and arboretums.

(11) Historic and monument sites.

(12) Unmanned public utilities and services uses/structures.

(13) Unmanned radio and television stations/towers.

(14) Wildlife and nature preserves.

(c) Property Development Standards

The following property development standards shall apply to all land uses within the RL District.

Maximum Structure Height	35 feet
Minimum Lot Size (map suffix will modify)	1.0 gross acre
Maximum Lot Coverage	40%
Maximum Building Coverage	40%
Maximum Lot Dimensions (width/depth ratio)<	10 acres = 1:3
Maximum Lot Dimensions (width/depth ratio)>	10 acres = 1:4
Minimum Lot Dimensions (width/depth in feet)	125/125
Front Yard Setback	30 feet
Side Yard Setbacks	15 feet
Rear Yard Setbacks	25 feet
Street Side Yard Setbacks (local streets)	20 feet
Street Side Yard Setbacks (collector streets)	30 feet
Maximum Housing Density	1 du/acre
Minimum District Size	10 gross acres

## Benjamin Matlock

---

**From:** Monday, January 16, 2023 11:05 AM  
**Sent:** Benjamin Matlock  
**To:**  
**Subject:** Yucaipa Ridge Road project PL20220000150

Dear Ben Matlock and Planning Commission,  
For the Yucaipa Ridge Road Project we oppose the current, redone plans for the project PL20220000150 (to be presented 1/18/2023) and any other projects on the North bench's zone designated rural living. We want it kept rural living, one acre minimum lots. We have been here since 2004 and moved here because of the rural designation. Any other zone of less than one acre lots would ruin this area's character and uniqueness.

This area is zoned for one acre lots, rural living on the North Bench. With or without vineyards, each lot should be one acre, not a small lot for every acre of land that is developed. That does not make it rural anymore.

If they want to place vineyards on the outside of the housing area, that would be fine, but do not change the lot size. When the vineyards were first proposed, the lot sizes started to shrink and shrink and shrink. Since the developers cannot help themselves and want to change our area with ever changing exceptions, we need to keep the lots one acre, NO EXCEPTIONS. If the vineyards are supposed to work so well, the developers will not need to develop small lots to make more money and ruin our area on the North Bench. The open areas of the North Bench add so much uniqueness to Yucaipa, please do not ruin it.

Sincerely,  
Stephen West

### CITY OF YUCAIPA PLANNING DIVISION PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: 1/17/23

CASE NUMBER: 22-001

APPLICANT: Yucipa SDC

PROPOSAL: Yucipa SDC, 25495 Avenida del Mar, Suite 100, Yucipa, CA 95259, is proposing a project consisting of the construction and operation of a mobile home park located on the property described in the project notice. The project consists of the construction and operation of a mobile home park consisting of 10 mobile homes, each with a maximum lot area of 10,000 square feet, and a maximum height of 10 feet. The project also includes the construction and operation of a community center, a playground, and a dog park. The project is located on a parcel of land zoned R-10. The project is subject to the following conditions of approval: 1. The project shall be constructed in accordance with the applicable building codes and standards. 2. The project shall be operated in accordance with the applicable health and safety codes and standards. 3. The project shall be maintained in accordance with the applicable landscape maintenance codes and standards. 4. The project shall be subject to the applicable fire safety codes and standards. 5. The project shall be subject to the applicable noise abatement codes and standards. 6. The project shall be subject to the applicable traffic and circulation codes and standards. 7. The project shall be subject to the applicable public works codes and standards. 8. The project shall be subject to the applicable utility codes and standards. 9. The project shall be subject to the applicable environmental codes and standards. 10. The project shall be subject to the applicable historical resources codes and standards. 11. The project shall be subject to the applicable cultural resources codes and standards. 12. The project shall be subject to the applicable geology codes and standards. 13. The project shall be subject to the applicable seismicity codes and standards. 14. The project shall be subject to the applicable special studies codes and standards. 15. The project shall be subject to the applicable other codes and standards.

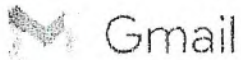
EDUCATION: The applicant shall provide a copy of the project notice to the appropriate educational agencies for their review and comment. The applicant shall also provide a copy of the project notice to the appropriate educational agencies for their review and comment.

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The applicant shall provide a copy of the project notice to the appropriate property owners and reviewing agencies for their review and comment. The applicant shall also provide a copy of the project notice to the appropriate property owners and reviewing agencies for their review and comment.

Other agencies contacted: The applicant shall provide a copy of the project notice to the appropriate other agencies for their review and comment. The applicant shall also provide a copy of the project notice to the appropriate other agencies for their review and comment.

COMMENTS: The applicant shall provide a copy of the project notice to the appropriate other agencies for their review and comment. The applicant shall also provide a copy of the project notice to the appropriate other agencies for their review and comment.

SIGNATURE: *Please see letter*  
DATE: *1-17-23*  
PREPARED BY: *Stephen S West*  
CITY OF YUCAIPA PLANNING DIVISION  
25495 Avenida del Mar, Suite 100, Yucipa, CA 95259  
Tel: 530-833-1234  
Fax: 530-833-1234  
www.yucipa.gov



## Yucaipa Ridge Road project PL20220000150

1 message

Stephen West

To: bmatlock@yucaipa.org

Mon, Jan 16, 2023 at 11:05 AM

Dear Ben Matlock and Planning Commission,

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Stephen West

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PD/PD/TM 20375 A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375) Final Development Plan for the proposed Senano Estates Project, which will establish 51 Single Family Residential lots, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualify the seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits  
APNs: 0320161-08 and 09, 03201-81-28

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COMMENTS (If you need additional space, please attach additional pages)

We live very close to Ivy Avenue. We do NOT want any lot smaller than one acre in the North Bench. We built up here because we want a rural environment.

SIGNATURE Sherril Whitlock DATE 1/16/23 AGENCY \_\_\_\_\_

PRINT NAME Sherril Whitlock ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING TO THE DIVISION AT, OR BEFORE, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITING IN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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- cc Surrounding Property Owners
- Fire Department
- Building & Safety Division
- Yucaipa Valley Water District
- Engineering Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

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COMMENTS (If you need additional space, please attach additional pages):

*The general plan has this property designated as 1 acre parcel per house. What part of that does the developer not under stand? I oppose this plan.*

SIGNATURE Teri Boon DATE 1/13/2023 AGENCY \_\_\_\_\_

PRINT NAME Teri Boon ADDRESS \_\_\_\_\_

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division  
Yucaipa Valley Water District  
Engineering Division



CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

JAN 16 2023

DATE: January 04, 2023

CITY  
OF  
YUCAIPA

CASE NUMBER: PL20220000150

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COMMENTS (If you need additional space, please attach additional pages):

*I do not approve this and this will take away from the hometown feel. NO high density housing! more traffic to the community = higher crime rate! NO NO NO!*

SIGNATURE *Trisha Costello* DATE 01/13/23 AGENCY Homeowner

PRINT NAME Trisha Costello ADDRESS \_\_\_\_\_

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Fire Department  
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Engineering Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED

JAN 18 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

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COMMENTS (If you need additional space, please attach additional pages):

*This plan is nonsense. If people want to live in a big city, then move out and don't come to Yucaipa. Yucaipa is a community that is small and already developed enough. More than density housing will cause more crime and burglaries. I do not approve this and disapprove all parties making this happen.*

SIGNATURE



DATE 1/12/23

AGENCY Homeowner

PRINT NAME Vincent Costello ADDRESS

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150  
APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375) Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits APN: 0320-161-08 and 09; 03201-81-28

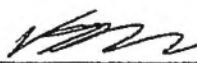
ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

WE DO NOT WANT LESS THAN ONE ACRE  
LOTS DEVELOPED ON THE NORTH BENCH  
OF YUCAIPA

SIGNATURE



DATE

1/17/23

AGENCY

PRINT NAME VICTOR JASSO ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/EDP/TTM 20375 A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling .52 acres on the east side of Yucaipa Ridge Road south of the City limits APN: 0320-161-08 and 09; 03201-81-28

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

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COMMENTS (If you need additional space, please attach additional pages.)

We moved to our home to enjoy what's left of the rural area of Yucaipa. We do not want anything built over 1 acre properties. We are not pleased with the idea of the impact larger acres will effect us.

SIGNATURE [Signature] DATE 1/17/23 AGENCY \_\_\_\_\_

PRINT NAME Vanessa Jernain ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN WRITING FOR ISSUES YOU OR SOMEONE ELSE RAISED IN WRITING TO THE DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL. YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITING CORRESPONDENCE DELIVERED TO THE HEARING BODY AT OR PRIOR TO THE HEARING.

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cc Surrounding Property Owners Yucaipa Valley Water District  
Fire Department Engineering Division  
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CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE

RECEIVED JAN 17 2023

DATE: January 04, 2023

CASE NUMBER: PL20220000150

APPLICANT: Yucaipa 52, LLC

PROPOSAL: Case No. 22-150 PDP/FDP/TTM 20375: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lot, with 35 residential lots on parcels 20,000 square feet or greater, and 16 age-restricted lots to qualifying seniors on lots greater than 12,000 square feet, an additional numbered lot (52) for vineyards along Yucaipa Ridge Road, a remainder lot for vineyards and natural open space, and three lettered lots for open space and detention basins - Please note that this is a modified proposal from Case No. 20-136

LOCATION: Three parcels totaling 52 acres on the east side of Yucaipa Ridge Road, south of the City limits

~~APN: 0320-161-08 and -09; 0320-181-28~~

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than January 18, 2023. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

SIGNATURE *Wendy Derosier* DATE 1/11/23 AGENCY \_\_\_\_\_

PRINT NAME Wendy Derosier ADDRESS \_\_\_\_\_

YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL ... ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING. THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

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cc: Surrounding Property Owners  
Fire Department  
Building & Safety Division

Yucaipa Valley Water District  
Engineering Division

January 11, 2023

RE: Comment on Case No. PL20220000150; Yucaipa 52, LLC

Existing, long-term residents living in close proximity to the proposed tract development 20375, have recently received notice of a revised development plan that STILL does not adhere to the established zoning minimum of one acre lots or larger. As with the previous plan submitted, established zoning for the Yucaipa Ridge area is being usurped in favor of profits to developers siting "special provisions."

As a rural community, we believe the elected officials of our City should protect the unique, small town atmosphere that has drawn residents to this area. The current neighborhood adjacent to the proposed tract 20375 is a minimum lot size of one acre, many with lots up to 5 acres, with custom and semi-custom homes establishing a unique and peaceful environment for residents looking to reside away from the dense, urban sprawl and crowds. Despite the concession by the developer to increase to mostly 20,000+ square foot lots, the proposal still creates a density not conducive to the rural atmosphere within this established community. The proposed density will adversely impact the rural atmosphere, space and openness that was once considered an important trait of this area.

The proposal still includes acreage to be designated for use by a vinery for vineyards. It is still a concern that both the increased housing density and designated property use for business purposes will add significant traffic to rural roads not designed to support heavier traffic patterns, especially in cases of emergency such as fire evacuation which is a serious concern in this neighborhood.

The developer still has not sufficiently established that the "special provisions" are applicable in this situation. Stating a generic State Mandate without providing a population study for this specific area does not provide sufficient proof of need for "special provisions." The minor adaptation of lot size still indicates that the developer, as suggested in the original development plan, is seeking a variance in lot size motivated by profit and not special circumstances.

Please stop entertaining the token revisions to this proposed development. This project should only be approved to be developed as minimum one acre lots as the original area development plan was laid out by those elected officials who cherished the rural character of our City and in their wisdom made a provision to retain that character for future generations.

The existing residents, many who have been living in this area for 20+ years do not want this proposed, radical change to our area and way of life. If this project is approved, it will set a precedent for future developments to seek "special provisions" and destroy the rural character of our City. It is the duty of the City of Yucaipa planning agency to protect the interests of the long-term residents and retain the vision of our City already established by those who have come before them.

  
Wendy and Allen Derosier

## Benjamin Matlock

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**From:** [REDACTED]  
**Sent:** Saturday, March 11, 2023 7:42 PM  
**To:** Benjamin Matlock  
**Subject:** TTM 20375, APN's 0320-161-08,09 and 0320-181-28

Ben;

Please accept this letter as my statement of opposition to the approval of the submitted Tentative Tract Map No. 20375. I submit the following information in support of my position.

1. This project, as currently presented, would require the approval as a Planned Development as it is not in conformance with the current General Plan, Zoning Ordinance and applicable design standards.
2. The subject land was previously approved as TTM 14297 containing 33 one acre lots on 52 acres gross. This project was compliant with our adopted General Plan, Zoning Ordinance and considered area non-buildable due to steep hillsides as identified by slope analysis (Hillside Overlay, seismic setbacks and areas within natural flood hazards).
3. The current project as presented is requesting the approval of 52 lots, 51 residential, 1 agricultural, under the premise that the land by area is entitled to contain one lot per acre, gross. This is an incorrect position. All land has development opportunities and constraints that should be considered within a due diligence period by the developer prior to purchase. Failure to correctly evaluate a property should not become a burden on the community and constitute a reason to deviate from established design standards.
4. This project proposes a density transfer to allow 51 homes to be constructed in a smaller area footprint, yielding an average area per lot of less than 1/2 acre. This design concept is known as cluster development. In the 1980's this type of density transfer was used in the design of golf course communities. Now that golf courses are being closed due to lack of water and revenue to support, the fairways are being developed into lots that are of the same size as the small surrounding existing development. The planners of the 80's would not have approved these open, green projects if they had foreseen the demise and reuse.

Vineyards are not forever. Look no farther than Rancho Cucamonga. When they fail, they will be replaced with new uses.

5. This is a gateway project. The development community is watching the progress of this application. I have personal knowledge of other adjacent landowners that are wanting to circumvent existing zoning guidelines and employ the clustering of lots, allowing a higher density. I fear that overriding our well established development guidelines for the targeted gain of out of the area developers will cause unrest within our great City.

In closing, I urge that our current development guidelines be upheld for all properties on the North Bench. They are valid and support orderly development.

Thank you for your review and consideration.

Alan C. Hillwig  
Hillwig-Goodrow, Inc.  
Land Surveying-Civil Engineering

Sent from my iPad

Sent: Wednesday, March 15, 2023 2:03 PM  
To: Benjamin Matlock <bmatlock@yucaipa.org>  
Subject: Serrano project

To whom it may concern,

I would just like to voice my concerns about this project.

- 1- It isn't okay to change from rural 1 acre lots to less than that
- 2-The traffic it would cause for me and all of the neighbors here in the north bench
- 3-The fact that we can't even get homeowners insurance as it is
- 4- Water and water pressure for homes and vineyards

Also it is in a high burn zone and earthquake zone so in the event of emergency with only a couple roads to escape.

Thank you  
Holly Soffel

Sent from my iPhone



**Sent:** Tuesday, March 14, 2023 4:33 PM

**To:** Public Comment <PublicComment@yucaipa.org>; Justin Beaver <jbeaver@yucaipa.org>; Matt Garner <mgarner@yucaipa.org>; Jon Thorp <jthorp@yucaipa.org>; Chris Venable <cvenable@yucaipa.org>; Bobby Duncan <bduncan@Yucaipa.org>; Benjamin Matlock <bmatlock@yucaipa.org>

**Subject:** Proposal for Serrano Estates Project

Hello, City of Yucaipa Representatives,

I would like to request, if it would be possible, that a slide of the City organizational chart be available for the Planning Commission meeting tomorrow, as I would like to refer to it. Thank you so much.

In accepting the positions as representatives or employees of the City, you put aside your own desires and agreed to represent the residents of Yucaipa. The General Plan is in place as one of the things the residents entrusted you with to uphold. Whenever any developer presents plans for a project which doesn't abide by the General Plan, there should not be any consideration of their proposal contrary to what we as the residents know as the guidelines for developments. We trust you to stand for us and uphold that Plan, whether we are available to speak at a Planning or Council meeting or not.

The plan presented by Premium Land Development ignores the General Plan and so you must reject it as well because we the citizens of Yucaipa have stated, through the acceptance of the General Plan and repeatedly since this has been proposed, that we oppose anything that does not follow the General Plan. The General Plan is put into place for a reason that has already been decided. It clearly states this area is zoned for 1 house per 1 acre. It does not make provisions an average of homes. The Plan is very clear. Therefore, it

is the decision of the residents that needs to be abided by and directs your vote as representatives, not your own desires or opinions directing you to vote contrary to what the residents want. As long as the General Plan is in place, that is to be understood as the clear indication of what the desire of the citizens of Yucaipa is.

The discussion of the development proposal should end simply based on the above, however, additionally, at the recent meeting you, Justin Beaver, held with the residents of North Bench, it was brought up that Premium Land Development had outstanding violations/fines owed to the City of Yucaipa. You stated you were not aware of that, that you were concerned it was not brought to your attention by City personnel, that this was problematic (as you had just stated that EVERYONE must abide by the law no matter...), and that you would look into this and follow up on it. No one else is given a green light with these violations overshadowing them. Premium Land Development must not be allowed to continue with this or any other project with this not settled.

This proposed development does not align with SB 9 in several aspects:

- SB 9 only applies to urbanized areas. The North Bench is zoned agricultural and is a rural area.
- SB-9 requires owner-occupancy on lots proposed for splitting and does not apply to multi-lot developments.
- SB 9 specifically excludes areas of high fire hazard severity. This area has twice in recent years suffered wildfires that required evacuations.

There are many other concerns with this project, again, none of which even need to be named beyond the fact that has been already stated, that it does not abide by the General Plan, but other concerns are significant as well:

- Seniors in a complex built for them this far from town and the amenities they need, let alone the distance this further puts them from medical facilities in case of an emergency should completely strike that part of the plan, not to mention the concerns with evacuating them in case of another wildfire.
- The traffic already is problematic on Bryant, not to speak of the couple exits through the existing residential area that lies between the proposed development and Bryant. How could this even remotely be considered?
- Every one of the homeowners in the North Bench, and specifically those who surround the proposed development, purchased their homes with an understanding of the General Plan and what that allowed for them and others, including empty land around them. It is absolutely not acceptable to allow a developer who has the interest only of profit for himself (as a resident who spoke personally with Craig Heaps revealed he stated when asked why he was pushing for this project this way rather than following the General Plan--his answer was "profit") to proceed with his plans and negatively affect the value of the homeowners in this area. These people (as are all of the citizens of Yucaipa) are at the top of the City organizational chart. They are your who you answer to, whose concerns you need to listen to and then vote accordingly.

I pray that each of you will operate according to the organizational structure and listen to the citizens of Yucaipa and follow the General Plan. Thank you for your service.

Sincerely,

Irmgart Mitchell  
North Bench Resident

**James and Nancy Caldwell**



13th March 2023

**Benjamin Matlock**  
Planning Manager / City Planner  
34272 Yucaipa Blvd  
Yucaipa, CA 92399

Dear Mr. Matlock,

We are in receipt of the Notice for Case Number 22-150 set to appear before the Planning Commission on 15th of March 2023..

We acquired our property in July 2017. We were drawn to the North Bench area of Yucaipa because of the Rural Property and the beautiful view of the Yucaipa Ridge Line. Our hope and desire is that the area would remain as a Rural zone for our lifetimes and those of our children's children.

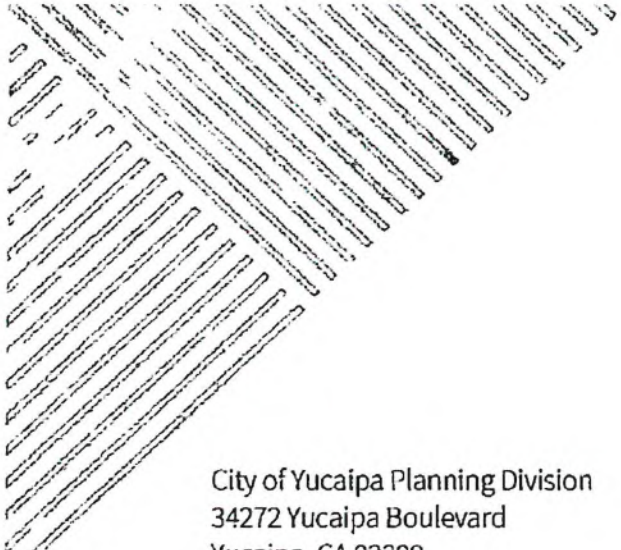
Our understanding of the Project would change the current zoning from 2.5 or 1.0 acres down to 0.5 acre lots or less. In our opinion, this dramatically changes the original intention of the North Bench area as a Rural Living area.

Should the project go forward, we would request that the developer / owner provide horse trails adequate to maintain the current access to the existing trails.

Sincerely,

A handwritten signature in black ink that reads "James Caldwell".

**James and Nancy Caldwell**



**Joni-Lyn Rawson**



City of Yucaipa Planning Division  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

March 8, 2023

Re: Serrano Estates-Yucaipa Ridge Road Project Case No. 22-150/PDP/FDP/TTM 20375

Dear Yucaipa Planning Division,

Please do not approve changes to the City of Yucaipa's General Plan for the project reference above. Homeowners in this area purchased homes knowing it was zoned for one home per one acre. Please keep it that way.

Thank you for your consideration.

Warm Regards,



**Joni Rawson**

## Benjamin Matlock

---

**From:** [REDACTED]  
**Sent:** Friday, March 10, 2023 8:49 AM  
**To:** Benjamin Matlock  
**Subject:** Serrano Estates

My husband and I helped build and develop the North Cork Winery several years ago. Of course, it is in the County area, not the City. Its rural charm and soft impact have been a real win. Now the developer who wants to mirror this rural ambiance, hopes to build adjacent to the above mentioned but with extreme changes to the General Plan, etc. I know you have heard repeatedly that most citizens do not agree with the thought of changing the General Plan so drastically for 50+ houses on 51 acres, under the guise of "vineyards and rural living". I admit I was in favor of this gentleman's idea originally and was told it would be mostly vineyards, green belts, and few dwellings. Now it has mushroomed into a greedy monster and I sincerely hope it is not approved. Small wineries and local vintners can be successfully blended into residential neighborhoods as with the Wildwood Oak Winery, that we all know well. This plan of Serrano Estates is an overblown cluster of homes on too-small lots with a few token vineyards tossed in. Please deny this plan!

Thank you, Lenore Will  
[REDACTED]

## **Benjamin Matlock**

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**From:** [REDACTED]  
**Sent:** Thursday, March 9, 2023 4:56 PM  
**To:** Benjamin Matlock  
**Subject:** Serrano Estates project

My name is Teri Boon, and I live directly across the street from this project at 9794 Yucaipa Ridge Road. I adamantly opposed this project as previously stated and want the planning commission and the developers and the owners to stick with the general plan and 1 acre lots per home.

Sent from my iPhone

## Benjamin Matlock

---

**From:** [REDACTED]  
**Sent:** Thursday, March 9, 2023 7:28 PM  
**To:** Benjamin Matlock  
**Subject:** Comment on Case No. Case No. 22-150/PDP/FDP/TTM 20375

Dear Mr. Matlock,

As a resident with property adjacent to the Yucaipa Ridge development, I am speaking out regarding the project's review at Wednesday's planning meeting.

My husband grew up on on 300+ acre farm in northern Minnesota and I grew up in one of Wyoming's larger cities which is still considered small in the grand scheme of city size. Our first home purchase was in your standard, high density housing track which can be found anywhere throughout the Inland Empire. It was our desire for a more rural setting, similar to that which we both grew up with, in which to purchase our long term home. These properties are few and far between and it took us almost 2 years to find a rural setting with a reasonable plot of land. We have enjoyed the peace and tranquility of our current one acre home with a gorgeous view of the mountains for approximately 20 years. We believe the officials of Yucaipa should protect the unique, small town atmosphere that has drawn residents, like us, to this area.

The current neighborhood adjacent to the proposed tract 20375 is a minimum lot size of one acre, many with lots up to 5 acres, with custom and semi-custom homes establishing a unique and peaceful environment for residents looking to reside away from the dense, urban sprawl and crowds. Despite the concession by the developer to increase to mostly 20,000+ square foot lots, the proposal still creates a density not conducive to the rural atmosphere within this established community. The proposed density will adversely impact the rural atmosphere, space and openness that was once considered an important trait of this area.

Despite modifications, the proposed development still includes acreage to be designated for use by a vinery for vineyards. It is still a concern that both the increased housing density and designated property use for business purposes will add significant traffic to rural roads not designed to support heavier traffic patterns, especially in cases of emergency such as fire evacuation which is a serious concern in this neighborhood. There is also a concern for water usage as some residents already struggle to receive proper water pressure.

The developer still has not sufficiently established that the "special provisions" are applicable in this situation. Stating a generic State Mandate without providing a population study for this specific area does not provide sufficient proof of need for "special provisions." Given the number of high density developments currently planned or underway in Yucaipa, I feel the developer needs to provide more evidence as to why this particular project qualifies under the state's "special provision." The minor adaptation of lot size still indicates that the developer, as suggested in the original development plan, is seeking a variance in lot size motivated by profit and not special circumstances.

The existing residents, many who have been living in this area for 30+ years, do not want this proposed, radical change to our area and way of life. If this project is approved, it will set a precedent for future developments to seek "special provisions" and destroy the rural character of our City. It is the duty of the City of Yucaipa planning agency to protect the interests of the long-term residents and retain the vision of our City already established by those who have come before them.

Please do not allow this project to proceed with the variances from the current zoning regulation of R1. This project should only be approved to be developed as minimum one acre lots as the original area development plan was laid out by City Planning members who cherished the rural character of our City and in their wisdom made provision to retain that character for future generations.

Please help us to preserve a simple and more peaceful way of life here in Yucaipa. Thank you.

Wendy and Allen Derosier

Existing, long-term residents living in close proximity to the proposed tract development 20375, have recently received notice of a revised development plan that **STILL** does not adhere to the established zoning minimum of one acre lots or larger. As with the previous plan submitted, established zoning for the Yucaipa Ridge area is being usurped in favor of profits to developers siting "special provisions."



From: Pierre Assaf

██████████ Azurite Street, Yucaipa Ca. 92399

To: Ben Matlock city planner at bmatlock@yucaipa.org

Re: Case No.22-150/PDP/FDP/TTM 20375

Dear Mr. Matlock

This letter is to request that the City Council of Yucaipa deny the planned Serrano Estates Project Case No 22-150 as re-drafted. I noted that the current development plan has been accepted by the planing commission in its latest iteration.

Even though it is by far, better than the previously submitted plan, it's still unacceptable for the following reasons:

- It is at odd with the General Plan vision of the City of Yucaipa as drafted and accepted by the citizenry in 2016. It is "ipso facto" inconsistent with the rural aspect of the north bench and disregards the Yucaipa City Ordinance 84.0320<sup>1</sup>
- Even though the combined parcels of the planned Serrano Estates amount to 52 acres, the land suitable for building, amounts to about 12 acres due to earthquake fault zoning. So even if the RL-1 Zoning is disregarded or changed to ½ acre lots, the maximum density would amount to 24 units.
- The purpose of the Alquist-Priolo Earthquake Fault Zoning Act<sup>2</sup> is to regulate development near active faults so as to mitigate the hazard of surface fault rupture. The stated intent of the Act is to "...provide policies and criteria to assist cities, counties, and state agencies in the exercise of their responsibility to prohibit the location of developments and structures for human occupancy across the trace of active faults." There is causality between earthquake fatalities and occupant density reported in books and research papers<sup>3</sup>
- Government Code 51175-89 directs the California Department of Forestry and Fire Protection (CAL FIRE) to identify areas of very high fire hazard severity zones within Local Responsibility Areas. The North Bench including the proposed development site, happens to be in that zone according to The Office of the State Fire Marshal (OSFM)<sup>4</sup> A reasonable building density in this "zone" protects life and property. This is in addition to applying measures of fire prevention and assuring access and egress of firefighters. Several Insurance companies, notably State Farm no longer offer Home Insurance in Yucaipa. As a 40 plus years customer of State Farm, I am allowed to keep my Home Insurance as long as I agree to pay an additional \$2,000.00 per year. How is an average family will be able to insure an \$800,000 building in a "very high fire hazard zone" and high house density area?
- There are no exit roads eastward of the project, making the entire Serrano development confined to a virtual Cul-de-sac that can be a death trap in case of fires or earthquakes.
- None of the Assembly Bills cited during the STATE HOUSING LAW TRAINING justify implementing a project that the majority of Yucaipa citizens reject because of the negative impact on their life style and well-being. The impact of such a project is expected to cause increased vehicular traffic, noise and air pollution as well as

1 [https://library.qcode.us/lib/yucaipa\\_ca/pub/municipal\\_code/item/development\\_code-division\\_4-chapter\\_3-84\\_0320](https://library.qcode.us/lib/yucaipa_ca/pub/municipal_code/item/development_code-division_4-chapter_3-84_0320)

2 <https://www.conservation.ca.gov/cgs/documents/publications/special-publications/>

3 <http://cidbimena.desastres.hn/pdf/eng/doc8513/doc8513-6.pdf>

4 <https://osfm.fire.ca.gov/>

accidents resulting from inadequate access roads to and from the area. Citizens of Yucaipa also worry about crowding. Crowding has a potential damaging effect on mental health and increases physiological stress. Scientific literature has demonstrated a linear correlation of increased population due to urbanization of cities, with crime rates<sup>5</sup>.

- No senior citizens in their right mind, would consider living in a crowded, expensive, bedroom community without access to public transportation and without proximity to available health care. As a senior, I would not rely on the ambiguous Fair Housing Act of California to secure me a shelter or the help of the national Housing and Urban Development Department to avoid homelessness.

I encourage and expect economic development of Yucaipa. I lived here with my family for over 40 years when most of my peers lived in Redlands and Loma Linda. I chose Yucaipa because it embodies "Middle America" with its quite, slow pace, friendly neighbors and stunning vistas. We built our home when Yucaipa was still unincorporated. I watched over 4 decades, the city grow with vibrant energy guided by the wise stewardship of the City Council. I beseech the current elected members to carefully weigh the pros and the cons before making decisions that appear appealing to politicians and lucrative to eager money flush developers. Economic Development has many facets. It is a complex step by step evolution rather than a hasty revolution. Slow, adaptive judicious planning will benefit us all as well as the next generation of Yucaipa citizens.

Thank You!

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5 Luis M. A. Bettencourt [lbett@lanl.gov](mailto:lbett@lanl.gov), José Lobo, Dirk Helbing, +1, and Geoffrey B. West Authors Info & Affiliations Edited by Elinor Ostrom, Indiana University, Bloomington, IN, and approved March 6, 2007  
Chang, Yu Sang and Choi, SungSup and Lee, Jinsoo and Jin, Won Chang, Population Size vs. Number of Crime - Is the Relationship Super-Linear? (August 2, 2013). International Journal of Information and Decision Science(2018), Vol. 9, No. 1, pp. 26-39, Available at SSRN: <https://ssrn.com/abstract=2305136> or <http://dx.doi.org/10.2139/ssrn.2305136>

## **MITIGATION MONITORING AND REPORTING PROGRAM**

### **FOR THE SERRANO ESTATES PLANNED DEVELOPMENT CASE NO. 20-136/PDP/FDP/TTM 20375**

This Mitigation Monitoring and Reporting Program (MMRP) has been prepared pursuant to the California Environmental Quality Act (CEQA) and the State CEQA Guidelines to provide for monitoring of the mitigation measures required by adoption of a Mitigated Negative Declaration prepared for a Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lots on parcels greater than 12,000 square feet, several lettered lots for water quality basins, and a 27-acre remainder lot that would include space for vineyards as well as 13 acres of permanent open space, located on three existing parcels totaling 52 acres along the east side of Yucaipa Ridge Road directly south of the City limits to unincorporated San Bernardino County.

Section 21081.6 of the Public Resources Code and Section 15091(d) of the CEQA Guidelines require public agencies to “adopt a reporting or monitoring program for changes to the Project which it has adopted or made a condition of project approval in order to mitigate or avoid significant effects on the environment.” The lead agency must define specific reporting and/or monitoring requirements to be enforced during Project implementation prior to final approval of the proposed Project.

The City of Yucaipa (City) is the lead agency for the proposed Project and is responsible for administering and implementing the MMRP. The MMRP stipulates how all required mitigation measures are to be implemented and completed during the appropriate Project phase. It also facilitates documentation necessary to verify that mitigation measures were in fact properly implemented.

#### **3.7.1 Mitigation Monitoring and Reporting Program Procedures**

This MMRP gives the City the primary responsibility for taking all actions necessary to implement the mitigation measures according to the specifications provided for each measure and for demonstrating that the action has been successfully completed. The City, at its discretion, may delegate responsibility for measure implementation and monitoring, or portions thereof, to other responsible individuals, such as a licensed contractor. Specific responsibilities for the City include:

- Coordination of all mitigation monitoring activities
- Management of the preparation, approval, and filing of monitoring or permit compliance reports
- Maintenance of records concerning the status of all approved mitigation measures
- Quality control assurance of field monitoring personnel

- Coordination with other agencies regarding compliance with mitigation or permit requirements
- Reviewing and recommending acceptance and certification of implementation documentation
- Acting as a contact for interested parties or surrounding property owners who wish to register complaints, observations of unsafe conditions, or environmental violations; verifying any such circumstances; and developing any necessary corrective actions

### 3.7.2 Mitigation Monitoring and Reporting Program Matrix

The MMRP is organized in a matrix format. The first column identifies the mitigation measure. The second column titled “Responsible for Monitoring,” refers to the agency responsible for ensuring that the mitigation measure is implemented. The third column “Monitoring Frequency” and the fourth column “Timing of Verification” refer to when monitoring will occur. The fifth column “Method of Verification” will be used by the lead agency to ensure what implementation of the mitigation will look like. The sixth column “Verified Date/Initials” will document the person who verified that the mitigation measure was satisfactorily implemented and will include the date on which this verification occurred. The last column titled “Sanctions for Non-Compliance” will be used to assist the lead agency in determining consequences for failing to comply with the mitigation measure. The mitigation measures are presented by environmental issue area.

Mitigation Measure	Responsible for Monitoring	Responsible for Implementation	Monitoring Frequency	Timing of Verification	Method of Verification	Verified Date/Initials	Sanctions for Non-Compliance
<b>BIOLOGICAL RESOURCES</b>							
<b>BIO-1:</b> Nesting bird nesting season generally extends from February 1 through September 15 in southern California and specifically, March 15 through August 31 for migratory passerine birds. To avoid impacts to nesting birds (common and special status) during the nesting season, a qualified Avian Biologist will conduct pre-construction Nesting Bird Surveys (NBS) prior to project-related disturbance to nestable vegetation to identify any active nests. If no active nests are found, no further action will be required. If an active nest is found, the biologist will set appropriate no-work buffers around the nest which will be based upon the nesting species, its sensitivity to disturbance, nesting stage, and expected types, intensity, and duration of the disturbance, with a minimum buffer of 300 feet. The nests and buffer zones shall be field-checked weekly by a qualified biological monitor. The approved no-work buffer zone shall be clearly marked in the field, within which no disturbance activity shall commence until the qualified biologist has determined the young birds have successfully fledged and the nest is inactive.	Planning Division	Project Developer / Inspector	Prior and or during construction	During grading and construction	Notification to the City by the Biologist – no-work buffer established if nests are found		Issuance of a Stop Work Order
<b>CULTURAL RESOURCES</b>							
<b>CUL-1:</b> In the event that cultural resources are discovered during Project activities, all work in the immediate vicinity of the find (within a 60-foot buffer) shall cease and a qualified archaeologist meeting Secretary of Interior standards shall be hired to assess the find. Work on the other portions of the Project outside of the buffered area may continue during this assessment period. Additionally, the San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed within TCR-1, regarding any pre-contact and/or historic-era finds and be provided information after the archaeologist makes his/her initial assessment of the nature of the find, so as to provide Tribal input with regards to significance and treatment	Planning Division	Project Developer / Inspector	During construction	During construction	Communication between tribes and developer if resources are found		Issuance of a Stop Work Order

Mitigation Measure	Responsible for Monitoring	Responsible for Implementation	Monitoring Frequency	Timing of Verification	Method of Verification	Verified Date/Initials	Sanctions for Non-Compliance
<b>CUL-2:</b> If significant pre-contact and/or historic-era cultural resources, as defined by CEQA (as amended, 2015), are discovered and avoidance cannot be ensured, the archaeologist shall develop a Monitoring and Treatment Plan, the drafts of which shall be provided to SMBMI for review and comment, as detailed within TCR-1. The archaeologist shall monitor the remainder of the project and implement the Plan accordingly	Planning Division	Project Developer / Inspector	During construction	During construction	Communication between tribes and developer if resources are found - Development of Monitoring and Treatment Plan		Issuance of a Stop Work Order
<b>CUL-3:</b> If human remains or funerary objects are encountered during any activities associated with the Project, work in the immediate vicinity (within a 100-foot buffer of the find) shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code §7050.5 and that code enforced for the duration of the project	Planning Division	Project Developer / Inspector	During construction	During construction	Review by County Coroner		Issuance of a Stop Work Order
<b>GEOLOGY AND SOILS</b>							
<b>GEO-1:</b> Applicants for future development projects in undeveloped and developed areas where grading is proposed five feet below current elevation and in areas of moderate to high sensitivity or unknown paleontological sensitivity to prepare a technical paleontological assessment prepared by a qualified paleontologist in assessing/reporting the sensitivity of a project site for buried paleontological resources to the City of Yucaipa prior to issuance of grading permits. Fossils include large and small vertebrate and invertebrate fossils; the latter recovered by screen washing of bulk samples.  If resources are known or reasonably anticipated, the assessment shall provide a detailed mitigation plan, including a monitoring program and recovery and/or in situ preservation plan, based on the recommendations of a qualified paleontologist. The mitigation plan shall include the following requirements:	Planning Division	Project Developer / Inspector	Prior to permit issuance	During grading and construction	Submittal of paleontological assessment		Withhold permit issuance

Mitigation Measure	Responsible for Monitoring	Responsible for Implementation	Monitoring Frequency	Timing of Verification	Method of Verification	Verified Date/Initials	Sanctions for Non-Compliance
<p>□ A paleontologist shall be retained for the project and shall be on call during grading and other significant ground-disturbing activities.</p> <p>□ Should any potentially significant fossil resources be discovered, no further grading shall occur in the area of the discovery until the City concurs in writing that adequate provisions are in place to protect these resources.</p> <p>□ Unanticipated discoveries shall be evaluated for significance by a San Bernardino Certified Professional Paleontologist. If significance criteria are met, then the project shall be required to collect and catalogue the fossils per San Bernardino County Museum guidelines and adequately curate fossils in an institution with appropriate staff and facilities for their scientific information potential to be preserved. A report of findings with an itemized accession inventory shall be prepared as evidence that monitoring has been successfully completed and shall be submitted and approved prior to the granting of occupancy permits..</p>							
<b>TRIBAL RESOURCES</b>							
<p><b>TRI-1:</b> The San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed in CR-1, of any pre-contact and/or historic-era cultural resources discovered during Project implementation, and be provided information regarding the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with SMBMI, and all subsequent finds shall be subject to this Plan. This Plan shall allow for a monitor to be present that represents SMBMI for the remainder of the Project, should SMBMI elect to place a</p>	Planning Division	Project Developer / Inspector	During construction	During construction	Communication between tribes and developer if resources are found		Issuance of a Stop Work Order

Mitigation Measure	Responsible for Monitoring	Responsible for Implementation	Monitoring Frequency	Timing of Verification	Method of Verification	Verified Date/Initials	Sanctions for Non-Compliance
monitor on-site..							
<b>TRI-2:</b> Any and all archaeological/cultural documents created as a part of the Project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to SMBMI. The Lead Agency and/or applicant shall, in good faith, consult with SMBMI throughout the life of the project.	Planning Division	Project Developer / Inspector	During construction	During construction	Communication between tribes and developer if resources are found - Development of Monitoring and Treatment Plan		Issuance of a Stop Work Order



# SERRANO ESTATES

## ADDITIONAL ANALYSIS

**February 2023**



City of Yucaipa  
Development Services Department  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

## **Introduction**

This Additional Analysis (AA) on the Mitigated Negative Declaration (MND) prepared pursuant to the provisions of the California Environmental Quality Act (CEQA), referred hereafter as the “Additional Analysis,” features additional project information as part of the ongoing environmental review process for the proposed Serrano Estates Planned Development and Subdivision Project (“Project”). A Draft MND for the initial Project (“Initial Project”) consisting of a planned development for 51 single family homes, 16 of which that would be age restricted, was made available for public comment for a 20-day public review period beginning on July 15, 2022, and ending on August 4, 2022. The previous environmental analysis is available for review from the City of Yucaipa (City). This Additional Analysis is prepared in response to project design revisions made following the public hearing process for Case No. 20-138 and included as part of Case No. 22-150, herein referred to as “Current Project,” and provides additional information and analysis that merely clarifies or amplifies, or makes insignificant modifications to the Draft MND after it was circulated for public comment in July, 2022. As such, recirculation is not required pursuant to Section 15073.5 of the CEQA Guidelines; however, this information is being provided for the benefit of public review and disclosure.

## **Project Review History**

### **Planning Commission Hearing:**

The initial Serrano Estates Project was reviewed at the regular Planning Commission Meeting of August 17, 2022. In their discussion, three (3) commissioners identified concerns with the proposed land use plan and the transition that would occur between the existing neighborhood and the proposed Project, while others noted that the overall design and approach does help to meet a variety of goals of the General Plan through the preservation of open space and the establishment of new vineyards. In the discussion, several Planning Commissioners suggested additional elements that could be incorporated into the Preliminary Development Plan standards to help soften the transition between the existing neighborhood and the proposed residences, including a larger landscape buffer between Yucaipa Ridge Road and a proposed block wall. Following a lengthy discussion, a motion was made to recommend approval of the Project that ultimately resulted in 3 votes in favor, 4 against, therefore constituting a recommendation for denial of the Project pursuant to Section 83.030210 of the Yucaipa Development Code.

As a result of the Planning Commission’s recommendation for denial of the Project, the applicant submitted an appeal application on August 23, 2022.

### **City Council Hearing:**

Following the appeal of the Planning Commission’s decision, the City Council reviewed the Initial Project at their regular meeting of September 12, 2022. In their discussion, the City Council heard testimony and reviewed the Planning Commission’s discussion of the Project design. Several design ideas were identified that would improve the transition to the existing neighborhood and generally aligned with the concepts provided by the Planning Commission. The City Council ultimately voted 3-1 to deny the Serrano Estates Project as originally proposed and suggested that the revisions discussed could improve the Project. In addition, the City Council did not adopt the Mitigated Negative Declaration prepared for the Project as a project is exempt from CEQA pursuant to Sections 15061(4) and 15270 of the CEQA Guidelines if the proposal is denied.

## **Description and Analysis of New PD Design**

Following the denial of the Initial Project, the project applicant has revised the project design to incorporate the suggestions from the Planning Commission and City Council and has resubmitted the Planned Development and subdivision application related to the Current Project (Case No. 22-150). Figure 2 provides a side-by-side comparison of the Initial Project and the Current Proposal. The modifications result in a similar development footprint to the prior project, but with several changes made that are discussed in detail below:

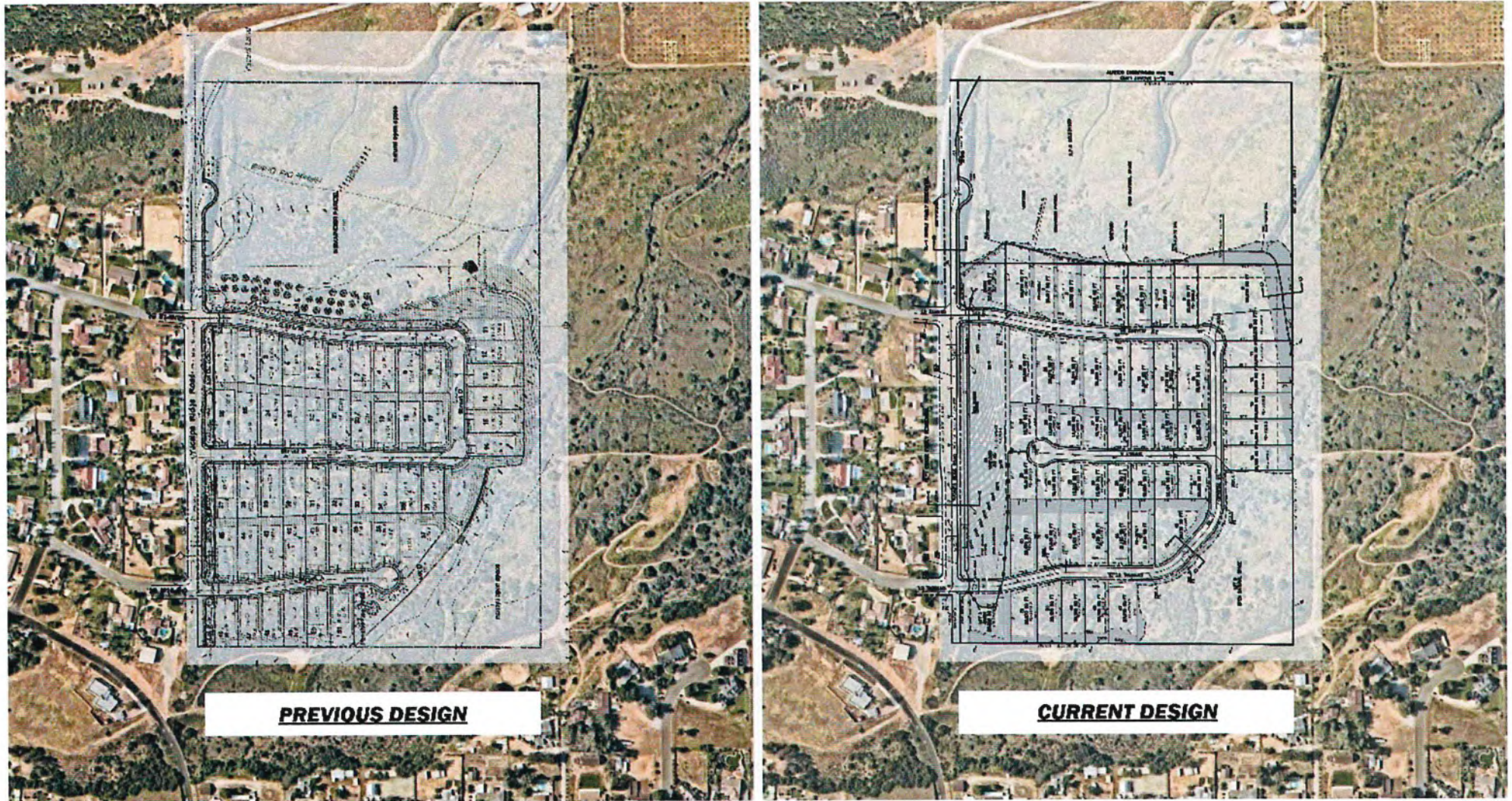
The Current Project retains the residential subdivision for 51 single family lots along the southern portion of the site and maintains vehicular access along the connection for the proposed neighborhood from Crystal Street and Quartz Street. However, the age restriction for 16 lots has been increased to 41 lots that are age restricted to those over 55, representing 80% of the residential lots. In the original design, the residential subdivision included a looped street from Quartz Street that would then connect back to Yucaipa Ridge Road from Street “B,” and a separate street from Crystal Street that would end in a cul-de-sac. The roadway network that is now proposed provides for a loop between Crystal Street and Quartz Street, and a proposed “Street A” cul-de-sac within the interior of the subdivision that will specifically serve the proposed age-restricted lots. Additionally, residential units are now proposed along the north side of the Quartz Street extension, in lieu of the landscape transition that had been previously shown. As part of the project design, the buffer between the proposed residential units and the existing neighborhood along Yucaipa Ridge Road has also been increased, and now provides a 172-foot wide “lot 52” that would include a naturalistic drainage channel and a planted vineyard.

The Preliminary Development Plan and the associated Land Use Plan have been amended to specifically include a wider range of single-family lots and the age-restricted lots with proposed lots greater than 20,000 square feet in size along the periphery of the neighborhood, increased from 12,000 square feet from the original proposal, and lots greater than 12,000 square feet within an interior cul-de-sac street. The configuration of the larger lots for within the periphery of the subdivision is intended to facilitate a better transition from the surrounding neighborhood.

Figure 1 – Land Use Plan



Figure 2 – Comparison of Project Design



November 09, 2022

## Impact Analysis

The following discussion evaluates the potential environmental impacts associated with the Current Project as compared to impacts of the Initial Project.

### **Aesthetics:**

Implementation of the Current Project would result in modified views of the area. As part of the analysis in the MND, impacts to aesthetic resources would be less than significant, and included the use of the proposed natural landscape and agricultural buffers to help support the visual transition of the site from its surrounding context. With the Current Project, the transition between the proposed subdivision and the existing neighborhoods along Yucaipa Ridge Road would be increased by a new 172-foot-wide “Lot 52” that would include graded slope area, planted vineyards, and a landscaped drainage channel. Additionally, the lots located directly off the extension for Quartz Street and Crystal Street have increased from 12,000 square foot lots to over 20,000 square feet, which would further support the transition between neighborhoods. With the Current Project, aesthetic impacts would be consistent with those identified in the discussion of the MND.

### **Agricultural Resources:**

As part of the analysis of the Initial Project, no impacts to agricultural and forest resources would occur, and instead a benefit to agricultural resources would be created through the newly established agricultural area for the proposed vineyards. Implementation of the Current Project would also create land area for vineyards, and as such, impacts would be consistent with those identified in the discussion of the MND.

### **Air Quality:**

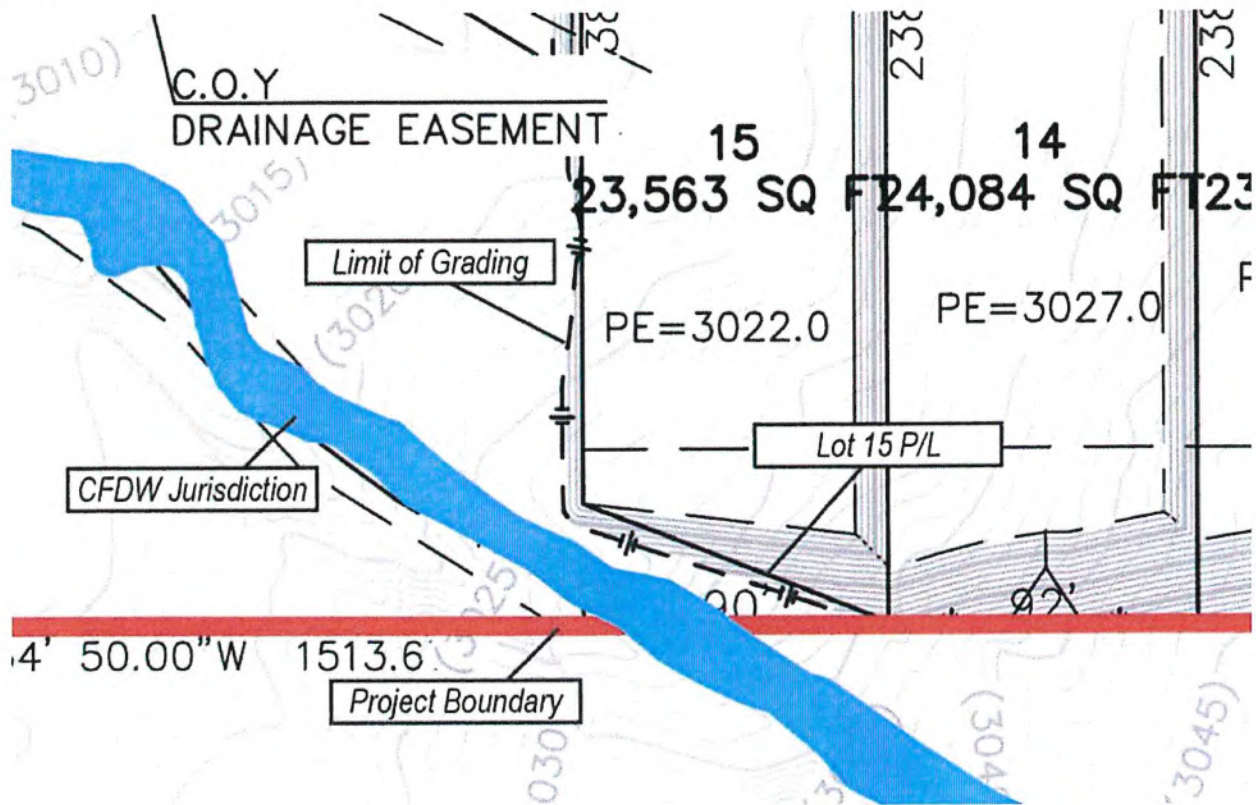
An Air Quality, Global Climate Change, and Energy Impact Analysis was prepared by Ganddini Group, Inc, to quantify the potential impacts that would occur from the development of the Initial Project consisting of 51 single family homes, with 16 units that would be age-restricted for seniors. The analysis found that all impacts would be less than significant, and indicated that the project would also be subject to standard conditions of approval and any applicable South Coast Air Quality Management District requirements. The Current Project would maintain the overall net development, but would increase the total number of age restricted lots to 41. This change would reduce the daily trips generated, reducing the mobile emissions of the project, and as such, the impacts would not increase from those that were identified in the discussion of the MND.

### **Biological Resources:**

A Biological Resources Assessment and Jurisdictional Delineation was prepared by Jennings Environmental to provide an assessment of potential biological resources that would be present on the subject site. A sensitive resource identified for the site includes a jurisdictional feature as defined under the California Department of Fish and Wildlife, with an estimated jurisdictional area encompassing 0.4 acres of the site. The Initial Project had been designed to avoid this feature, and had established the area as part of the proposed Open Space district. This approach has been maintained with the Current Project, and no impacts would occur to the resource. The analysis also noted that trees and shrubs would be removed as part of the mass grading activities for the site, and therefore could have a potential impact on nesting birds if they are present on the Project site at the time of grading and construction. Mitigation Measure **BIO-1**

would continue to apply to the Current Project, and impacts would be consistent with those identified in the discussion of the MND.

Figure 3 – Avoidance of Jurisdictional Features



**Cultural Resources:**

The analysis of the MND noted that there are no known historical resources on the site, and also provided details of various cultural assessments conducted in the past. As part of the review process for the Initial Project, notification was sent to local tribes for consultation pursuant to AB52. Responding tribes noted that they did not have any particular concerns with the development of the site, and recommended mitigation measures that would address the protocols that should be used if any inadvertent discoveries occur. The development area of the Current Project is similar to the area that was assessed in the MND, and the mitigation measures would continue to remain appropriate. Impacts would be consistent with those identified in the discussion of the MND.

**Energy:**

An Air Quality, Global Climate Change, and Energy Impact Analysis was prepared by Ganddini Group, Inc, to quantify the potential impacts that would occur from the development of the Initial Project consisting of 51 single family homes, with 16 units that would be age-restricted for seniors. The analysis found that all impacts would be less than significant. The Current Project would maintain the overall net development, but would increase the total number of age restricted lots to 41. This change would reduce the daily trips generated, reducing the mobile emissions of the project, and as such, the impacts would not increase from those that were identified in the discussion of the MND.

### **Geology and Soils:**

The Current Project would result in the disturbance of the site to accommodate the development of the 51 single family residences, of which 41 shall be age-restricted. To support the analysis of the Initial Project, the MND included a response from the applicant and LOR Geotechnical from a Preliminary Geotechnical Investigation previously completed. The Initial Project was designed to avoid a recommended restricted use zone (R.U.Z.) along the northern portion of the site, which is maintained with the Current Project. The analysis found that with standard Conditions of Approval, compliance with the Building Code, and implementation of Mitigation Measure **GEO-1**, impacts would be less than significant. The Current Project would maintain the overall net development and the associated avoidance of the R.U.Z., and as such, impacts would be consistent with those identified in the discussion of the MND.

### **Greenhouse Gas Emissions:**

An Air Quality, Global Climate Change, and Energy Impact Analysis was prepared by Ganddini Group, Inc, to quantify the potential impacts that would occur from the development of the Initial Project consisting of 51 single family homes, with 16 units that would be age-restricted for seniors. The analysis found that all impacts would be less than significant. The Current Project would maintain the overall net development, but would increase the total number of age restricted lots to 41. This change would reduce the daily trips generated, reducing the mobile emissions of the project, and as such, the impacts would not increase from those that were identified in the discussion of the MND.

### **Hazards and Hazardous Materials:**

Implementation of the Current Project would result in the use of chemicals and solvents typical of a residential subdivision, and would be within quantities that are comparable to the Initial Project. As part of the analysis in the MND, impacts to hazards and hazardous materials would be less than significant and would remain consistent with the Current Project. Additionally, the fire department access for the site would also be maintained, with the only changes occurring with the orientation of the Yucaipa Ridge Road looped connection towards Crystal Street.

### **Hydrology and Water Quality:**

The Current Project would add impervious surfaces to the site in order to accommodate the new roadway and building pads for 51 new homes, which would increase the amount of stormwater discharging off site. However, all hydrological and water quality impacts would be similar to those analyzed for the Initial Project that also contemplated 51 single family homes on roughly the same area of the site, and impacts would be less than significant. The applicant will be required to prepare and implement a Storm Water Pollution Prevention Plan (SWPPP), which would include a list of best management practices (BMPs) that would be implemented to prevent soil erosion and to contain the potential for discharge of construction-related pollutants that could contaminate nearby water resources. As part of the operation of the development, onsite runoff will be conveyed downslope and ultimately be discharged into the several onsite landscaped detention basins that will be designed to accommodate 100-year storm events along the western edge of the site, adjacent to Yucaipa Ridge Road, consistent with an approved Water Quality Management Plan (WQMP).

### **Land Use and Planning:**



The analysis of the MND noted that the Initial Project was designed to implement the City's Planned Development Review procedures, which "is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations. This process is also intended to serve as an alternative site planning process that encourages the more creative and imaginative planning of mixed use, multiphased residential, commercial, or industrial developments within the framework of a single cohesive development plan." The use of the Planned Development process resulted in a design that consolidated the residential unit capacity towards the southerly portion of the site to best manage the topographical elements of the site, and comply with the City's Hillside Overlay District. Following the Planning Commission and City Council review of the Initial Project, the Current Project was developed to better accommodate the transition between the surrounding neighborhoods, while applying a similar approach to Planned Development efforts. As such, these conditions would remain consistent with the Current Project, and impacts would be the same as those in the MND. In addition, the design includes several reduced lot sizes within the interior of the subdivision intended by the developer to provide a wider array of options to the age-restricted units and best meet the overall needs of those future residents.

**Mineral Resources:**

As part of the analysis of the Initial Project, no impacts to mineral resources would occur, as the site is not known to have such resources and would be unviable for mineral extraction. These conditions would remain consistent with the Current Project, and impacts would be the same as those in the MND.

**Noise:**

A document entitled Appendix G Checklist for Noise for TTM 20375 was prepared by Ganddini Group, Inc, to quantify the potential impacts that would occur from the development of the Initial Project consisting of 51 single family homes, with 16 units that would be age-restricted for seniors. The analysis found that all impacts would be less than significant. The Current Project would maintain the overall net development, but with an increase of the total number of age restricted lots that would have the net effect of reducing the total number of vehicle trips generated. As such, impacts would be consistent with (or less than) those identified in the discussion of the MND.

**Population and Housing:**

The analysis of the MND noted that the Initial Project was designed to implement the City's Planned Development Review procedures to support the development of 51 single family residential lots on the subject 52-acre site, which includes 16 that are age-restricted for seniors. The overall development capacity remains consistent with the General Plan, and the Current Project would not induce substantial unplanned population growth, nor would any residents be displaced. The project has ben modified to change the orientation of the residential lots, and now 41 of the lots are proposed to be age-restricted

**Public Services:**

The Current Project would result in the construction of 51 new homes, 41 of which would now be age restricted. The analysis of the Initial Project provided under MND, which had concluded that no significant impacts would occur in regard to public services and facilities, would remain applicable as the number of homes would be same. No mitigation is required.

### **Recreation:**

The Current Project would result in the construction of 51 new homes, 41 of which would now be age restricted. The analysis of the Initial Project provided under MND, which had concluded that no significant impacts would occur in regard to recreational facilities, would remain applicable as the number of homes would be the same. In addition, the proposed multi-purpose trail connections would be maintained with the Project. No mitigation is required.

### **Transportation/Traffic:**

A Transportation Study Screening Assessment was prepared by Ganddini Group, Inc, to quantify the potential impacts that would occur from the development of the Initial Project consisting of 51 single family homes, with 16 units that would be age-restricted for seniors. The analysis found that all impacts would be less than significant. The Current Project would maintain the overall net number of units within the development, but the arrangement and sizes of the lots have changed, and the age-restricted lots have now increased to 41. This change would reduce the total number of trips, and as such, impacts would be comparable with those identified in the discussion of the MND.

### **Tribal Resources:**

The analysis of the MND noted that there are no known tribal resources on the site, and also provided details of various cultural assessments conducted in the past. As part of the review process for the Initial Project, notification was sent to local tribes for consultation pursuant to AB52. Responding tribes noted that they did not have any particular concerns with the development of the site, and recommended mitigation measures that would address the protocols that should be used if any inadvertent discoveries occur. The development area of the Current Project is similar to the area that was assessed in the MND, and the mitigation measures would continue to remain appropriate. Impacts would be consistent with those identified in the discussion of the MND.

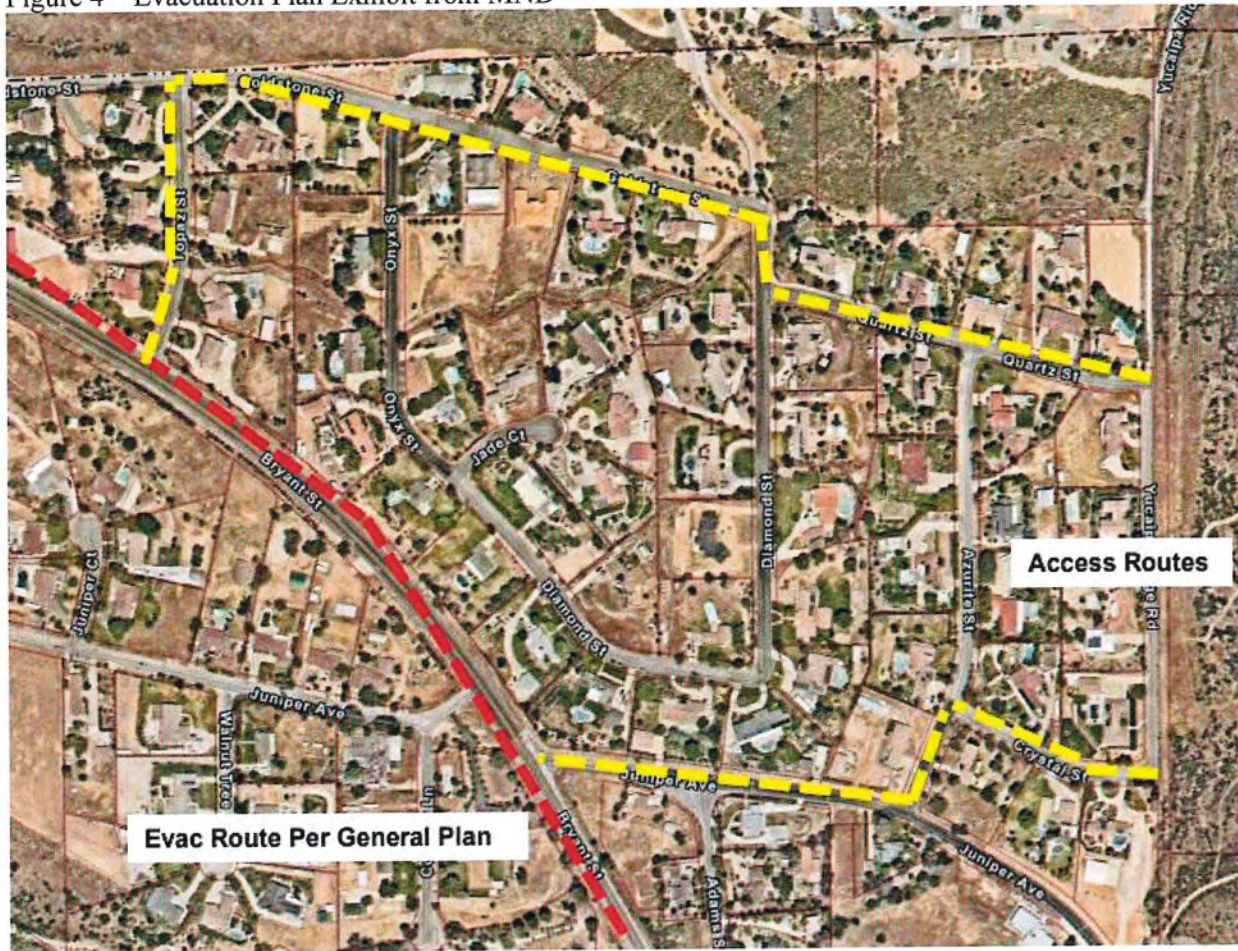
### **Utilities and Service Systems**

The Current Project would result in the construction of 51 new homes, 41 of which would be age restricted. The analysis of the Initial Project provided under MND, which had concluded that no significant impacts would occur regarding utilities, would remain applicable as the number of homes would be same. No mitigation is required.

### **Wildfire**

The MND for the Initial Project assessed the related wildfire hazards, and found that impacts would be less than significant. The analysis noted the fire department access for the site would be provided, and the only changes occurring for the Current Project relate to the orientation of the Yucaipa Ridge Road looped connection at Crystal Street. However, the use of Quartz Street and Crystal Street would continue to serve the site for access needs. As such, the overall roadway network and localized connectivity, water infrastructure requirements for new fire hydrants, and building code requirements for the proposed subdivision would remain consistent with those assessed in the MND. Impacts would be consistent with those identified in the discussion of the MND.

Figure 4 – Evacuation Plan Exhibit from MND



**Mandatory Findings:**

The MND prepared for the Initial Project found that all impacts would be less than significant through the application of uniformly applicable regulations and appropriate mitigation measures. The Current Project retains the residential subdivision along the southern portion of the site, and has been modified to increase the lot sizes of the many of the single family residences, and minor modifications to the site grading concept and road layout to accommodate these modified building pads. In addition, the 12,000 lots originally proposed are now located in a designated area within the interior of the subdivision, which is intended to better support the transition of lot sizes, and also provides more housing options that are intended to better meet the needs of the future residents. Additionally, the buffer provided between the existing subdivision and the Current Project has been increased in response to feedback received through the Initial Project’s entitlement process. As such, impacts would be consistent with those identified in the discussion of the MND, and recirculation of the MND is not required pursuant to 15073.5 of the CEQA Guidelines.

**Attachments:**

- Serrano Estates (TTM 20375) Trip Generation Analysis and VMT Screening
- Memo on CDFW Jurisdictional Area



TJW ENGINEERING, INC.  
TRAFFIC ENGINEERING &  
TRANSPORTATION PLANNING  
CONSULTANTS

February 24, 2023

Mr. Travis Heaps  
*PREMIUM LAND DEVELOPMENT*  
543 W. County Line Road  
Calimesa, CA 92320

**SUBJECT: Serrano Estates (TTM 20375) Trip Generation Analysis and VMT Screening  
City of Yucaipa**

Dear Mr. Heaps,

*TJW Engineering, Inc. (TJW)* is pleased to submit this Trip Generation Analysis and VMT Screening for the proposed project located at the northeast corner of Yucaipa Ridge Road and Crystal Street in the City of Yucaipa. The purpose of this memorandum is to summarize the project Trip Generation Analysis and VMT Screening.

#### [Proposed Project](#)

The proposed site is located at the northeast corner of Yucaipa Ridge Road and Crystal Street in the City of Yucaipa. The proposed project includes a total of 51 single family lots with 41 of those lots dedicated for senior housing. Site entrance will be provided via two access points along Yucaipa Ridge Road. A site plan is attached for reference.

#### [Trip Generation Analysis](#)

Projected trip generation for the proposed project was developed based on the City of Yucaipa Traffic Impact Analysis Guidelines (August 2020). The guidelines specify a Traffic Impact Analysis (TIA) which includes a Level of Service (LOS) analysis is required for a proposed project that meets any of the following criteria:

- When either the AM or PM peak hour trip generation is expected to exceed 100 vehicle trips from the proposed development.
- Projects that will add 51 or more trips during either the AM or PM peak hours to any intersection.
- When determined by the City Engineer that existing or proposed traffic conditions in the project vicinity have unique characteristics that warrant evaluation.

The trip generation for the proposed project was determined using the Institute of Transportation Engineers Trip Generation Manual (11<sup>th</sup> Edition). Based on the proposed project’s intended land uses the projected trip generation was determined using the Single-Family Detached Housing and Senior Adult Housing land use codes. The proposed project is anticipated to generate 19 total AM peak hour trips, 21 total PM peak hour trips, and 271 total daily trips. Assuming the project shall construct all on-site and off-site improvements (if any) in accordance with City design standards, the project would not create any new safety or operational concerns. Therefore, the proposed project does not warrant preparation of a TIA with LOS analysis based on City guidelines.

*Table 1 – Trip Generation*

Proposed Land Use	Qty	Unit	Daily Trips (ADTs)		AM Peak Hour					PM Peak Hour				
			Rate	Trips	Rate	In:Out Split	Trips			Rate	In:Out Split	Trips		
							In	Out	Total			In	Out	Total
Single-Family Detached Housing (210)	10	DU	9.43	94	0.70	25:75	2	7	9	0.94	63:37	6	3	9
Senior Adult Housing Single Family (251)	41	DU	4.31	177	0.24	33:67	3	7	10	0.30	61:39	8	4	12
<b>Total</b>				<b>271</b>			<b>5</b>	<b>14</b>	<b>19</b>			<b>14</b>	<b>7</b>	<b>21</b>

Notes: ITE Trip Generation (11<sup>th</sup> Edition, 2021); DU=Dwelling Unit

[Vehicle Miles Traveled \(VMT\) Screening](#)

Senate Bill (SB) 743 was adopted in 2013 requiring the Governor’s Office of Planning and Research (OPR) to identify new metrics for identifying and mitigating transportation impacts within the California Environmental Quality Act (CEQA). For land use projects, OPR has identified Vehicle Miles Traveled (VMT) as the new metric for transportation analysis under CEQA. The regulatory changes to the CEQA guidelines that implement SB 743 were approved on December 28<sup>th</sup>, 2018 with an implementation date of July 1<sup>st</sup>, 2020 as the new metric.

The City of Yucaipa updated their Traffic Impact Analysis Guidelines in August 2020. The document outlines guidelines for CEQA analysis including screening criteria and requirements for VMT assessment of land use projects. The VMT guidelines provide several screening criteria for projects including Transit Priority Area (TPA) Screening, Low VMT Area Screening, and Project Type Screening. Per the City guidelines, projects need only to satisfy one of the screening steps.

The City of Yucaipa Traffic Impact Analysis Guidelines (August 2020) indicates projects generating fewer than 400 daily vehicle trips may be presumed to have a less than significant VMT impact and therefore are not required to submit a detailed VMT analysis. The proposed project is anticipated to generate 271 daily trips. Therefore, the proposed project satisfies the City established project type screening criteria.

Summary

This memorandum provides an overview of the trip generation analysis for the proposed project. Based on the City of Yucaipa Traffic Analysis Guidelines (August 2020), the proposed project generates fewer than 100 peak hour trips and fewer than 400 daily vehicle trips and does not require additional traffic or VMT analysis.

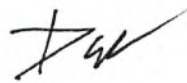
Please contact us at (949) 878-3509 if you have any questions regarding this analysis.

Sincerely,



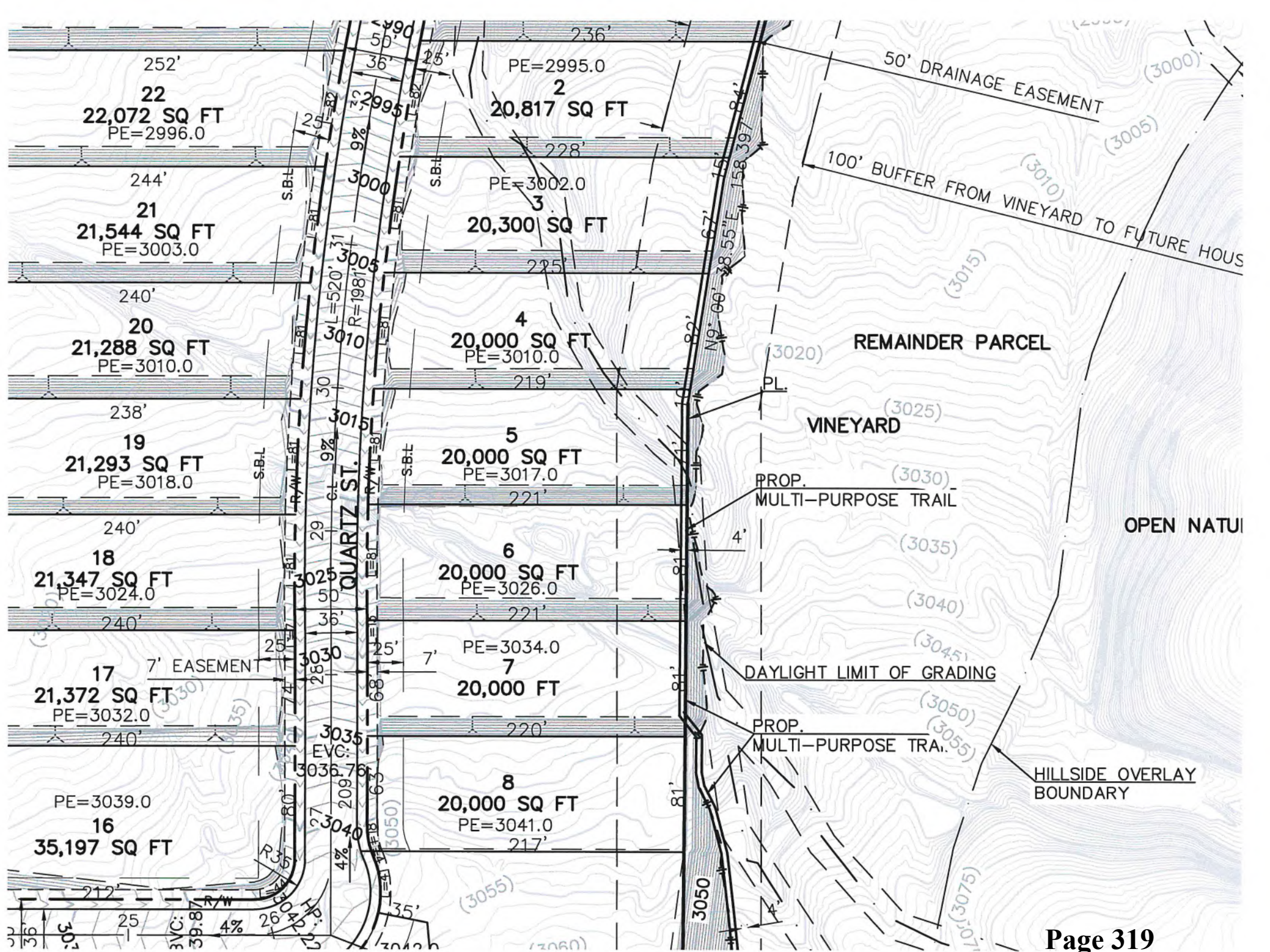
Thomas Wheat, PE, TE  
President

Registered Civil Engineer #69467  
Registered Traffic Engineer #2565



David Chew, PTP  
Transportation Planner







February 16, 2023

Planning Division  
City of Yucaipa  
34272 Yucaipa Blvd,  
Yucaipa, CA 92399

RE: Case No. 22-150/PDP/FDP/TTM 20375 – Encroachment into CDFW Jurisdiction

Mr. Matlock,

You brought to our attention that Lot 15 of the above referenced project is encroaching into the jurisdictional feature on the property. Per your direction, an exhibit was prepared that overlaid the Jurisdictional Delineation map over the site plan and it was found that Lot 15 was encroaching in the CDFW Jurisdiction (Figure 1).

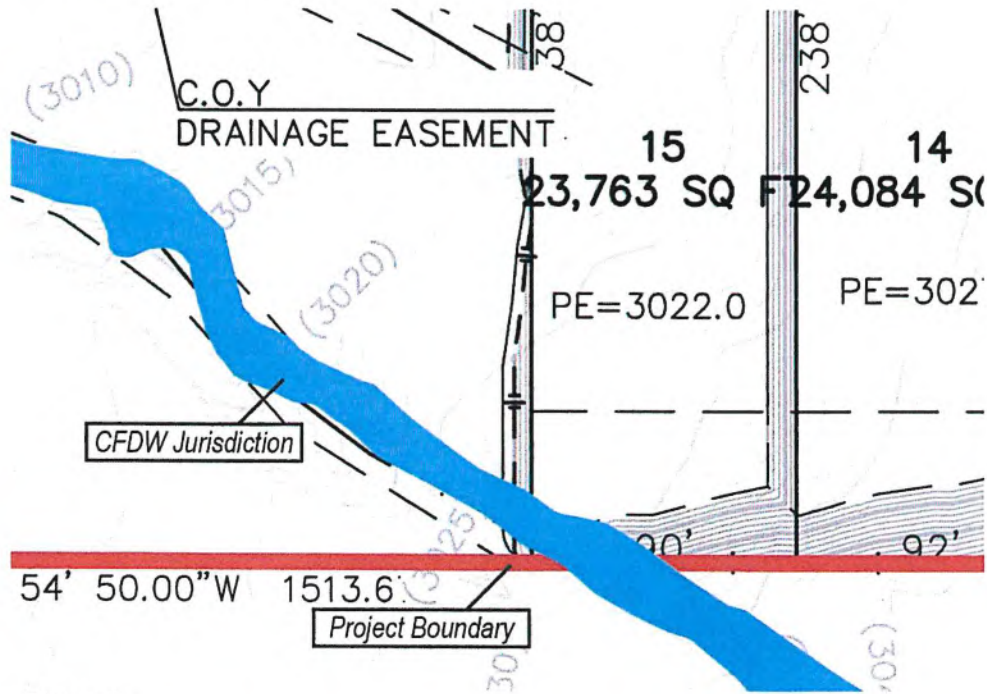


Figure 1



To avoid any impact and/or encroachment into the CDFW Jurisdiction, Lot 15 has since been revised to remove the limit of grading and property lines outside of the potentially sensitive area, which will remain in its natural condition (Figure 2). An updated TTM 20375 will be resubmitted to the Planning Division as soon as possible to confirm these changes.

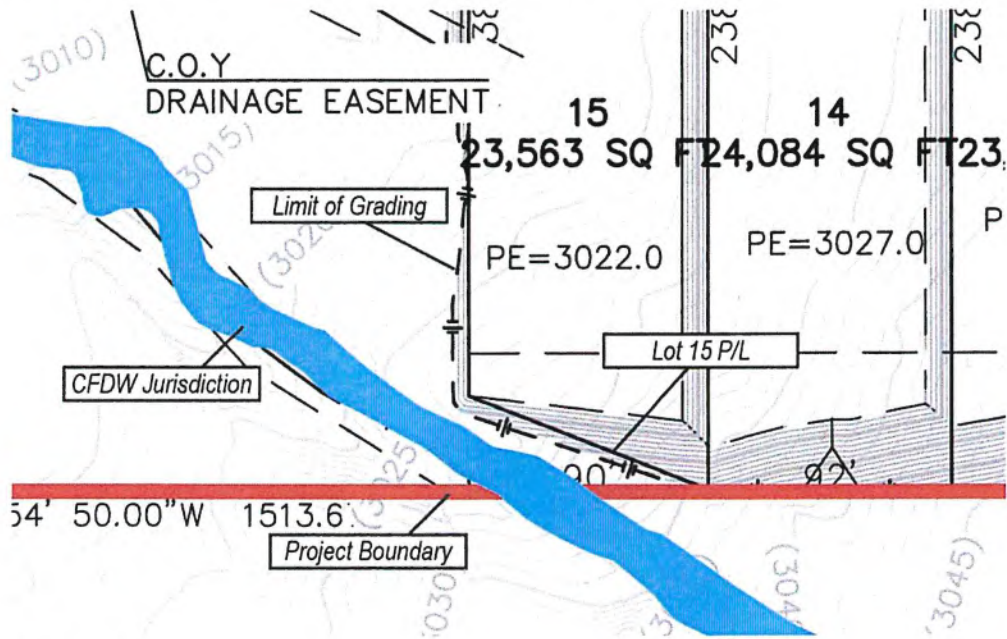


Figure 2

If you have any questions regarding this matter, please reach out to our office at (909) 335-1665.

Sincerely,

Travis Heaps  
Senior Planner  
Premium Land Development

# **SERRANO ESTATES AND VINEYARD PLANNED DEVELOPMENT RESIDENTIAL PROJECT**

## **MITIGATED NEGATIVE DECLARATION (MND)**

**July, 2022**



City of Yucaipa  
Development Services Department  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

**CITY OF YUCAIPA  
INITIAL STUDY**

**ENVIRONMENTAL CHECKLIST FORM**

1. Project Title: Case No. 20-136/PDP/TTM 20375
2. Lead Agency Name and Address: City of Yucaipa, 34272 Yucaipa Blvd., Yucaipa, CA 92399
3. Contact Person and Phone Number: Benjamin Matlock, (909) 797-2489 x 261
4. Project Location: Located along the eastern edge of Yucaipa Ridge Road, directly south of the City limits to unincorporated San Bernardino County. APNs: 0320-161-08, 09, and 28.
5. Project Sponsor's Name and Address: Premium Land Development: 108 Orange Street #5, Redlands, CA 92373.
6. General Plan Designation: Rural Living, one-acre minimum (RL-1) and the Custom Home (CH) Overlay District.
7. Description of the Project: Case No. 20-136/PDP/TTM 20375: A Planned Development Project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lots on parcels greater than 12,000 square feet, several lettered lots for water quality basins, and a 27-acre remainder lot that would include space for vineyards as well as 13 acres of permanent open space, located on three existing parcels totaling 52 acres along the east side of Yucaipa Ridge Road.
8. Surrounding Land Uses and Setting: Single family residences are located to the west, vacant land to the east and south, and very low-density residential development and the North Cork Vineyards and Winery to the north.
9. Other public agencies whose approval is required (e.g. permits, financing approval, or participation agreement): A Development Agreement with the Yucaipa Valley Water District for water and sewer service.

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- Appendix A - Air Quality, Global Climate Change, and Energy Impact Analysis
- Appendix B - Biological Resources Assessment and Jurisdictional Delineation
- Appendix C - Review and Comment: Phase I Cultural Resources Assessment of Tentative Tract 14297
- Appendix D - Preliminary Geotechnical Investigation and Responses
- Appendix E - Appendix G Checklist for Noise for TTM 20375
- Appendix F - Serrano Estates Project (TTM 20375) Transportation Study Screening Assessment
- Appendix G - Wildfire Assessment
- Appendix H - TTM 20375 Serrano Estates Project - Lot No. 52 Effect on Transportation, Noise, and Air Quality/Greenhouse Gas Technical Studies

## INTRODUCTION

This section explains the background and purpose of this Mitigated Negative Declaration (MND), which is the environmental review document prepared pursuant to the provisions of the California Environmental Quality Act (CEQA) for a Planned Development application that would permit 51 single family lots, a 27-acre remainder lot that would include space for a residence, vineyards and 13 acres of permanent open space, and several additional lettered lots for water quality purposes (“Project”). It establishes the context and scope for the MND, and outlines the process for reviewing the Draft MND and issuing the Final MND. The City of Yucaipa is the lead agency under CEQA. A “lead agency” is defined by Section 21067 of CEQA as “the public agency which has the principal responsibility for carrying out or approving a project which may have a significant effect upon the environment.”

## ENVIRONMENTAL REVIEW PROCESS

This IS and Notice of Intent (NOI) to adopt a MND is being circulated for agency and public review and comment for 20 days beginning July 15, 2022. All written comments must be received by 5:30 p.m. August 4, 2022. Written comments or questions concerning this document should be directed to:

City of Yucaipa  
ATTN: Benjamin Matlock  
[bmatlock@yucaipa.org](mailto:bmatlock@yucaipa.org)  
34272 Yucaipa Boulevard  
Yucaipa, CA 92399

## DETAILED PROJECT DESCRIPTION

### Project and Location Setting

The Project site is located on the east side of Yucaipa Ridge Road, north of Ivy Avenue., directly adjacent to Quartz Street and Crystal Street. The Project site is currently vacant undeveloped land, with an un-named creek located in the southeast corner of the site that connects with Spoor Creek approximately 300 feet south of the Project’s southerly property line. There is a notable change of elevation from the southern edge of the site, at 2,920 feet above sea level, to 3,090 from a ridge located near the northern property line. The site is designated Rural Living, one-acre minimum (RL-1) and the Custom Home (CH) Overlay District and is surrounded by properties also designated RL-1 within the City of Yucaipa, and is adjacent to unincorporated San Bernardino County to the north.



Figure 1 – Site Aerial

### Preliminary Development Plan

The Project proposal includes a Preliminary Development Plan (“PDP”) that would create the development standards that would be applicable to the site. Consistent with the General Plan designation of RL-1, up to 52 residential lots are permitted on the subject site, and the PDP permits the development of 51 single

family lots, as well as one additional lot that will consist of only open space and a vineyard or similar agricultural use. The proposed PDP includes four separate planning areas that would govern the development: Planning Area A, designated as Agriculture, is the proposed 12 acres for the agricultural planting area; Planning Area B, designated as Low Residential, encompasses 27 acres and would permit the 51 single family residences; and Planning Area C would provide ten acres of Open Space, which would tie into Area D, three additional acres of open space and serving as a landscaped buffer between the residences and agricultural operations. As part of the PDP, the Planning Area B is noted to include 16 lots that will be specifically age restricted for senior households, and the agriculture area proposed as part of Planning Area A would be planted by Yucaipa Ridge Vineyards. Additionally, the age restriction for the development shall comply with all applicable requirements of state law.

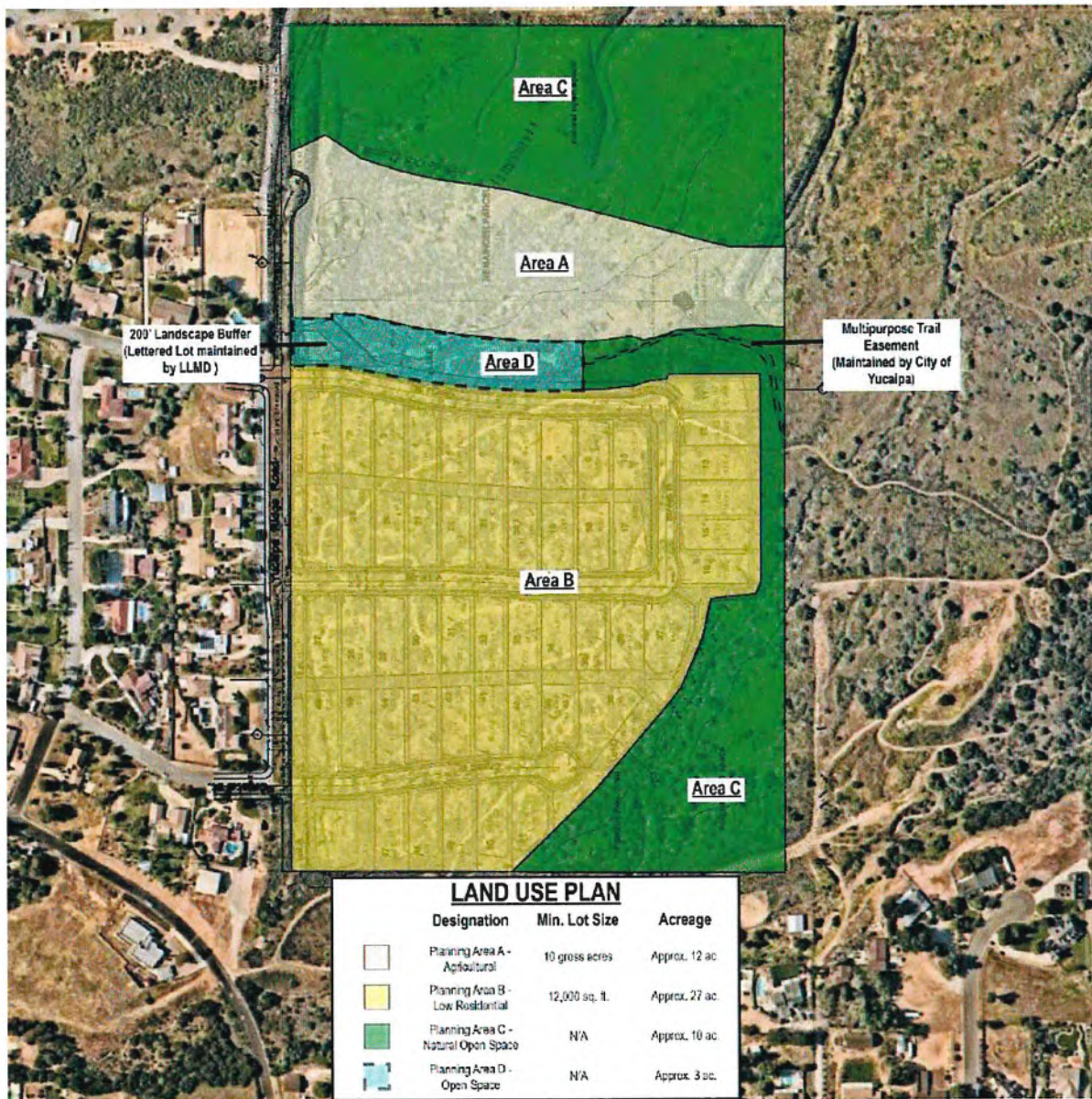


Figure 2 – PDP Exhibit

## **Tentative Tract Map/Final Development Plan**

Along with the PDP, the proposed Project includes a Final Development Plan (“FDP”) exhibit that implements the provisions of the PDP, which is provided through Tentative Tract Map (“TTM”) No. 20375. The TTM has the following elements:

### **Single Family Development:**

The TTM includes 51 single family residential lots ranging from 12,000 to 23,759 square feet in size, arranged around the extension of Crystal Street that would terminate at a cul-de-sac, and the extension of Quartz Street, which would loop around back to Yucaipa Ridge Road.

### **Remainder Lot:**

An area designated as a “Remainder Lot” is proposed to correspond to Planning Areas A, C, and D of the PDP, and would therefore include the open space elements of the Project, as well as the future agriculture use. The proposed agricultural operations would be accessed from Yucaipa Ridge Road. The PDP specifies that no commercial or residential activities which would result in daily trips will occur on this lot, and the ultimate Tract Map and Conditions of Approval will include these restrictions.

### **Lettered Lots:**

Several additional lettered lots are included to support landscaped detention basins that would accommodate water quality requirements. The majority of these detention basins are located adjacent to Yucaipa Ridge Road, and are intended to support the existing flow of runoff towards the southwest portion of the site, and to create a landscaped section between the 51 residences and the existing neighborhood.

## **Project Phasing**

Pursuant to the TTM and PDP exhibits, the recordation and bonding of improvements for Tract 20375 will occur in a single phase. Individual homes are expected to be built out to meet market demand, but completed as part of an overall development instead of a “lot sales” approach. The vineyards are expected to be planted in the 2022 fall season.





**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**


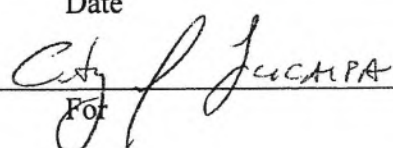
The environmental factors checked below ( ■ ) would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” as indicated by the checklist on the following pages.

	Aesthetics		Greenhouse Gases		Public Services
	Agricultural Resources		Hazards & Hazardous Materials		Recreation
	Air Quality		Hydrology/Water Quality		Transportation/Traffic
■	Biological Resources		Land Use/Planning	■	Tribal Resources
■	Cultural Resources		Mineral Resources		Utilities/Service Systems
	Energy		Noise		Wildfire
■	Geology/Soils		Population/Housing		Mandatory Findings of Significance

**DETERMINATION:**  
(To be completed by the Lead Agency)

On the basis of this initial evaluation:

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.	
I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.	X
I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.	
I find that the proposed project MAY have a “potential significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.	
I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.	

  
 Signature \_\_\_\_\_ Date 7-13-2022  
  
 Printed Name \_\_\_\_\_ For \_\_\_\_\_

- 1) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 2) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 3) Must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Potentially Significant Unless Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section 17, “Earlier Analysis,” may be cross-referenced).
- 5) Earlier analysis may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(d). In this case, a brief discussion should identify the following:
  - (a) Earlier Analysis Used. Identify and state where they are available for review.
  - (b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - (c) Mitigation Measures. For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whatever format is selected.
- 9) The analysis of each issue should identify: (a) the significance criteria or threshold used to evaluate each question; and (b) the mitigation measure identified, if any, to reduce the impact to less than significance.

## AESTHETICS

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>1. AESTHETICS.</b> Would the project:				
a) Have a substantial adverse effect on a scenic vista?			X	
b) Substantially damage scenic resources, including, but not limited to trees, rock outcroppings, and historic buildings within a state scenic highway?				X
c) In nonurbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?			X	
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?			X	

a) Policy PR-4.7, Scenic Resources, of the City’s 2016 General Plan states that the City will “Protect Yucaipa’s scenic resources, including scenic corridors along roads and views of the hillsides, prominent ridgelines, canyons, and other significant natural features, to the extent practical.” Resources identified in the General Plan include the City’s designated Scenic Corridors (Bryant Street, Yucaipa Boulevard, Wildwood Canyon Road, and Oak Glen Road) and the prominent hillsides, ridgelines, and open space areas that surround the City, including Crafton Hills and the San Bernardino National Forest. The Project site features an approximate 170-foot elevation change from the southern property line to the north, with the most notable change occurring along a ridge that forms along the northern end of the site. The proposed Project would concentrate the residential development towards the southern edge of the site, where the site features less topographical changes and would ultimately reduce the visibility of future residences from surrounding vantagepoints. Directly north of the proposed residential area, a 200-foot landscaped buffer would be provided and serve as a transition to the proposed vineyards. These vineyards would provide a visual extension to the existing North Cork Winery’s vineyard on the property directly north of the subject site. In addition, the Project is oriented towards the internal street network, and would feature landscaped detention basins, aligned with boulders and rocks, along Yucaipa Ridge Road to create an ornate buffer of the proposed development from the existing residences west of the site. Based on the proposed subdivision design that maintains the residential development along the lower elevations of the site, and the open space, vineyard, and landscape transitions that are proposed, the Project would have a less than significant effect on scenic vistas.

b) According to Caltrans Scenic Highway Program, there are no official state designated scenic highways that exist within the City of Yucaipa. A portion of State Route 38 passes through the City of Yucaipa, and is an eligible state scenic highway that has not been officially designated; however, this roadway is located approximately half a mile north from the proposed Project site and is separated by the Yucaipa Ridge. The City of Yucaipa has designated Bryant Street, Yucaipa Boulevard, Wildwood Canyon Road, and Oak Glen Road as scenic corridors within the City. The proposed Project would impact a site that has frontage on Yucaipa Ridge Road, which is not designated as a scenic corridor. As such, there would be no impacts to resources along a scenic route as a result of the proposed Project.

c) The Project is located on three (3) vacant properties that include some vegetation and natural features scattered throughout the site, as well as areas that have been disturbed through annual weed abatement and manmade paths. There are also existing rural residential uses surrounding the Project site. Vegetative visual resources are most commonly protected through tree preservation ordinances that place limitations on the removal of such trees found to be native. Chapter 5 of the City of Yucaipa Municipal Code regulates the protection of oak trees. The conservation program outlined in this chapter contributes to the welfare and aesthetics of the community and retains the value of these trees. However, as further discussed in the Biological Resources section, no protected oak trees are located onsite. The Project site is located within a rural area of Yucaipa, surrounded by hillsides to the north. With the strict adherence to the RL-1 Land Use designation and the CH Overlay District, the development of 52 single family lots would be permitted to occur through the entire site. However, the

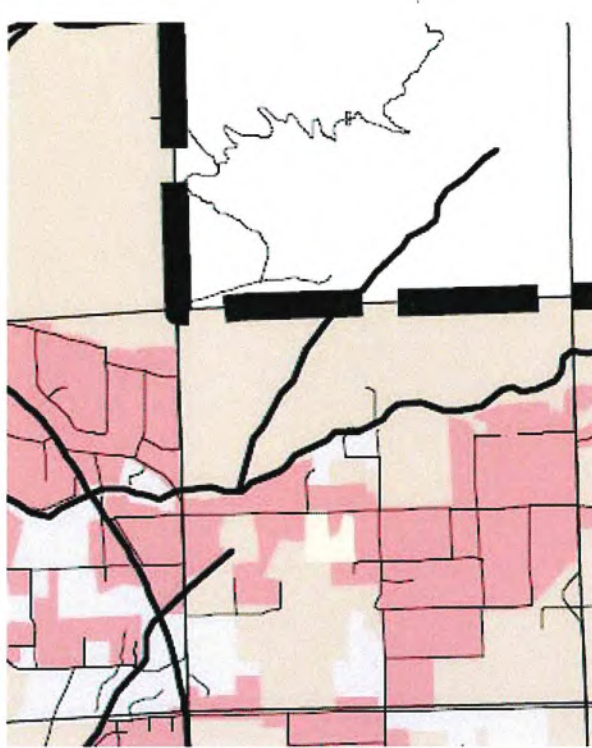
proposed Project consists of a PDP and an associated FDP/TTM that would implement the City's Planned Development Review procedures. Pursuant to Section 83.030205 of the City's Development Code, the Planned Development purpose "is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations." With the proposed PDP, the residential unit capacity would be consolidated along the southern areas of the site. Directly north of the proposed residential area, a 200-foot landscaped buffer would then be provided and would serve as a transition to proposed vineyards. These vineyards would also provide a visual extension to the existing North Cork Winery's vineyard on the property directly north of the subject site. With the proposed configuration, as well as the PDP standards intended to implement the CH Overlay District standards that includes the requirements for larger home sizes and enhanced architectural features, the impact upon the existing visual character or quality of the area is anticipated to be less than significant.

d) Additional lighting will occur due to the development of the Project, and the installation of streetlights that may occur within the interior of the Project. The proposed Project would permit the construction of 51 single family homes to the area, as well as any potential buildings to support the viticultural operations, which will result in new sources of nighttime lighting, including, but not limited to: onsite street lighting, building-mounted lights, and ornamental landscaping and pathway lighting. However, the amount of lighting will be similar to other residential areas surrounding the site, and the Project will be required to comply with the City's Development Code, which contains property development and general design standards that ensure new developments and expansions of existing developments will not have a negative impact upon surrounding land uses. This includes the requirement that any lighting to be added to the Project shall be shielded to minimize light spillage to adjacent properties. Therefore, impacts related to light and glare will be less than significant through compliance with the Development Code.

## AGRICULTURAL RESOURCES

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p><b>2. AGRICULTURE RESOURCES:</b> In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:</p>				
a) Convert Prime Farmland, Unique Farmland or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency to non-agricultural use?				X
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?				X
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?				X
d) Result in the loss of forest land or conversion of forest land to non-forest use?				X
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?				X

a-b) According to the State Dept. of Conservation Important Farmland Map, San Bernardino County 2012, Sheet 2 of 2, the proposed Project site is designated “Grazing Land” and does not contain any prime, unique, or important farmland. In addition, there are no active Williamson Act contracts within the City of Yucaipa. The City of Yucaipa utilizes a “one map system” in which the General Plan Land Use Designations and Zoning Categories are the same and combined onto one map. The property is currently designated as Rural Living, which is a residential land use district that allows for some agricultural related activities but is not an agricultural or forest-specific land designation, and is instead oriented towards providing lower density development relative to the City’s other residential land use districts. However, the proposed PDP includes provisions to specifically allow for a vineyard or similar agricultural activity, and would therefore result in the creation of new agricultural land. As such, the proposed Project would not conflict with zoning for an agricultural use or a Williamson Act contract and would not convert farmland to a non-agricultural use but would instead contribute to the development of new agricultural lands.



c-d) No forest land or timberland is located within the Project site. Therefore, no impacts would occur.

e) As noted in items a-d above, the area is designated “Grazing Land” and no portions of the area are currently farmed nor subject to Williamson Act contracts. In addition, no portion of the area is located within a forest area. As such, the proposed Project would not affect these resources and no impacts would occur. However, the PDP would permit agricultural-related activities and result in new agricultural opportunities to the City.

## AIR QUALITY

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3. AIR QUALITY:</b> Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:				
a) Conflict with or obstruct implementation of the applicable air quality plan?			X	
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?			X	
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?			X	

To support the analysis of the Project, an Air Quality, Global Climate Change, and Energy Impact Analysis, dated June 2022, was prepared by Ganddini Group, Inc., and is attached as Appendix A.

a) Air quality plans describe air pollution control strategies to be implemented by a city, county, or regional air district. The primary purpose of the air quality plans is to bring an area that does not attain federal and state air quality standards into compliance with those standards pursuant to the requirements of the Clean Air Act and California Clean Air Act. A consistency determination plays an important role in local agency project review by linking local planning and individual projects to the applicable air quality plan.

The proposed Project is within the South Coast Air Basin (Basin), and the South Coast Air Quality Management District (SCAQMD) is the agency principally responsible for comprehensive air pollution control in the Basin. SCAQMD is directly responsible for reducing emissions from stationary (area and point), mobile, and indirect sources, and responded to this requirement by preparing the 2016 Air Quality Management Plan (AQMP), an air quality management plan covering all portions of the Basin.

The regional emissions inventory for the South Coast Air Basin was compiled by SCAQMD, the San Bernardino Association of Governments (SANBAG), and the Southern California Association of Governments (SCAG), and is used for the AQMP. Regional population, housing, and employment projections are based, in part, on the City's General Plan land use designations. The proposed site is currently designated as RL-1 which permits one unit per gross acre pursuant to the City's General Plan. Based upon these requirements, the subject site is permitted to accommodate up to 52 single family lots. The proposed PDP and FDP consists of the development of 51 single family lots, with the lots consolidated along the southern portion of the site to create agricultural land opportunities and preserve open space. As such, the proposed Project would have been considered in the assumptions used for the AQMP for the growth expected within the City, and is consistent with the land use designation of the General Plan. Therefore, the Project will not conflict with or obstruct the implementation of the 2016 AQMP.

b-c) The proposed Project would result in the development of approximately 51 single family homes, with 16 units that would be age-restricted for seniors, on 24.01 acres. Construction would also include exporting 179,000 cubic yards of dirt during grading. To quantify project-related impacts, the proposed Project was evaluated utilizing the CalEEMod version 2020.4 air quality modeling program for this MND, using very conservative parameters for its assessment and information that was provided by the applicant. The results are as follows:



**Construction - Maximum Daily Emissions<sup>1</sup>**

	VOC	NOx	CO	SO2	PM 10	PM 2.5
<b>Year</b>	<b>LB/Day</b>					
Peak Overlap	35.09	28.48	43.21	0.09	4.58	2.07
SCAQMD Threshold	75	100	550	150	150	55
Exceed?	No	No	No	No	No	No

**Operation - Maximum Daily Emissions<sup>2</sup>**

	VOC	NOx	CO	SO2	PM 10	PM 2.5
<b>Category</b>	<b>LB/Day</b>					
Area	2.09	0.81	4.53	0.01	0.08	0.08
Energy	0.04	0.31	0.13	0.00	0.03	0.03
Mobile	1.27	1.70	12.32	0.03	2.91	0.79
<b>Total</b>	<b>3.40</b>	<b>2.82</b>	<b>16.99</b>	<b>0.03</b>	<b>3.02</b>	<b>0.90</b>
SCAQMD Threshold	55	55	550	150	150	55
Exceed?	No	No	No	No	No	No

Construction related impacts would be reduced by the appropriate dust control measures implemented during each phase of development, as required by SCAQMD Rule 403 - Fugitive Dust. The requirements for Rule 403 include, but are not limited to, applying water in sufficient quantities to prevent the generation of visible dust plumes, applying soil binders to uncovered areas, reestablishing ground cover as quickly as possible, utilizing a wheel washing system to remove bulk material from tires and vehicle undercarriages before vehicles exit the lots, and maintaining effective cover over exposed areas. Engineering Department specific Conditions of Approval for any future development proposals would include provisions for Rule 403 that will apply during grading and building activities to minimize fugitive dust. Other SCAQMD rules would also apply, such as Rule 1113 for low VOC paints and materials. Operational impacts would be minimized by adherence to the Building Code and Title 24 requirements. As such, impacts would be less than significant.

d) The Project site is adjacent to residences, which are considered to be sensitive receptors by the City’s General Plan. During site improvement construction activities that are associated with future residential development, there may be some level of odor exposure resulting from asphalt paving and roadway improvements activities. A Localized Significance Threshold (LST) analysis has been prepared to determine potential impacts to nearby sensitive receptors during construction of the proposed Project. However, the limited duration and area involved in paving activities would not result in significant levels of odors affecting a substantial number of people, as there are a relatively limited number of residences in the direct vicinity of the site. As such, these impacts would be less than significant.

<sup>1</sup> Table 6 of Air Quality, Global Climate Change, and Energy Impact Analysis (Appendix A)

<sup>2</sup> Table 9 of Air Quality, Global Climate Change, and Energy Impact Analysis (Appendix A)

**Localized Significance Thresholds Analysis<sup>3</sup>**

Maximum On-Site Emissions	NO <sub>2</sub>	CO	PM <sub>10</sub>	PM <sub>2.5</sub>
	Pounds per Day			
Construction emissions	34.52	28.05	8.93	5.10
<i>SCAQMD LST</i>	<i>237</i>	<i>1,775</i>	<i>12</i>	<i>8</i>
<b>LST exceeded?</b>	No	No	No	No

<sup>3</sup> Table 8 of Air Quality, Global Climate Change, and Energy Impact Analysis (Appendix A)

## BIOLOGICAL RESOURCES

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>4. BIOLOGICAL RESOURCES.</b> Would the project:				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?			X	
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
c) Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?		X		
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?				X
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?				X

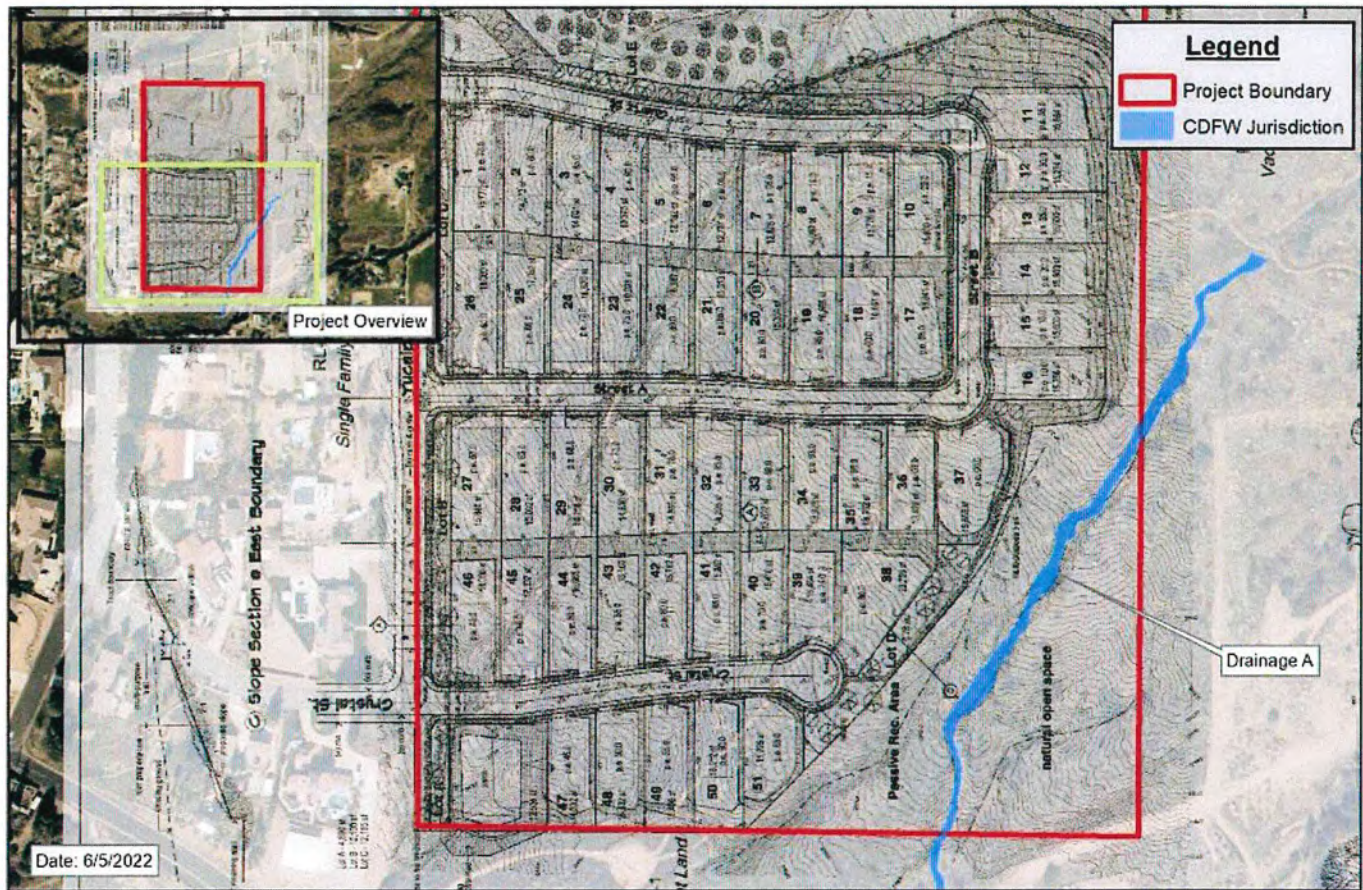
To support the analysis of the Project, a Biological Resources Assessment and Jurisdictional Delineation, dated June 2022, was prepared by Jennings Environmental, and is attached as Appendix B. In addition, prior biological research and surveys had been completed on the prior site for the environmental review efforts associated with TTM 14297.

a-c) The Project site is located within a transitional area of the City of Yucaipa, with existing large lot residential uses west of the site, a single-family residence and commercial winery to the north, and undeveloped land directly east and south of the site. There is a small drainage feature that crosses along the southeastern edge of the subject site, but the site is not identified in Figure PR-5, Wildlife Corridors of the General Plan.

The vegetation on-site consists of a mixture of Eriogonum fasciculatum Shrubland Alliance (California buckwheat scrub), Amsinckia (menziesii, tessellata) - Phacelia spp. Herbaceous Alliance (Fiddleneck – Phacelia Fields), Brassica nigra - Centaurea (solstitialis, melitensis) Herbaceous Semi-Natural Alliance (Upland mustards or star-thistle fields), and ruderal/disturbed vegetation, and does feature existing disturbances along the western edge of the site and along manmade trails that cross through the site. The field study completed onsite did not discover any candidate, sensitive, or special status species; riparian habitat or other sensitive natural community; wetlands; and wildlife corridors, which corresponds to prior biological assessments that had been prepared.

As noted previously, a drainage feature is located along the southeastern edge of the site and is considered as a jurisdictional feature under the California Department of Fish and Wildlife, with an estimated jurisdictional area encompassing 0.4 acres of the site, and is also considered as Riverine habitat<sup>4</sup> under the national wetlands inventory map. However, the PDP and TTM for the Project has been designed to specifically avoid any development within or adjacent to the jurisdictional feature, and instead would designate this area as natural Open Space in perpetuity. This requirement will also be reflected in the Project’s Conditions of Approval.

<sup>4</sup> US Fish and Wildlife Service National Wetlands Inventory Mapper, <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>



d) The Migratory Bird Treaty Act (MBTA) implements international treaties between the United States and other nations devised to protect migratory birds, their parts, eggs, and nests from activities such as hunting, pursuing, capturing, killing, selling, and shipping, unless expressly authorized in the regulations or by permit. The state of California has incorporated the protection of birds of prey in California Fish and Game Code (CFG) Sections 3800, 3513, and 3503.5. All raptors and their nests are protected from take or disturbance under the MBTA (16 United States Code [USC] Section 703 et seq.) and California statute (CFG Section 3503.5).

The Project site contains trees and shrubs that would be removed as part of the mass grading activities for the site, and therefore could have a potential impact on nesting birds if they are present on the Project site at the time of grading and construction. Implementation of Mitigation Measure BIO-1, which requires a preconstruction nesting bird clearance survey to determine the presence/absence, location, and status of any active nests on or adjacent to the Project site, would reduce potential impacts to nesting and migratory birds to less than significant impact by limiting the removal of trees, shrubs, or any other potential nesting habitat to outside the avian nesting season, which generally extends from February 1 through August 31. If the nesting bird clearance survey indicates the presence of nesting birds, Mitigation Measure BIO-1 requires buffers to ensure that any nesting birds are protected pursuant to the MBTA; this is a standard protocol for projects and impacts for both sensitive wildlife species and migratory birds would be less than significant with mitigation incorporated.

e) The properties associated with the Project do not feature any Coastal Live Oak Trees, which are protected by the City of Yucaipa pursuant to Chapter 5 of Division 9 of the Yucaipa Development Code. Therefore, there would be no impacts to this resource.

f) A Habitat Conservation Plan (HCP) is a long-term agreement with USFWS designated to offset any harmful effects that a proposed activity might have on federally listed threatened and endangered species. The HCP allows development to proceed while providing a mechanism to conserve listed species and provide for incidental take. A “No Surprises” policy provides assurances to landowners participating in HCP efforts. The Natural Communities Conservation Planning Program (NCCP) of CDFW is an unprecedented effort by the State of California and numerous private and public partners that takes a broad-based ecosystem approach to planning for the protection and perpetuation of biological diversity. An NCCP identifies and provides for the regional or area-wide protection of plants, animals, and their habitats, while allowing compatible and appropriate economic activity. The City of Yucaipa is not a part of any HCP or NCCP. As such, there would be no impacts to any applicable Habitat Conservation Plans, Natural Community Conservation Plans, or other plans for the site

Mitigation Measure:

**BIO-1** Nesting bird nesting season generally extends from February 1 through September 15 in southern California and specifically, March 15 through August 31 for migratory passerine birds. To avoid impacts to nesting birds (common and special status) during the nesting season, a qualified Avian Biologist will conduct pre-construction Nesting Bird Surveys (NBS) prior to project-related disturbance to nestable vegetation to identify any active nests. If no active nests are found, no further action will be required. If an active nest is found, the biologist will set appropriate no-work buffers around the nest which will be based upon the nesting species, its sensitivity to disturbance, nesting stage, and expected types, intensity, and duration of the disturbance, with a minimum buffer of 300 feet. The nests and buffer zones shall be field-checked weekly by a qualified biological monitor. The approved no-work buffer zone shall be clearly marked in the field, within which no disturbance activity shall commence until the qualified biologist has determined the young birds have successfully fledged and the nest is inactive.

With adherence to Mitigation Measure BIO-1, the proposed Project would have less than significant effects on biological resources.

## CULTURAL RESOURCES

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>5. CULTURAL RESOURCES.</b> Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5?				X
b) Cause a substantial adverse change in the significance of an archaeological resources pursuant to Section 15064.5?		X		
c) Disturb any human remains, including those interred outside of formal cemeteries?		X		

a) The proposed Project is located on a parcel that is currently vacant and has no records of prior development. Further, the property is not designated with having a historic structure, nor other potential historic artifacts have been reported onsite. As a result, no adverse change to the significance of a historical resource is expected to occur.

b) Figure PR-6 of the City’s General Plan identifies that the subject site is not located within a Cultural Sensitivity Area. In 1989, a Phase I Cultural Resources Assessment entitled: “A Cultural Assessment of a 52.51 Acre Tract of Land Designated as Tentative Tract 14297 Located Near the Community of Yucaipa, San Bernardino County, California” was prepared for a previously-approved residential entitlement, and the findings of the report were reviewed by Archeological Associates on June, 1, 2022 (Appendix C). Consultation with local tribes, pursuant to AB 52, is required for the proposed Project, and additional details are included within the Tribal resources section of this MND. In accordance with AB 52 requirements, the City sent invitation letters to representatives of the Native American contacts on June 6, 2022, formally inviting tribes to consult with the City on the Project. The intent of the consultations is to provide an opportunity for interested Native American contacts to work together with the City during the Project planning process to identify and protect tribal cultural resources. A response letter was received from the Yuhaaviatam of San Manuel Nation (formerly known as the San Manuel Band of Mission Indians) requesting consultation, which concluded on June 7, 2022. As a result of the consultation efforts, mitigation measures have been developed for the Project and are included as part of the proposed Project’s Condition of Approval, and are intended to address the process should there be any inadvertent discovery of resources. Incorporation of the mitigation measures will ensure a less than significant impact.

c) There are no known human remains on the site. A review of historic aerial photos and maps at Netronline.com was conducted and did not identify possible cemeteries in the area, and therefore a low likelihood exists that human remains could be uncovered during ground-disturbing activities. However, there is always a possibility that unidentified human remains could be discovered during Project construction. Consistent with State law, if at any time during grading human remains are found, the Project is to be conditioned to halt work and contact made with the San Bernardino County Coroner’s Office. Standard Conditions of Approval are included pertaining to State Health and Safety Code Section 7050.5. In addition, any discoveries of remains would also be assessed to determine if they are of Native American origin, which is further discussed within the tribal resources section of this MND. As a result of the consultation process, measures are included to reduce impacts to a less than significant level.

Mitigation Measures:

- **CUL-1:** In the event that cultural resources are discovered during Project activities, all work in the immediate vicinity of the find (within a 60-foot buffer) shall cease and a qualified archaeologist meeting Secretary of Interior standards shall be hired to assess the find. Work on the other portions of the Project outside of the buffered area may continue during this assessment period. Additionally, the San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed within TCR-1, regarding any pre-contact and/or

historic-era finds and be provided information after the archaeologist makes his/her initial assessment of the nature of the find, so as to provide Tribal input with regards to significance and treatment.

- **CUL-2:** If significant pre-contact and/or historic-era cultural resources, as defined by CEQA (as amended, 2015), are discovered and avoidance cannot be ensured, the archaeologist shall develop a Monitoring and Treatment Plan, the drafts of which shall be provided to SMBMI for review and comment, as detailed within TCR-1. The archaeologist shall monitor the remainder of the project and implement the Plan accordingly.
- **CUL-3:** If human remains or funerary objects are encountered during any activities associated with the Project, work in the immediate vicinity (within a 100-foot buffer of the find) shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code §7050.5 and that code enforced for the duration of the project:
- **TRI-1:** The San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed in CR-1, of any pre-contact and/or historic-era cultural resources discovered during Project implementation, and be provided information regarding the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with SMBMI, and all subsequent finds shall be subject to this Plan. This Plan shall allow for a monitor to be present that represents SMBMI for the remainder of the Project, should SMBMI elect to place a monitor on-site.
- **TRI-2:** Any and all archaeological/cultural documents created as a part of the Project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to SMBMI. The Lead Agency and/or applicant shall, in good faith, consult with SMBMI throughout the life of the project.

## ENERGY

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
6. <b>ENERGY.</b> Would the project:				
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?			X	
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?			X	

To support the analysis of the Project, an Air Quality, Global Climate Change, and Energy Impact Analysis, dated June 2022, was prepared by Ganddini Group, Inc., and is attached as Appendix A.

a) This impact analysis focuses on the three (3) sources of energy that are relevant to the proposed Project: electricity, natural gas, and transportation fuel for vehicle trips associated with project operations as well as the fuel necessary for project construction. The analysis of electricity/natural gas usage is based on the CalEEMod modeling within the Air Quality Study, which quantifies energy use for occupancy. The Project’s estimated electricity and natural gas consumption is based primarily on CalEEMod’s default settings for San Bernardino County, and consumption factors provided by Southern California Edison (SCE) and Southern California Gas Company, the electricity and natural gas provider for the project site, respectively.

### Project Construction Energy Consumption

During construction there would be a temporary consumption of energy resources required for the movement of equipment and materials. Compliance with local, state, and federal regulations would reduce short-term energy demand during the Project’s construction to the extent feasible and project construction would not result in a wasteful or inefficient use of energy. As summarized in the Table 15 of the Energy Impact Analysis (Appendix A), Project construction electrical usage would total approximately 20,484 kilowatt hours (kWh).

As shown in Tables 16 thru 19 of the Energy Impact Analysis, project fuel consumption for construction equipment would amount to approximately 62,820 gallons of fuel, approximately 39,503 gallons for construction workers trips, approximately 25,969 gallons for construction vendors trips, and approximately 71,145 gallons for construction hauling trips. With respect to estimated vehicle miles traveled (VMT), the vendor and hauling trips would generate an estimated 628,763 VMT. Data regarding Project related construction worker trips were based on CalEEMod 2020.4.0 model defaults.

Construction equipment used over the approximately sixteen-month construction phase would conform to CARB regulations and California emissions standards and is evidence of related fuel efficiencies. There are no unusual Project characteristics or construction processes that would require the use of equipment that would be more energy intensive than is used for comparable activities; or equipment that would not conform to current emissions standards (and related fuel efficiencies). Equipment employed in construction of the Project would therefore not result in inefficient wasteful, or unnecessary consumption of fuel.

The Project would utilize construction contractors which practice compliance with applicable CARB regulation regarding retrofitting, repowering, or replacement of diesel off-road construction equipment. Additionally, CARB has adopted the Airborne Toxic Control Measure to limit heavy-duty diesel motor vehicle idling in order to reduce public exposure to diesel particulate matter and other Toxic Air Contaminants. Compliance with these measures would result in a more efficient use of construction-related energy and would minimize or eliminate wasteful or unnecessary consumption of energy. Idling restrictions and the use of newer engines and equipment would result in less fuel combustion and energy consumption.



## **Project Operational Energy Consumption**

Energy consumption in support of or related to Project operations would include transportation energy demands (energy consumed by employee and patron vehicles accessing the project site) and facilities energy demands (energy consumed by building operations and site maintenance activities).

### Fuel Consumption

Using the CalEEMod output from the air quality and greenhouse gas analyses (Sections 2 and 3 of Appendix A), it is assumed that an average trip for autos and light trucks would be 8.7 miles and 3- 4-axle trucks were assumed to travel an average of 14.7 miles. The Project includes the development of the site with residential uses; therefore, in order to present a worst-case scenario, it was assumed that vehicles would operate 365 days per year. Table 20 of the Energy Analysis shows the estimated annual fuel consumption for all classes of vehicles from autos to heavy-heavy trucks would be estimated at approximately 54,283 gallons of fuel throughout the operation of the Project. Furthermore, the state of California consumed approximately 4.2 billion gallons of diesel and 15.1 billion gallons of gasoline in 2015. Therefore, the increase in fuel consumption from the proposed Project is insignificant in comparison to the State's demand. Therefore, Project transportation energy consumption would not be considered inefficient, wasteful, or otherwise unnecessary.

### Electrical and Gas Consumption

Building operation and site maintenance (including landscape maintenance) would result in the consumption of electricity (provided by Southern California Edison) and natural gas (provided by Southern California Gas Company).

As shown in Table 21 of the Energy Analysis, the estimated electricity demand for the proposed Project is approximately 348,524 kWh per year. In 2019, the residential sector of the County of San Bernardino consumed approximately 5,054 million kWh of electricity. In addition, the estimated natural gas consumption for the proposed Project is approximately 1,232,058 kBtu per year. In 2019, the residential sector of the County of San Bernardino consumed approximately 275 million therms of gas. Therefore, the increase in both electricity and natural gas demand from the proposed Project is insignificant compared to the County's 2019 residential sector demand.

b) The proposed Project will not conflict with or obstruct a state or local plan for renewable energy or energy efficiency. Regarding the State's Energy Plan and compliance with Title 24 CCR energy efficiency standards, the proposed Project will be required to comply with the California Green Building Standard Code requirements for energy efficient buildings and appliances as well as utility energy efficiency programs implemented by Southern California Edison and Southern California Gas Company.

Regarding Pavley (AB 1493) regulations, an individual project does not have the ability to comply or conflict with these regulations because they are intended for agencies and their adoption of procedures and protocols for reporting and certifying GHG emission reductions from mobile sources. However, the vehicles associated with the proposed Project would be required to comply with federal and state fuel efficiency standards.

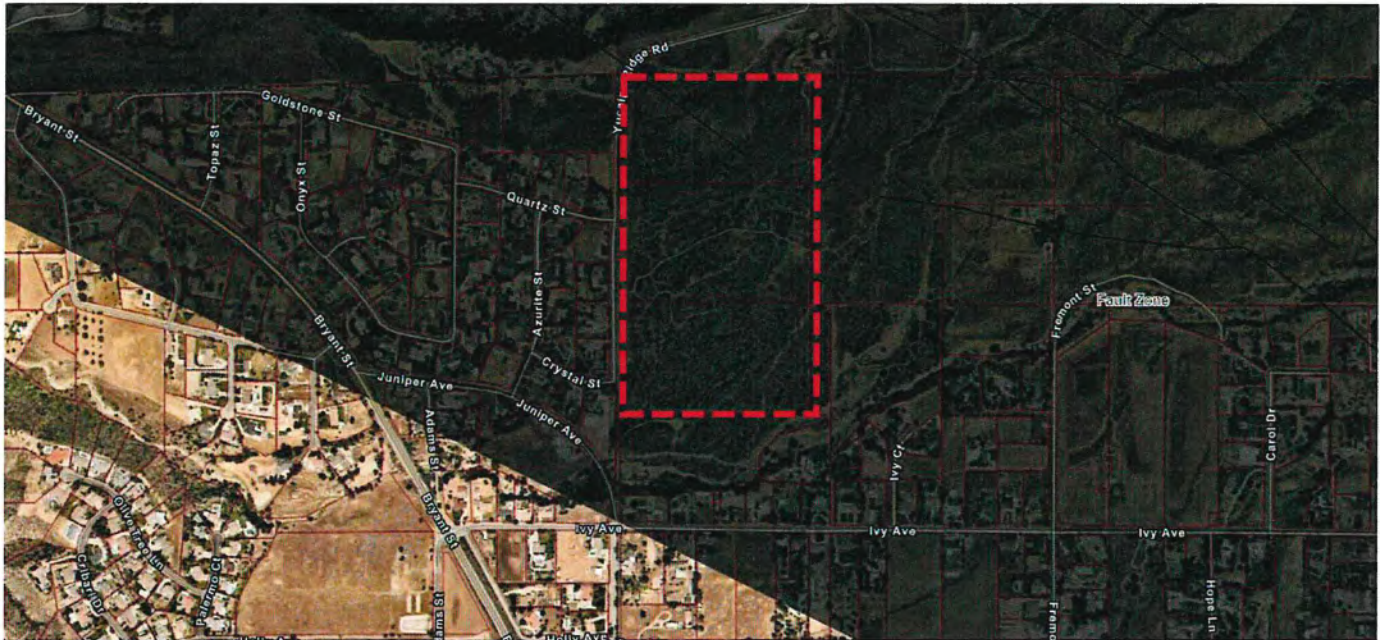
Regarding the State's Renewable Energy Portfolio Standards, the Project would be required to meet or exceed the energy standards established in the California Green Building Standards Code, Title 24, Part 11 (CALGreen). CALGreen Standards require that new buildings reduce water consumption, employ building commissioning to increase building system efficiencies, divert construction waste from landfills, and install low pollutant-emitting finish materials. Therefore, impacts in regard to the Project in conflicting with or obstructing a state or local plan for renewable energy would be less than significant.

## GEOLOGY AND SOILS

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>7. GEOLOGY AND SOILS.</b> Would the project:				
a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:				
(i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.			X	
(ii) Strong seismic ground shaking?			X	
(iii) Seismic-related ground failure, including liquefaction?			X	
(iv) Landslides?			X	
b) Result in substantial soil erosion or the loss of topsoil?				X
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?				X
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?				X
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?				X
f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		X		

To support the analysis of the Project, responses have been provided by the applicant, dated July 8, 2022, and LOR Geotechnical dated June 15, 2022, in response to a Preliminary Geotechnical Investigation dated November 22, 2005, for the subject site. These various documents are attached as Appendix D.

a) i-ii). The site is within the boundaries of an Earthquake Fault Zone as defined by the State of California Alquist-Priolo Earthquake Fault Zoning Act, and as a general note, Southern California is a seismically active area. As such, seismic shaking may occur, and seismic ground shaking and ground rupture due to movement of a fault is a potential hazard in Yucaipa. As part of the initial geotechnical investigations, prior fault studies were conducted for the site that includes 2,500 linear feet of trenching at depths up to 25 feet. Based on these prior investigations, the 2005 Preliminary Geotechnical Investigation noted that the upper native soils would “not provide uniform and/or adequate support for the proposed structures” and provides several different recommendations to ensure development complies with all applicable codes. These recommendations include that earth removals averaging approximately 3-5 feet will be necessary as part of the site preparation, which then will be followed by scarifying the soils at a depth of at least 6 inches and followed by 24 inches of properly compacted fill that is at least 90 percent relative compaction. As part of the current Project review, LOR Geotechnical notes that the current PDP/TTM plan generally incorporates the recommendations that had been previously presented including their recommended restricted use zone (R.U.Z.) along the northern portion of the site which would be avoided with the proposed PDP configuration. The applicant is currently updating their geotechnical documents to ensure compliance with today’s codes and requirements, which is needed as a uniformly applicable policy to complete the final engineering efforts that are part of the future residential building permits. However, the key conclusions and recommendations would remain applicable, and less than significant impact is anticipated with compliance with standard Conditions of Approval, which include that the required structural calculations be included with the building permit process that demonstrate that structures meet the latest Building Code standards.



a) iii-iv) The Uniform Building Code (UBC) has identified groundwater within 50 feet of the surface as a potential problem for seismic-related ground failure, including liquefaction. According to the Yucaipa General Plan, ground water can vary within the City from depths lower than 300 feet below surface elevation to as close as 40 feet. Based upon information contained within the Yucaipa General Plan, Yucaipa Valley Water District (YVWD), the San Bernardino Municipal Valley Water District, and the depth of YVWD Well # 31<sup>5</sup>, the depth to ground water at the subject property is approximately 380 feet. Due to the depth of groundwater, the potential for liquefaction near the subject area is considered minimal. According to General Plan Figure S-1, the Project site is not located in an area that is susceptible to seismically induced landslides.

b) The Project site traversed by a USGS identified drainage course<sup>6</sup> along the southeastern portion of the site, as noted in the biological resources section of this environmental document, which would be avoided with the proposed PDP design. The Project would be required to prepare and implement all National Pollutant Discharge Elimination System (NPDES) permit requirements and appropriate BMPs (Best Management Practices) through a Storm Water Pollution Prevention Plan (SWPPP) and Water Quality Management Plan (WQMP). These plans are a standard condition for Projects over one (1) acre in size and are intended to minimize soil erosion and prevent the off-site discharge of pollutants. Compliance with these provisions would ensure less than significant impacts for any future residential project.

c) See above items 6 (a) and (b). Due to the depth of groundwater and the absence of landslide hazards per the City’s General Plan for where the proposed Project is to be located, the potential for liquefaction or landslide is minimal.

d) The area subject to the PDP is not identified as being within the City’s Geologic Hazard Overlay as shown on General Plan Exhibit S-1, and is not expected to be susceptible to landslides and related phenomenon. Potential topographical constraints, such as the hillside along the northern portion of the site, would be avoided through the proposed Planned Development application. As such, the proposed Project would not impact a geologic unit or soil that is unstable and would not cause such an area to become unstable as a result of the Project.

<sup>5</sup> Surface-Water and Ground-Water Quality in the Yucaipa Area, San Bernardino and Riverside Counties, California, 1996–98 <https://pubs.usgs.gov/wri/wri004269/pdf/wrir004269.pdf>

<sup>6</sup> US Fish and Wildlife Service National Wetlands Inventory Mapper, <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>

e) The property is located within the vicinity of a YVWD sewer line, which would be extended<sup>7</sup> from Bryant Street along Juniper Avenue, then Azurite and Crystal Streets, to support the development of the Project. Any future development would be conditioned to connect to the District's infrastructure, and the use of septic tanks would not be required.

f) Figure 5.5-1 (*Paleontological Sensitivity Map*) of the General Plan EIR identifies that the subject site is located within a Paleontological Resource Sensitivity Area. According to the General Plan EIR, any development that proposes grading to occur five (5) feet below current elevation and in areas of moderate to high sensitivity or unknown paleontological sensitivity, to prepare a technical paleontological assessment by a qualified paleontologist in assessing/reporting the sensitivity of a project site for buried paleontological resources to the City of Yucaipa prior to issuance of grading permits. Therefore, implementation of Mitigation Measure MM GEO-1 would ensure that that potential impacts to paleontological resources are reduced to less than significant.

Mitigation Measures:

**GEO-1**

Applicants for future development projects in undeveloped and developed areas where grading is proposed five feet below current elevation and in areas of moderate to high sensitivity or unknown paleontological sensitivity to prepare a technical paleontological assessment prepared by a qualified paleontologist in assessing/reporting the sensitivity of a project site for buried paleontological resources to the City of Yucaipa prior to issuance of grading permits. Fossils include large and small vertebrate and invertebrate fossils; the latter recovered by screen washing of bulk samples.

If resources are known or reasonably anticipated, the assessment shall provide a detailed mitigation plan, including a monitoring program and recovery and/or in situ preservation plan, based on the recommendations of a qualified paleontologist. The mitigation plan shall include the following requirements:

- A paleontologist shall be retained for the project and shall be on call during grading and other significant ground-disturbing activities.
- Should any potentially significant fossil resources be discovered, no further grading shall occur in the area of the discovery until the City concurs in writing that adequate provisions are in place to protect these resources.
- Unanticipated discoveries shall be evaluated for significance by a San Bernardino Certified Professional Paleontologist. If significance criteria are met, then the project shall be required to collect and catalogue the fossils per San Bernardino County Museum guidelines and adequately curate fossils in an institution with appropriate staff and facilities for their scientific information potential to be preserved. A report of findings with an itemized accession inventory shall be prepared as evidence that monitoring has been successfully completed and shall be submitted and approved prior to the granting of occupancy permits.

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<sup>7</sup> Exhibit 8 of PDP

## GREENHOUSE GAS EMISSIONS

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>8. GREENHOUSE GAS EMISSIONS.</b> Would the project:				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?			X	
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?			X	

To support the analysis of the Project, an Air Quality, Global Climate Change, and Energy Impact Analysis, dated June 2022, was prepared by Ganddini Group, Inc., and is attached as Appendix A.

a) Constituent gases of the Earth’s atmosphere, called atmospheric greenhouse gases (GHG), play a critical role in the Earth’s radiation amount by trapping infrared radiation emitted from the Earth’s surface, which otherwise would have escaped to space. Prominent greenhouse gases contributing to this process include carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), ozone, water vapor, nitrous oxide (N<sub>2</sub>O), and chlorofluorocarbons (CFCs). This phenomenon, known as the Greenhouse Effect, is responsible for maintaining a habitable climate. Anthropogenic (caused or produced by humans) emissions of these greenhouse gases in excess of natural ambient concentrations are responsible for the enhancement of the Greenhouse Effect and have led to a trend of unnatural warming of the Earth’s natural climate, known as global warming or climate change.

To determine whether the Project's GHG emissions are significant, the Global Climate Change Analysis (Appendix A) utilized the SCAQMD draft screening threshold of 3,000 MTCO<sub>2</sub>e per year for all land uses. CalEEMod Version 2020.4.0 was used to calculate the GHG emissions from the proposed Project. Each source of GHG emissions is described in greater detail below.

### Area Sources

Area sources include emissions from consumer products, landscape equipment and architectural coatings. No changes were made to the default area source emissions.

### Energy Usage

Energy usage includes emissions from the generation of electricity and natural gas used on-site. No changes were made to the default energy usage parameters.

### Mobile Sources

Mobile sources include emissions from the additional vehicle miles generated from the proposed Project. The vehicle trips associated with the proposed Project have been analyzed by inputting the Project-generated vehicular trips from the Project’s traffic analysis into the CalEEMod Model. The program then applies the emission factors for each trip which is provided by the EMFAC2017 model to determine the vehicular traffic pollutant emissions.

### Waste

Waste includes the GHG emissions generated from the processing of waste from the proposed Project as well as the GHG emissions from the waste once it is interred into a landfill. AB 341 requires that 75 percent of waste be diverted from landfills by 2020, reductions for this are shown in the mitigated CalEEMod output values. No other changes were made to the default waste parameters, including any improvements that would occur through implementation of AB 1826 that governs the recycling of organic waste to further reduce GHG emissions.

### Water

Water includes the water used for the interior of the building as well as for landscaping and is based on the GHG emissions associated with the energy used to transport and filter the water. No changes were made to the default water usage parameters.

### Construction

The construction related GHG emissions were also included in the analysis and were based on a 30 year amortization rate as recommended in the SCAQMD GHG Working Group meeting on November 19, 2009. The construction related GHG emissions were calculated by CalEEMod.

The GHG emissions were calculated based on the above-described parameters. The Project's total emissions, as identified in Table 11 of Appendix A, is 683.48 MTCO<sub>2</sub>e per year. According to the thresholds of significance established above, a cumulative global climate change impact would occur if the GHG emissions created from the on-going operations of the proposed Project would exceed the SCAQMD draft threshold of 3,000 MTCO<sub>2</sub>e per year for all land uses. Therefore, operation of the Project would not create a significant cumulative impact to global climate change. No mitigation is required.

b) The proposed Project would not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases. The City adopted the *City of Yucaipa Climate Action Plan (CAP)* in September 2015. The CAP presents the greenhouse gas (GHG) inventories, identifies the effectiveness of California initiatives to reduce GHG emissions, and identifies local measures that were selected by the City to reduce GHG emissions under the City's jurisdictional control to achieve the City's identified GHG reduction target. The City of Yucaipa participated in the *San Bernardino County Regional Greenhouse Gas Reduction Plan* which presents the collective results of all local efforts to reduce GHG emissions consistent with statewide GHG targets expressed in Assembly Bill (AB) 32, the "Global Warming Solutions Act of 2006" and Senate Bill (SB) 375. The City has selected a goal to reduce their community GHG emissions by 15% below 2008 baseline levels by the year 2020.

Because the City's CAP thresholds are currently based on the year 2020, and that the proposed Project is to be operational in 2023, a comparison analysis was required to determine consistency between the City's CAP as well as the CARB Scoping Plan. The procedures for evaluating GHG impacts and determining significance for CEQA purposes are streamlined by (1) applying an emissions level that is determined to be less than significant for small projects, and (2) utilizing Screening Tables to mitigate project GHG emissions that exceed the threshold level. That CAP states that a threshold level of 3,000 MTCO<sub>2</sub>e per year will be used to identify projects that require the use of Screening Tables or a project-specific technical analysis to quantify and mitigate project emissions.

At a net level of 683.48 MTCO<sub>2</sub>e per year, the Project's GHG emissions do not exceed the SCAQMD threshold 3,000 MTCO<sub>2</sub>e per year for all land uses and would be in compliance with the reduction goals of the City's CAP, CARB Scoping Plan, AB-32, SB-32 and, does not need to accrue points through the CAP's Screening Tables. Furthermore, the Project will comply with applicable Green Building Standards and the City of Yucaipa's policies regarding sustainability (as dictated by the City's General Plan). Therefore, impacts are less than significant.

## HAZARDS AND HAZARDOUS MATERIALS

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>9. HAZARDS AND HAZARDOUS MATERIALS. Would the project?</b>				
a) Create a significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials?			X	
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			X	
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code § 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?				X
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?				X

a-b) The PDP and FDP would permit single family residential development consistent with the proposed RL-1 land use designation, with the lots consolidated towards the southerly portion of the site. It is not anticipated that a residential project would directly involve the routine transport of hazardous materials; however, equipment used at the site during construction activities could utilize substances considered by regulatory bodies as hazardous, such as diesel fuel and gasoline from typical construction equipment, and would therefore have the potential to discharge hazardous materials during construction. These types of materials are not acutely hazardous, and all storage, handling, use, and disposal of these materials are regulated by federal and state requirements, for which the project construction activities would be required to strictly adhere to. These regulations include: the federal Occupational Safety and Health Act and Hazardous Materials Transportation Act; Title 8 of the California Code of Regulations (CalOSHA), and the state Unified Hazardous Waste and Hazardous Materials Management Regulatory Program. The amount of hazardous material discharge during construction is expected to be less than significant, and the Project would be required to comply with applicable laws, ordinances and procedures. Through compliance with the aforementioned laws and requirements, and also through the implementation of a SWPPP and the WQMP requirements to prevent the off-site discharge of pollutants during construction and operation of the Project, impacts would be less than significant.

During operation of the Project, potential hazardous materials for the residential uses would be limited to routine elements associated with residential development, including the use of yard fertilizers, house cleaners and solvents, and chlorine for any swimming pools developed on individual lots, which would not represent a significant hazard. Further, no hazardous materials will be transported to or from the site during Project construction or operation.

One additional element of the PDP includes the provisions to establish an agricultural-based operation on the remainder lot for a vineyard. This element is consistent with the City's combined efforts to see a viticulture industry develop in the City and follows the Yucaipa Valley Wine Alliance's petition to establish the Yucaipa Valley American Viticultural Area. As part of the vineyard operations, pesticides and fungicides may be used to support the crop cultivation efforts. As a general practice, maintaining a buffer between these agricultural operations and other residents are helpful to minimize potential

concerns, with a minimum buffer provided of 100 feet. The proposed Project includes a 200-foot landscaped buffer to meet these standard practices. However, it should be noted that the intended operator would be the owners of North Cork Vineyards, which is an existing winery and vineyard located directly north of the subject site, and they would apply similar farming principles used in the immediate vicinity.

c-d) The proposed Project is not located within a quarter mile of a school, nor is it included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. No impacts would occur.

e) The Project site is not within two miles of a public or private airport. The nearest airport is Redlands Municipal Airport (REI), which is located over six (6) miles west from the Project site. In addition, the Project is not within the Redlands Airport Land Use Compatibility Plan. No impacts would occur with the Project.

f) The proposed Project would result in the development of three (3) parcels along the east side of Yucaipa Ridge Road. The subject site is currently designated for single family residential uses, and the proposed PDP would maintain the net residential capacity with a reconfigured layout for the site that would not impact access to users traveling along the public right-of-way. Further, Figure S-5 of the Yucaipa General Plan does not designate Yucaipa Ridge Road as a primary evacuation route, but Yucaipa Ridge Road does connect to a United States Forest Service easement, which would be improved as part of the street improvement requirements for Yucaipa Ridge Road. As such, the proposed Project will not impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan.

g) According to CAL FIRE, half of the City of Yucaipa is designated as a very high fire severity zone (VHFZ) based on fuels, terrain, and weather, and the Project site is located within Fire Safety Review Area 1 according to the City General Plan. The Project site is located within a transitional area of the City of Yucaipa, with rural residential uses to the west, and vacant lots to the east that are considered as wildland areas.

However, risks to future development from fire hazards are addressed through adherence to the City's Standard Conditions of Approval as required by the City Fire Department, which includes provisions for adequate fire access that are addressed through the Project's internal circulation design, sprinkler water systems within habitable living spaces, and the placement of new fire hydrants at applicable intervals that meet the water flow requirements of the Fire Code. Documentation from the Project applicant notes that the existing hydrants adjacent to the site provide a flow rate of 850 gallons per minute, which exceeds the Code requirement of 500. Prior to the issuance of building permits, a hydrant flow test will be required to verify the flow rate to serve the subdivision.

Other key elements, as identified in the Development Code's adopted amendments to the California Fire Code (CFC) includes that access roads and public and private streets shall not exceed a 12% grade, be capable of supporting 75,000 pounds, and built with all-weather driving capabilities, and that subdivisions must have two (2) points of vehicular ingress and egress from streets, one of which may be used for emergency purposes only. The proposed Project roadway design provides streets measuring 36 feet (curb-to-curb) in width that can meet the accessibility requirements of a fire truck, and the subdivision, which accessed from Yucaipa Ridge Road, provides connections to Bryant Street from Topaz Street and Azurite Street. General Plan Policy S-1.8, Natural Topography, notes that projects should "limit grading for future developments to the minimum amount needed to preserve Yucaipa's natural topography, preserve vegetation, and maintain soil and slope stability. The proposed Project includes a PDP and associated FDP/TTM that is designed to implement the City's Planned Development Review procedures. Pursuant to Section 83.030205 of the City's Development Code, the Planned Development purpose "is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations." Based on the topographical elements of the site, in conjunction with the City's Hillside Overlay District, the Planned Development process that results in the consolidation of the residential unit capacity towards the southerly portion of the site, which would avoid areas of steeper topography that might otherwise create conflicts with the access requirements listed in the Development Code.



The Project site is also located approximately 2.19 miles, via paved roadways, to Yucaipa Fire Station #1 at 11416 Bryant Street, Yucaipa, CA 92399. Due to the proximity to the more rural areas of Yucaipa and the neighboring unincorporated community of Oak Glen, this fire station is equipped with Paramedic Engine 551, Reserve Engine 551A, and CAL FIRE Engines 3551 & 3569, and also includes a heliopad and quick response rescue equipment to aid in wildland fire response.

## HYDROLOGY AND WATER QUALITY

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>10. HYDROLOGY AND WATER QUALITY.</b> Would the project:				
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?			X	
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?			X	
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:			X	
result in a substantial erosion or siltation on- or off-site;			X	
(ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite;			X	
(iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or			X	
(iv) impede or redirect flood flows?			X	
d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?				X
e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?				X

a) The proposed Project has the potential to release water pollutants during the construction and operation phases, which would have the potential to violate water quality standards.

Construction:

Three general sources of potential short-term, construction-related stormwater pollution associated with the proposed Project include: 1) the handling, storage, and disposal of construction materials containing pollutants; 2) the maintenance and operation of construction equipment; and 3) earthmoving activities which, when not controlled, may generate soil erosion via storm runoff or mechanical equipment.

The proposed Project would disturb approximately 39 acres of land and therefore would be subject to the NPDES permit requirements during construction activities. Prior to issuance of building permits, the Project would be required to comply with all applicable NPDES requirements through adoption and implementation of a submitted SWPPP and WQMP during the construction and operational phases of the Project. The SWPPP shall identify erosion control BMPs to minimize pollutant discharges during construction activities, and would include stabilized construction entrances, sand bagging, designated concrete washout, tire wash racks, silt fencing, and curb cut/inlet protection. The structural and nonstructural BMPs, and other measures included in the SWPPP and WQMP, would address water quality and waste discharge concerns associated with the Project. Compliance with these requirements is included as standard Conditions of Approval for the Project. As part of the review process for these documents, the City also verifies that there is a financial mechanism in place to ensure the continued maintenance of the measures proposed as part of the WQMP. Further, documentation will be provided to ensure all construction-related plans are consistent with each other. Impacts with regard to construction would be less than significant with implementation of existing regulations.

### Operation:

The development of the Project would increase the amount of impervious areas onsite by increasing the total hardscape areas onsite for the proposed development, which includes the internal streets, residential buildings, and hardscape features for the homes including their driveways, patios, and yards. To address water quality issues, several landscaped detention basins are proposed to receive and filtrate the runoff generated from the impervious surfaces. Compliance with existing federal, State, and local regulations related to water quality, implementation of BMPs included in the Project construction SWPPP, and design recommendations in the WQMP, would result in less than significant impacts.

Wastewater treatment for the Project area is provided by YVWD, and the proposed Project would be required to connect to the YVWD sewer collection and treatment system. The proposed Project would not generate hazardous wastewater that would require any special waste discharge permits. Impacts would be less than significant with implementation of existing regulations.

b) The proposed Project will use potable water provided by YVWD, and a Preliminary Service Evaluation letter has been provided by the agency indicating that they will be able to serve the Project. No hazardous materials or other materials will be injected into groundwater supplies and no wells are proposed for the Project which would have the potential to draw from the groundwater table. Further, the Project would not impact any existing groundwater recharge areas, or substantially reduce runoff to which recharge facilities would no longer be able to operate. Impacts would be less than significant.

c(i-iii)) The Project site does include an existing drainage course along the southern portion that, as noted in the biological resources section of this environmental document, would be avoided with the proposed PDP design. In addition, this channel is not a designated floodway nor is it within the 100- and 500-year floodplain. The Project site features an approximately 170-foot elevation change from the southern property line to the north, with the most notable change occurring along a ridge that forms along the northern end of the site. The proposed Project would concentrate the residential development towards the southern edge of the site, where the site features less topographical changes, but aside from the channel that is avoided with the Project design, the site does not feature any significant drainage features. In addition, the Project would not impede nor redirect flood flows.

Onsite runoff will be conveyed downslope and ultimately be discharged into the several onsite, landscaped detention basins that will be designed to accommodate 100-year storm events. In compliance with stormwater discharges, the Project will be conditioned by the City to apply to the State Water Resources Control Board (SWRCB) for coverage under the Construction General Permit (Order No. 99-08-DWQ) (CAS000002), which applies to all stormwater discharges from projects where clearing, grading, and excavation result in soil disturbance of at least one acre or more, which would be exceeded with the development of the Project. The Construction General Permit requires an applicant to prepare and implement a Storm Water Pollution Prevention Plan (SWPPP), which would include a list of best management practices (BMPs) that would be implemented to prevent soil erosion and to contain the potential for discharge of construction-related pollutants that could contaminate nearby water resources. The SWPPP may include, but not be limited to, the following BMPs:

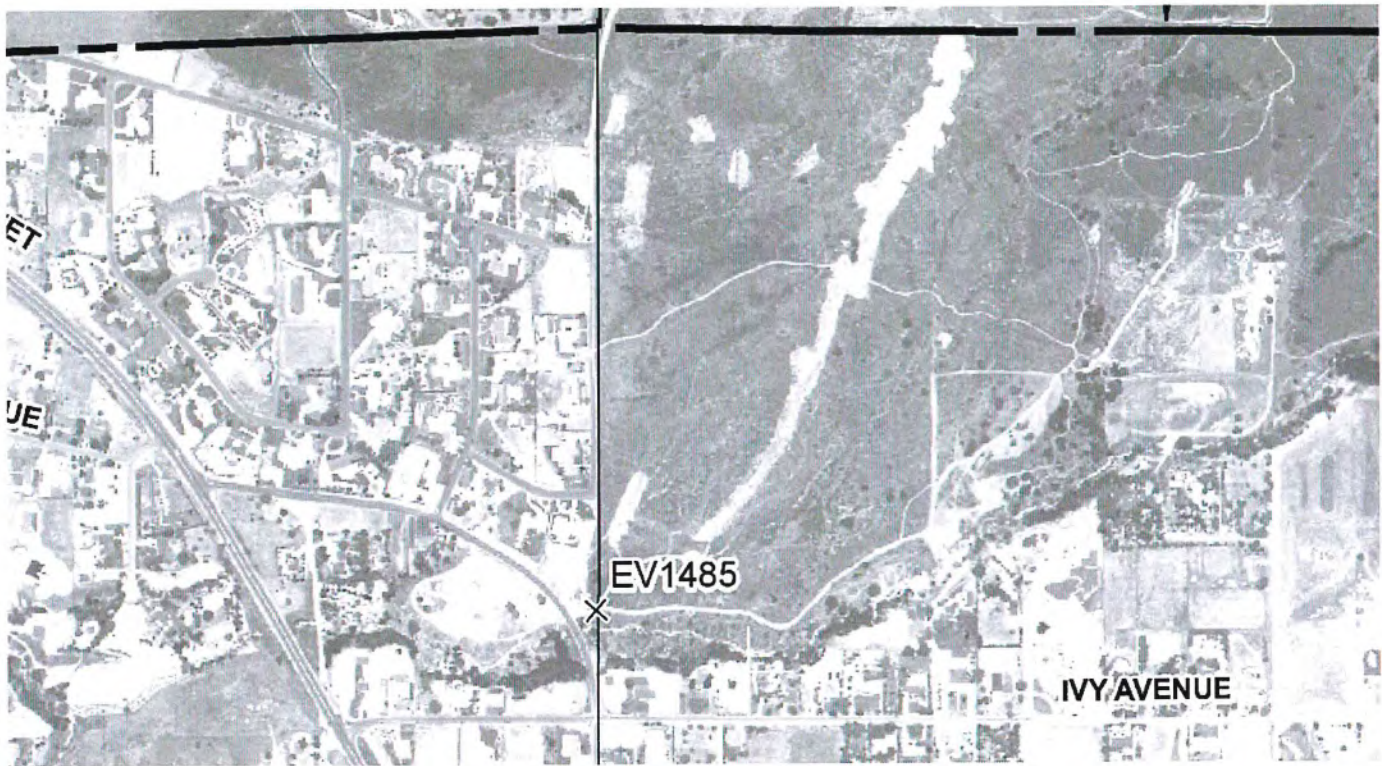
- Temporary Soil Stabilization: sandbag barriers, straw bale barriers, sediment traps, and fiber rolls;
- Temporary Sediment Control: hydraulic mulch and geotextiles;
- Wind Erosion Control: water of the construction site, straw mulch;
- Tracking Control: staging/storage area and street sweeping;
- Non-Stormwater Management: clear water diversion and dewatering; and,
- Waste Management and Materials Pollution Control: vehicle and equipment cleaning, concrete waste management, and contaminated soil management.

The Project will also be conditioned to prepare and implement a WQMP that would include BMPs to be implemented during post construction operations in order to ensure compliance with RWQCB water quality standards. Examples of WQMP BMP protocol applicable to the Project would include the following:

- Education for Property Owners, Operators, Tenants, Occupants, or Employees;
- Activity Restrictions;
- Irrigation System and Landscape Maintenance;
- Street Sweeping Private Streets and Parking Lots;
- Drainage Facility Inspection and Maintenance; and,
- Spill Prevention Control and Countermeasure Plan (SPCC)

The WQMP will be an active plan to be implemented throughout the life of Project and will require routine inspections by a qualified water quality specialist to assure compliance with the Santa Ana RWQCB. This will assure that the Project's impact with regard to violating any water quality standards will be reduced to less than significant.

c(iv)) The proposed Project site is not within a 100-year flood plain, based upon a review of the latest FEMA Flood Insurance Rate Map (FIRM) Map, 06071C8735H, revised August 28, 2008. As such, no future structures associated with the Project would be placed within a 100-year flood plain, nor would new structures impede or redirect flood flow.



Source:

Department of Homeland Security, FEMA Flood Map Service Center. <https://msc.fema.gov/portal/home>

As shown above, the proposed project would not be located within the boundaries of the 100- and 500-year flood plain. No upstream levee or dam would affect the Project site.

d) Based on review of the 2016 General Plan and recent aerial photo maps, the proposed Project is not subject to the potential effects of a seiche, tsunami, or mudflows caused by such due to lack of upstream water bodies. The City of Yucaipa is located just east of the I-10 freeway and is over 55 miles east of the Pacific Ocean with an average elevation of 2,400 feet above sea level. As such, the City is not under threat of a tsunami, otherwise known as a seismic sea wave. Similarly, the

potential for a seiche to occur is remote, given the limited number of large water bodies within Yucaipa and its sphere of influence. Therefore, no impact is expected.

e) On May 22, 2017, the City Council, adopted Resolution 2017-18, approving a Memorandum of Agreement (MOA) to form the Yucaipa Sub-Basin Groundwater Sustainability Agency (YGSA) with the Cities of Calimesa and Redlands; the South Mesa Water Company; the South Mountain Water Company; the Western Heights Water Company; the Yucaipa Valley Water District; the San Bernardino Valley Municipal Water District; and the San Gorgonio Pass Water Agency. The MOA was formally adopted by all agencies party to the Agreement, and was submitted to the State Department of Water Resources by the San Bernardino Valley Municipal Water District.

The Sustainable Groundwater Management Act (SGMA) provides the YSGA broad powers in the implementation of the YGSP and collaborative management of the Yucaipa Groundwater Sub-Basin. This includes the adoption of rules, regulations, ordinances and resolutions as may be necessary to manage and protect the basin. One of the many goals of the YSGA is the development of groundwater recharge projects. The City, in cooperation with the San Bernardino County Flood Control District, San Bernardino Valley Municipal Water District, and other partners and stakeholders have developed and constructed projects that capture and recharge storm flows for replenishment of the Yucaipa Basin. Future projects will also be developed to allow for active groundwater recharge opportunities. The proposed Project would not conflict with or obstruct implementation of the efforts of the YGSA.

The City is a municipal separate storm sewer system (MS4) stormwater permittee and participates with 20 other municipal agencies in the San Bernardino Valley region to establish Best Management Practices (BMPs) for residents, businesses, students, and governments in preventing and reducing stormwater pollution. Keeping pollutants out of stormwater is an integral component of a sustainable groundwater management program. Under the MS4 permit, the City requires new development to design and implement WQMPs that meet the San Bernardino County Technical Guideline threshold. For the development of the site, the applicant will be required to show implementation of the various structural and non-structural BMPs where applicable, and would therefore not conflict with or obstruct implementation of a water quality control plan.

## LAND USE AND PLANNING

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>11. LAND USE AND PLANNING.</b> Would the project:				
a) Physically divide an established community?				X
b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?			X	

a) Dividing an established community typically involves creating a physical barrier that changes the connectivity between areas of the community. The Project site is located on three (3) vacant and contiguous parcels along the eastern side of Yucaipa Ridge Road, a partially constructed local street. Currently, the subject site is designated as RL-1 which permits one unit per gross acre pursuant to the City’s General Plan. Based upon these requirements, the subject site is permitted to accommodate up to 52 single family lots. The development of these three (3) parcels, either with the direct application of the RL-1 standards or the implementation of the Planned Development Review procedures listed in Article 2, Chapter 3 of Division 3 of the Yucaipa Development Code, would not bisect any portion of the surrounding residential land designations, and would be completely contained within the Project area parcels. As such, no new structures that could be developed under the proposed PDP would have the potential to physically divide a community, and the Project does not propose any other action that would physically divide an established community.

b) The proposed Project includes a PDP and associated FDP/TTM that is designed to implement the City’s Planned Development Review procedures. Pursuant to Section 83.030205 of the City’s Development Code, the Planned Development purpose “is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations. This process is also intended to serve as an alternative site planning process that encourages the more creative and imaginative planning of mixed use, multiphased residential, commercial, or industrial developments within the framework of a single cohesive development plan.” Further, the City’s General Plan policy HN-3.3, Housing Incentives, states: “Facilitate the development of market rate and affordable housing through regulatory incentives (e.g., density bonus), permit processing (e.g., planned development), and other incentives, where feasible and appropriate.” Based on the topographical elements of the site, in conjunction with the City’s Hillside Overlay District, the Planned Development process that results in the consolidation of the residential unit capacity towards the southerly portion of the site would remain consistent with land use plan, policy, or regulations developed for the purpose of mitigating environmental impacts. Improvements to the project site are required to occur consistent with adopted development standards and good planning practices, and the Project’s grading and building improvements would be undertaken consistent with appropriate City standards and drainage design criteria. No policies or plans exist for avoiding or mitigating an environmental effect that have not been taken into consideration, and the Project would have a less than significant impact.

## MINERAL RESOURCES

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>12. MINERAL RESOURCES.</b> Would the project:				
a) Result in the loss of availability of a known mineral resource that would be a value to the region and the residents of the state?				X
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X

a-b) The City General Plan indicates the entire City is within an MRZ-3 (Mineral Resource Zone 3) classification, in which the significance of mineral deposit cannot be evaluated. No mining activities currently occur in the area, and no significant mineral resources are known to exist within the City of Yucaipa. Due to the size of the Project site and proximity to residential uses, the site is unlikely to be considered a viable site for mineral extraction.

## NOISE

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>13. NOISE.</b> Would the project result in:				
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X	
b) Generation of excessive groundborne vibration or groundborne noise levels?			X	
c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				X

To support the analysis of the Project, a document entitled Appendix G Checklist for Noise for TTM 20375, received June 2022, was prepared by Ganddini Group, Inc., and is attached as Appendix D.

a-b) The Project site is adjacent to residential land uses, which are considered noise sensitive land uses in the City General Plan. The General Plan and Municipal Code identify noise levels for various types of land uses, certain activities, and how noise levels are to be measured.

During the construction phases for the Project, noise and vibration will be generated from typical activities associated with new home construction, which includes the use of grading equipment, hammers, nail guns, and other typical construction techniques. No unique construction techniques or pilings would be required as part of construction that might cause excessive ground-borne vibration, and the equipment proposed for the site preparation activities would not exceed a Peak Particle Velocity (PPV) of 0.21 at a distance of 25 feet, and would therefore not exceed the threshold of 0.3 to sensitive users as the nearest receptor is over 40 feet from the site. Section 87.0905(e) of the Municipal Code allows for “Temporary construction, repair, or demolition activities between 7am and 7pm, except Sundays and Federal holidays.” While construction activities will periodically raise noise levels above their current levels, the level of noise increase is not expected to be substantial and will only occur during the limited time associated with these activities. Adherence with the Municipal Code would result in less than significant construction impacts.

The operation of future residential development within the PDP area would be similar to other types of single and multiple-family housing within the City limits. Constructed homes would feature individual HVAC units, and may also include pool pumps and other electromechanical equipment that would produce noise (when operating) but at levels that would be expected to be compliant with local regulations where received by existing residential land uses. Therefore, impacts would be less than significant.

c) The Project site is not within two miles of an airport of any type. The nearest airport is Redlands Municipal Airport (REI), which is located six (6) miles west from the Project site. In addition, the Project is not within the Redlands Airport Land Use Compatibility Plan. No impacts would occur with development of the Project.



## POPULATION AND HOUSING

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>14. POPULATION AND HOUSING.</b> Would the project:				
a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?			X	
b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?				X

a) The proposed Project is located on three (3) vacant and contiguous parcels along the eastern side of Yucaipa Ridge Road and within an area generally developed with single family residences and vacant parcels. Currently, the subject site is designated as RL-1, which permits the development of one single family unit per gross acre pursuant to the City’s General Plan. Based upon these requirements, the subject site is therefore permitted to accommodate up to 52 single family lots. The proposed Project includes the implementation of the Planned Development Review procedures listed in Article 2, Chapter 3 of Division 3 of the Yucaipa Development Code in lieu of direct application of the RL-1 standards. Pursuant to Section 83.030205 of the City’s Development Code, the Planned Development purpose “is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations.” The proposed Project does not include the development of units beyond what is currently permissible under the City’s General Plan, and therefore would not induce any substantial population growth that was unplanned for the area. As such, impacts are less than significant.

b) The Project site is currently vacant and would therefore not result in the displacement of any people nor would it require the construction of replacement housing. No impacts would occur.

## PUBLIC SERVICES

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>15. PUBLIC SERVICES.</b> Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:				
a) Fire protection?			X	
b) Police protection?			X	
c) Schools?			X	
d) Parks?			X	
e) Other public facilities?			X	

a) The City of Yucaipa is currently served by the California Department of Forestry (CAL FIRE). The Project site is accessible from an existing improved street (Yucaipa Ridge Road) and new on-site streets will be designed consistent with existing City Engineering and Fire Department standards, and would not require unique or altered fire protection services. The Project would result in improvements adjacent to an existing United States Forest Service easement along Yucaipa Ridge Road, which supports fire department access along the ridge directly outside of the city limits. As a standard Condition of Approval, developers are required to pay development impact fees for fire facilities that are assessed from the details of proposed Project. The proposed Project would have a less than significant impact on fire protection services, and would not affect fire department service ratios or response times, nor would it require the construction of any new fire facilities.

b) The San Bernardino County Sheriff’s Department currently serves the Project site and surrounding area. As a standard Condition of Approval, the Project would be required to pay development impact fees for Public facilities based upon the size of the Project site, which includes police department facilities under the City’s development impact fee program. The proposed Project would not require unique police protection services since the site has been and will continue to be accessible, and that the payment of development impact fees would off-set potential demands for increased facilities. The proposed Project would therefore have a less than significant impact.

c) The Yucaipa-Calimesa School District would serve future development in the area. As a standard Condition of Approval, developers are required to pay development impact fees to the District for school facilities, prior to issuance of building permits. Under State law, impacts to school facilities are addressed by the State of California through specific procedures, such as development impact fees and the issuance of bonds. The proposed Project would therefore have a less than significant impact.

d) The proposed Project will involve new residential development and, therefore, potentially increase the number of potential park users or affect existing park facilities. The City of Yucaipa has adopted development impact fees to off-set the potential impact of new users caused by new development. Any future residences will be required to pay these development impact fees. In addition, the proposed Project includes a lettered lot area with passive open space for the residents, and would also include the installation of multi-purpose trails that would connect to other areas for the greater north bench area of the City, serving both the Project’s residents as well as the adjoining neighborhood. The proposed Project would therefore have a less than significant impact.

e) The proposed Project would not require new or altered public facilities or services. The City requires future development to pay development impact fees for a variety of public facilities, including drainage improvements, traffic, and civic center facilities. In addition, the Project will complete street improvements and onsite drainage improvements to meet state and local requirements, and those impacts have been addressed as part of this MND. Other necessary improvements, such as water and sewer facilities, would be provided by other agencies that have the ability to require necessary facilities to be

installed by the developer and/or require payment of fees to provide for that service. Water and sewer line extensions would be provided within the public right-of-way areas to facilitate the proposed development. The proposed Project would therefore have a less than significant impact.



## RECREATION

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>16. RECREATION.</b>				
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				X
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment				X

a-b) See response to 15d. The Project includes open space and trail facilities that will be developed as part of the development, which is provided for use by the residents and provide increased connectivity for recreation. The home owners would assume the maintenance cost responsibilities for the proposed recreation facilities as an ongoing Condition of Approval.

## TRANSPORTATION/TRAFFIC

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>17. TRANSPORTATION/TRAFFIC.</b> Would the project:				
a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?			X	
b) Conflict or be inconsistent with CEQA Guidelines § 15064.3, subdivision (b)?			X	
c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
d) Result in inadequate emergency access?			X	

To support the analysis of the Project, a Transportation Study Screening Assessment, dated May 26, 2022, was prepared by Ganddini Group, Inc., and is attached as Appendix F.

a, b) The Project site is located on three (3) vacant and contiguous parcels along the eastern side of Yucaipa Ridge Road, a partially constructed local street. Currently, the subject site is designated as RL-1 which permits one unit per gross acre pursuant to the City’s General Plan. Based upon these requirements, the subject site is permitted to accommodate up to 52 single family lots. The proposed Project includes a PDP and associated FDP/TTM that is designed to implement the City’s Planned Development Review procedures, and the Project design results in the consolidation of the residential unit capacity towards the southerly portion of the site with 51 single family dwellings proposed, 16 of which will be age restricted for seniors. The development of these three (3) parcels, either with the direct application of the RL-1 standards or the implementation of the Planned Development Review procedures listed in Article 2, Chapter 3 of Division 3 of the Yucaipa Development Code maintains the expected traffic volume from the General Plan.

As part of the Project design, the installation of multi-purpose trails is proposed that would connect to other areas for the greater north bench area of the City, serving both the Project’s residents as well as the adjoining neighborhood. These features would enhance the pedestrian connectivity of the area. It should be noted that other than street improvements along the Project’s frontage of Yucaipa Ridge Road, all other streets would be interior to the subdivision and would not impact the surrounding circulation system. Additionally, the City’s Traffic Impact Analysis (TIA) Guidelines specifies that a transportation impact study with level of service (LOS) analysis should be based on one or more of the following criteria:

- When the project AM or PM peak hour trip generation is 100 or more trips.
- Projects that will add 51 or more trips during either the AM or PM peak hour to any intersection.
- When determined by the City Engineer that existing or proposed traffic conditions in the project vicinity have unique characteristics that warrant evaluation.

The proposed Project does not meet any of the above requirements to necessitate a LOS analysis. Further, pursuant to SB 743, LOS impacts are no longer considered as an environmental impact under CEQA. Instead, Section 15064.3 of the CEQA Guidelines requires vehicle miles traveled (VMT) be assessed to determine project impacts. The City’s TIA guidelines identify screening criteria for certain types of projects that typically reduce VMT and may be presumed to result in a less than significant VMT impact. One category listed in this screening criteria is for projects generating less than 400 daily vehicle trips.

Based on the trip generation rates from the Institute of Transportation Engineers Trip Generation Manual (11th Edition, 2021), the proposed Project that includes 35 single family houses and 16 age-restricted senior housing units would result in an AM Peak Hour trip rate of 29 cars, a PM Peak Hour trip rate of 38 cars, and 399 total daily trips. The proposed Project meets the City-established VMT screening criteria for small projects, and the preparation of a transportation impact study

with vehicle miles traveled (VMT) analysis is not warranted. Further, the proposed Project will have a less than significant VMT impact

c)The Project would not result in the modification of existing adjacent roadways in such way that would increase hazards to the roadway's geometric design. The Project site is located adjacent to Yucaipa Ridge Road, an existing 2-way local paved roadway that is partially constructed. The development of the site would be responsible for completing the Yucaipa Ridge Road improvements, including curb and gutter, and would not impact access to users traveling along the public right-of-way street. All of the proposed residences would receive access from the Project's internal streets, which would connect to Yucaipa Ridge Road via Quartz Street and Crystal Street. Further, the Project would result in improvements adjacent to an existing United States Forest Service easement along Yucaipa Ridge Road, which supports fire department access along the ridge directly outside of the city limits. No farm equipment, or unique road features and geometry would occur that could create an unsafe roadway conditions. Additionally, the Project will be conditioned to pay Development Impact Fees for traffic facilities to fund necessary improvements to the City's transportation network, and these fees represent the City's equivalent of the "fair share" contribution to a local fund to upgrade the area's transportation infrastructure.

d) All of the proposed residences would receive access from the Project's internal streets, which would connect to Yucaipa Ridge Road via Quartz Street and Crystal Street. Onsite driveways and parking would be designed to be consistent with the City's Engineering and Fire Department standards, and include adequate driveway widths, and adequate ingress and egress width for fire and first responder vehicles. Further, the Project would result in improvements adjacent to an existing United States Forest Service easement along Yucaipa Ridge Road, which supports fire department access along the ridge directly outside of the city limits. As discussed in wildfire-related topics, several points of access to and from the proposed Project would connect to Bryant Street, which is designated by the General Plan as a local evacuation route.

## TRIBAL RESOURCES

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>18. TRIBAL RESOURCES.</b> Would the project:				
a) Cause a substantial adverse change in the significance of a Tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:				
(i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or				X
(ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code § 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code § 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.		X		

a) The proposed Project is located on a parcel that is currently vacant and has no records of prior development, and is not designated with having a historic structure, nor other potential historic artifacts been reported onsite. Figure PR-6 of the City’s General Plan identifies that the subject site is not located within a Cultural Sensitivity Area. In 1989, a Phase I Cultural Resources Assessment entitled: “A Cultural Assessment of a 52.51 Acre Tract of Land Designated as Tentative Tract 14297 Located Near the Community of Yucaipa, San Bernardino County, California” was prepared for a previously-approved residential entitlement, and the findings of the report were reviewed by Archeological Associated on June, 1, 2022 (Appendix C). Consultation with local tribes, pursuant to AB 52, is required for the proposed Project, and additional details are included within the Tribal resources section of this MND. In accordance with AB 52 requirements, the City sent invitation letters to representatives of the Native American contacts on June 6, 2022, formally inviting tribes to consult with the City on the Project. The intent of the consultations is to provide an opportunity for interested Native American contacts to work together with the City during the Project planning process to identify and protect tribal cultural resources. A response letter was received from the Yuhaaviatam of San Manuel Nation (formerly known as the San Manuel Band of Mission Indians) requesting consultation, which concluded on June 7, 2022. As a result of the consultation efforts, mitigation measures have been developed for the Project and are included as part of the proposed Project’s Condition of Approval, and are intended to address the process should there be any inadvertent discovery of resources. Incorporation of the mitigation measures will ensure a less than significant impact.

Mitigation Measures:

- **TRI-1:** The San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed in CR-1, of any pre-contact and/or historic-era cultural resources discovered during Project implementation, and be provided information regarding the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with SMBMI, and all subsequent finds shall be subject to this Plan. This Plan shall allow for a monitor to be present that represents SMBMI for the remainder of the Project, should SMBMI elect to place a monitor on-site.
- **TRI-2:** Any and all archaeological/cultural documents created as a part of the Project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to SMBMI. The Lead Agency and/or applicant shall, in good faith, consult with SMBMI throughout the life of the project.

## UTILITIES AND SERVICE SYSTEMS

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>19. UTILITIES AND SERVICE SYSTEMS.</b> Would the project:				
a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?			X	
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?			X	
c) Result in a determination by the waste water treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments			X	
d) Generate solid waste in excess of state or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?			X	
e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?			X	

a-c) The Yucaipa Valley Water District provides potable water and wastewater treatment facilities for the north bench area of the City. The proposed Planned Development would be required to connect to the sewer system and would execute a Development Agreement with the District. As part of the Project application, the applicant has obtained a letter from the District noting that they would be able to accommodate the proposed development, and the PDP includes details on the necessary connections to be made for water and sewer infrastructure. It should be noted that prior infrastructure improvements have been developed to increase the potable water storage capabilities to meet the demand of future residents and businesses based on the City's General Plan. This includes several recharge facilities to increase water supply for potable water purposes that have been developed by the City of Yucaipa, and have helped create a more sustainable water supply as the City approaches its buildout.

d) Solid waste services in the City of Yucaipa are provided by Burrtec, and disposed of within the San Timoteo Sanitary Landfill. According to information from the CalRecycle website, operated by the State of California, this landfill has an average annual receiving capacity of 500,000 to 730,999 tons per year, and has a remaining capacity of over 21.4 million cubic yards<sup>8</sup>. Information on the CalRecycle website provides solid waste characterization databases by types of use, referenced from various environmental documents.

The agency's waste generation rates for single family development range from 10 pounds per day per dwelling unit<sup>9,10</sup>. It is estimated that the Project at full occupancy would generate approximately 510 pounds of solid waste daily. Since the daily landfill capacity is 2,000 tons per day, the landfill has the capacity to meet projected demand and impacts would be less than significant.

e) Per Title 8, Chapter 8.28 of the Municipal Code, all properties within the City are required to subscribe to refuse collection and handling services. The program is designed to collect trash, recyclables, green waste, and organic waste and to assist the City in meeting mandated AB 939 diversion goals established by the State of California. Solid waste collection and recycling services pursuant to Chapter 8.28 are a mandatory requirement for all new development in the City of Yucaipa.

<sup>8</sup> CalRecycle. n.d. SWIS Facility Detail, San Timoteo Landfill. Accessed July 7, 2022. <https://www2.calrecycle.ca.gov/SolidWaste/Site/DataExport>.

<sup>9</sup> CalRecycle Residential Sector Generation Rates. Accessed July 7, 2022. <https://www2.calrecycle.ca.gov/wastecharacterization/general/rates>

<sup>10</sup> Although the State does not officially endorse this information, it does provide some point of reference.



The Project will be required to be served by the City-approved waste disposal service, which is currently served by a contract through Burrtec Wastes Industries, Inc. for waste collection. With the Project's adherence to Chapter 8.28 guidelines, Project impacts in regard to compliance with federal, state and local management regulations will be reduced to less than significant.

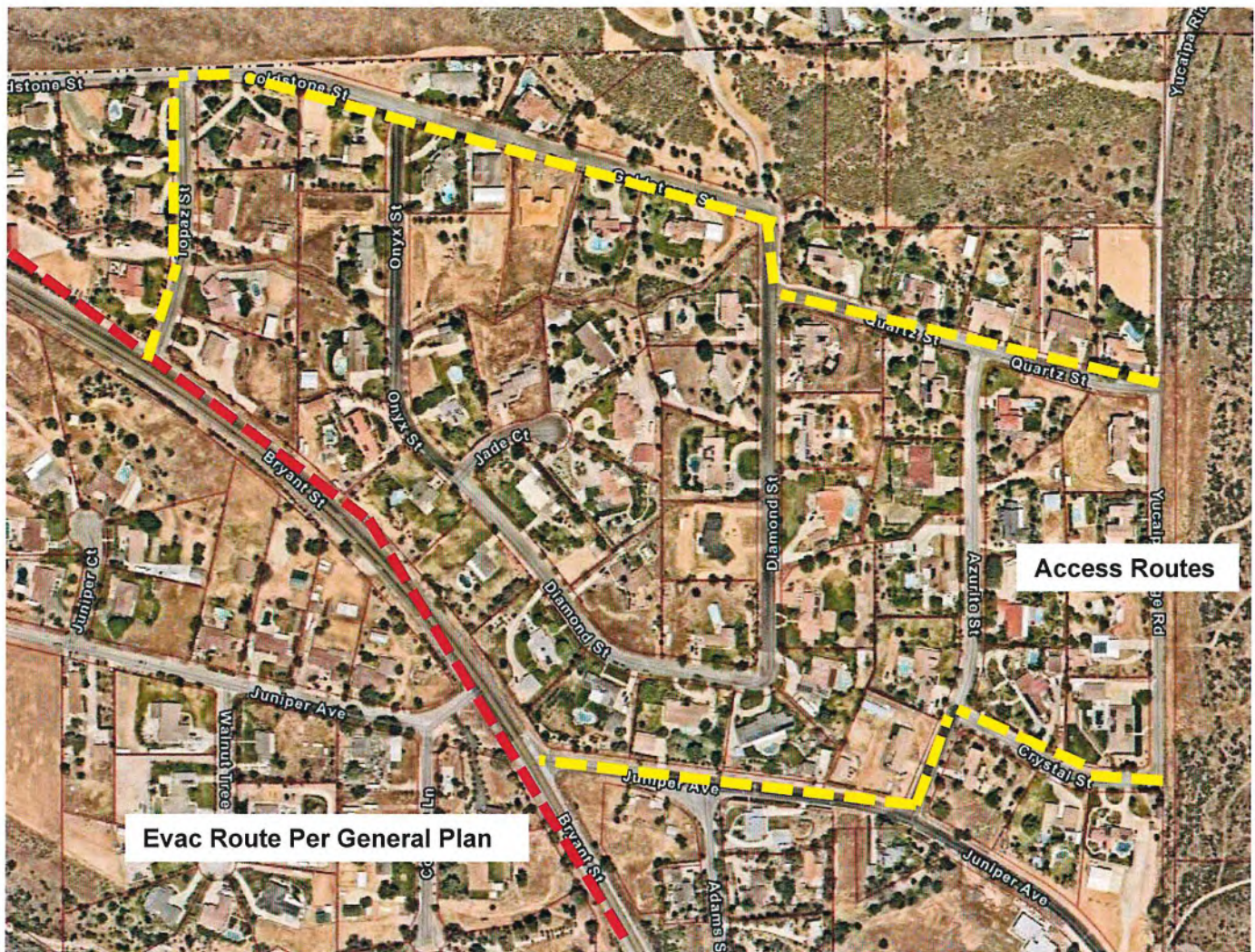
## WILDFIRE

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>20: Wildfire:</b> Would the project:				
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?			X	
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?			X	
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?			X	
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?			X	

A Wildfire Assessment, dated July 8, 2022, was prepared by Premium Land Development to provide additional information on the Project, and is attached as Appendix G

a) The Project site is located adjacent to Yucaipa Ridge Road, an existing 2-way local paved roadway that is partially constructed. The development of the site would be responsible for completing the Yucaipa Ridge Road improvements, including curb and gutter, and would not impact access to users traveling along the public right-of-way street. Figure S-5 of the Yucaipa General Plan does not designate Yucaipa Ridge Road as a local evacuation route, but does include Bryant Street as a Local Evacuation Route, which can be accessed from Azurite Street and Topaz Street. Therefore, the Project will not impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan and would have a less than significant impact. Further, the Project would result in improvements adjacent to an existing United States Forest Service easement along Yucaipa Ridge Road, which supports fire department access along the ridge directly outside of the city limits.

The Project site is also located approximately 2.19 miles, via paved roadways, to Yucaipa Fire Station #1 at 11416 Bryant Street, Yucaipa, CA 92399. Due to the proximity to the more rural areas of Yucaipa and the neighboring unincorporated community of Oak Glen, this fire station is equipped with Paramedic Engine 551, Reserve Engine 551A, and CAL FIRE Engines 3551 & 3569, and also includes a heliopad and quick response rescue equipment to aid in wildland fire response. Additional firecrews associated with the Mill Creek Hotshots are also located at the Mill Creek Ranger Station that is located at 34701 Mill Creek Rd, Mentone, CA 92359, approximately 1.1 miles away via paved roadways.



b-d) According to CAL FIRE, half of the City of Yucaipa is designated as a very high fire severity zone (VHFZ) based on fuels, terrain, and weather, and the Project site is located within Fire Safety Review Area 1 according to the City General Plan. The Project site is located within a transitional area of the City of Yucaipa, with rural residential uses to the west, and vacant lots to the east that are considered as wildland areas.

However, risks to future development from fire hazards are addressed through adherence to the City’s Standard Conditions of Approval as required by the City Fire Department, which includes provisions for adequate fire access that are addressed through the Project’s internal circulation design, sprinkler water systems within habitable living spaces, and the placement of new fire hydrants at applicable intervals that meet the water flow requirements of the Fire Code. Documentation from the Project applicant notes that the existing hydrants adjacent to the site provide a flow rate of 850 gallons per minute, which exceeds the Code requirement of 500. Prior to the issuance of building permits, a hydrant flow test will be required to verify the flow rate to serve the subdivision.

Other key elements, as identified in the Development Code’s adopted amendments to the California Fire Code (CFC) includes that access roads and public and private streets shall not exceed a 12% grade, be capable of supporting 75,000 pounds, and built with all-weather driving capabilities, and that subdivisions must have two (2) points of vehicular ingress and egress from streets, one of which may be used for emergency purposes only. The proposed Project roadway design

provides streets measuring 36 feet (curb-to-curb) in width that can meet the accessibility requirements of a fire truck. Additionally, the subdivision, which is accessed from Yucaipa Ridge Road, provides connections to Bryant Street from Topaz Street and Azurite Street. General Plan Policy S-1.8, Natural Topography, note that projects should “limit grading for future developments to the minimum amount needed to preserve Yucaipa’s natural topography, preserve vegetation, and maintain soil and slope stability. The proposed Project includes a PDP and associated FDP/TTM that is designed to implement the City’s Planned Development Review procedures. Pursuant to Section 83.030205 of the City’s Development Code, the Planned Development purpose “is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations.” Based on the topographical elements of the site, in conjunction with the City’s Hillside Overlay District, the Planned Development process that results consolidation of the residential unit capacity towards the southerly portion of the site, which would avoid areas of steeper topography that might otherwise create conflicts with access requirements listed in the Development Code. Further, additional buffering would occur through the vineyard plantings, the 200-foot landscaped buffer between agricultural uses and the residences, and landscaping provided as part of Lot D in the subdivision.

Through the City’s standard requirements and the proposed Project design, impacts from fire-related hazards would be less than significant. There are no other factors onsite that would exacerbate wildfire risks, or slopes that would pose significant risks, such as post-fire slope instability, or downstream flooding or landslides.

## MANDATORY FINDINGS OF SIGNIFICANCE

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>19. MANDATORY FINDINGS OF SIGNIFICANCE.</b>				
a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?			X	
b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)?			X	
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?			X	

a) The proposed Project will not result in significant impacts that have the potential to degrade the quality of the environment. No sensitive plant or animal species or habitats are expected to be significantly impacted by the Project site, and potentially sensitive habitat would be avoided through the proposed Planned Development design procedures. In addition, mitigation measures have been included following tribal consultation efforts to address any inadvertent discoveries of cultural or tribal resources. Currently, the subject site is designated as RL-1, which permits the development of one single family unit per gross acre pursuant to the City’s General Plan. Based upon these requirements, the subject site is therefore permitted to accommodate up to 52 single family lots. The proposed Project includes the implementation of the Planned Development Review procedures listed in Article 2, Chapter 3 of Division 3 of the Yucaipa Development Code in lieu of direct application of the RL-1 standards. Pursuant to Section 83.030205 of the City’s Development Code, the Planned Development purpose “is intended to facilitate development of properties where greater flexibility in design is desired to provide a more efficient use of land than would be possible through the strict application of land use district regulations.” The proposed Project does not include the development of units beyond what is currently permissible under the City’s General Plan, but instead consolidates the lots to create open space and agricultural opportunities. As noted within this MND, the proposed Project development would not have any significant and unavoidable impacts.

b) The proposed Project consists of a PDP and a TTM/FDP to permit the development of 51 single family homes, agricultural planting areas, and dedicated natural open areas. As part of the PDP, the Planning Area B is noted to include 16 lots that will specifically be age restricted for senior households. Given the analysis contained herein related to the potential development that could occur, the cumulative effects of this Project are not expected to result in significant impacts. The evaluation of the proposed Project utilized topical sections related to agriculture, biology, cultural, air quality, geology/soils, greenhouse gases, hydrology, land use, noise, mineral resources, population and housing, recreation, traffic, utilities, and services and did not identify potential significant or cumulative impacts that could not be mitigated to a level that is less than significant.

c) Future development as part of the Project will involve site improvements that are to be constructed consistent with existing City regulations, standards, and processes, and those of other agencies. The topical issues discussed within this document did not identify the potential for adverse effects due, in part, to the incorporation of mitigation measures and standard Conditions of Approval that be applied to any future development, which would address potential impacts or adverse effects on human beings.

## SUPPORTING INFORMATION SOURCES:

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18. Jennings Environmental, *Biological Resources Assessment and Jurisdictional Delineation*, June 2022
19. Archeological Associates, *Review of "A Cultural Assessment of a 52.51 Acre Tract of Land Designated as Tentative Tract 14297 Located Near the Community of Yucaipa, San Bernardino County, California,"* June 2022
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22. LOR Geotechnical, *Preliminary Geotechnical Investigation*, November 2005
23. Ganddini Group, Inc, *Appendix G Checklist for Noise for TTM 20375*, June 2022

24. Ganddini Group, Inc, *Transportation Study Screening Assessment*, May 2022
25. Ganddini Group, Inc, *TTM 20375 Serrano Estates Project - Lot No. 52 Effect on Transportation, Noise, and Air Quality/Greenhouse Gas Technical Studies*, July 2022
26. Premium Land Development, *Wildfire Assessment*, July 2022
27. Premium Land Development, *Preliminary Development Plan*, July 2022

**SERRANO ESTATES (TTM 20375)  
AIR QUALITY, GLOBAL CLIMATE CHANGE,  
AND ENERGY IMPACT ANALYSIS**

City of Yucaipa

June 9, 2022



Traffic Engineering • Transportation Planning • Parking • Noise & Vibration  
Air Quality • Global Climate Change • Health Risk Assessment



# **SERRANO ESTATES (TTM 20375) AIR QUALITY, GLOBAL CLIMATE CHANGE, AND ENERGY IMPACT ANALYSIS**

City of Yucaipa

June 9, 2022

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Project No. 19521

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## EXECUTIVE SUMMARY

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The purpose of this air quality, global climate change, and energy impact analysis is to provide an assessment of the impacts resulting from development of the proposed Serrano Estates (TTM 20375) project and to identify measures that may be necessary to reduce potentially significant impacts.

### *Construction-Source Emissions*

Project construction-source emissions would not exceed applicable regional thresholds of significance established by the South Coast Air Quality Management District (SCAQMD). For localized emissions, the project will not exceed applicable Localized Significance Thresholds (LSTs) established by the SCAQMD.

Project construction-source emissions would not conflict with the Basin Air Quality Management Plan (AQMP). As discussed herein, the project will comply with all applicable SCAQMD construction-source emission reduction rules and guidelines. Project construction source emissions would not cause or substantively contribute to violation of the California Ambient Air Quality Standards (CAAQS) or National Ambient Air Quality Standards (NAAQS).

Given the temporary and short-term construction schedule, the project would not result in a long-term (i.e., lifetime or 30-year) exposure to TACs as a result of project construction. Furthermore, construction-based particulate matter (PM) emissions (including diesel exhaust emissions) do not exceed any local or regional thresholds. Therefore, impacts from TACs during construction would be less than significant.

Established requirements addressing construction equipment operations, and construction material use, storage, and disposal requirements act to minimize odor impacts that may result from construction activities. Moreover, construction-source odor emissions would be temporary, short-term, and intermittent in nature and would not result in persistent impacts that would affect substantial numbers of people. Potential construction-source odor impacts are therefore considered less than significant.

### *Operational-Source Emissions*

Project operational-sourced emissions would not exceed applicable regional thresholds of significance established by the SCAQMD. Project operational-source emissions would not result in or cause a significant localized air quality or toxic air contaminant (TAC) impacts as discussed in the Operations-Related Local Air Quality Impacts section of this report. Additionally, project-related trips will not cause or result in CO concentrations exceeding applicable state and/or federal standards (CO "hotspots"). Project operational-source emissions would therefore not adversely affect sensitive receptors within the vicinity of the project.

Project operational-source emissions would not conflict with the Basin Air Quality Management Plan (AQMP). The project's emissions meet SCAQMD regional thresholds and will not result in a significant cumulative impact. The project does not propose any such uses or activities that would result in potentially significant operational-source odor impacts. Potential operational-source odor impacts are therefore considered less than significant.

### *Greenhouse Gases*

Project-related GHG emissions would not exceed the SCAQMD draft screening threshold of 3,000 MTCO<sub>2</sub>e per year for all land uses.

Furthermore, the project's GHG emissions would not exceed the SCAQMD screening threshold (based on EO S-3-05). The project would not conflict with the goals of the City of Yucaipa CAP, AB-32, SB-32, or the CARB Scoping Plan; therefore, the project would not conflict with an applicable plan, policy or regulation of an

agency adopted for the purpose of reducing the emissions of greenhouse gases and impacts are considered to be less than significant.

#### *Energy*

For new development such as that proposed by the Serrano Estates (TTM 20375) project, compliance with California Building Standards Code Title 24 energy efficiency requirements (CalGreen), are considered demonstrable evidence of efficient use of energy. As discussed below, the project would provide for, and promote, energy efficiencies required under other applicable federal and State of California standards and regulations, and in so doing would meet or exceed all California Building Standards Code Title 24 standards. Moreover, energy consumed by the project's operation is calculated to be comparable to, or less than, energy consumed by other residential uses of similar scale and intensity that are constructed and operating in California. On this basis, the project would not result in the inefficient, wasteful, or unnecessary consumption of energy. Impacts are considered to be less than significant.

# 1. INTRODUCTION

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This section describes the purpose of this air quality, global climate change, and energy impact analysis, project location, proposed development, and study area. Figure 1 shows the project location map and Figure 2 illustrates the project site plan.

## PURPOSE AND OBJECTIVES

This study was performed to address the possibility of regional/local air quality impacts and global climate change impacts, from project related air emissions. The objectives of the study include:

- documentation of the atmospheric setting
- discussion of criteria pollutants and greenhouse gases
- discussion of the air quality and global climate change regulatory framework
- analysis of the construction related air quality and greenhouse gas emissions
- analysis of the operations related air quality and greenhouse gas emissions
- analysis of the conformity of the proposed project with the SCAQMD AQMP
- analysis of the project's energy use during construction and operation
- recommendations for mitigation measures

The City of Yucaipa is the lead agency for this air quality and greenhouse gas analysis, in accordance with the California Environmental Quality Act authorizing legislation. Although this is a technical report, every effort has been made to write the report clearly and concisely. To assist the reader with terms unique to air quality and global climate change, a definition of terms has been provided in Appendix A.

## PROJECT LOCATION

The 52.0-acre project site is located at northeast corner of the Yucaipa Ridge Road and Crystal Street intersection in the City of Yucaipa, California. The project site is currently undeveloped and zoned for rural residential (RL-1) with one dwelling per acre. A vicinity map showing the project location is provided on Figure 1.

## PROJECT DESCRIPTION

The proposed project involves entitlement of a residential tract map with 35 single-family, 16 senior detached-dwelling units, and five lettered lots. Vehicle access to the proposed project will be provided by three access roadways onto Yucaipa Ridge Road. Figure 2 illustrates the proposed site plan.

## PHASING AND TIMING

The proposed project is anticipated to be operational in 2025. The project is anticipated to be built in one phase with project construction anticipated to start no sooner than the beginning of June 2023 and being completed by the beginning of January 2025. Even if construction was to occur any time after the respective dates, the analysis represents "worst-case" since emission factors for construction decrease as time passes and the analysis year increases due to emission regulations becoming more stringent.<sup>1</sup>

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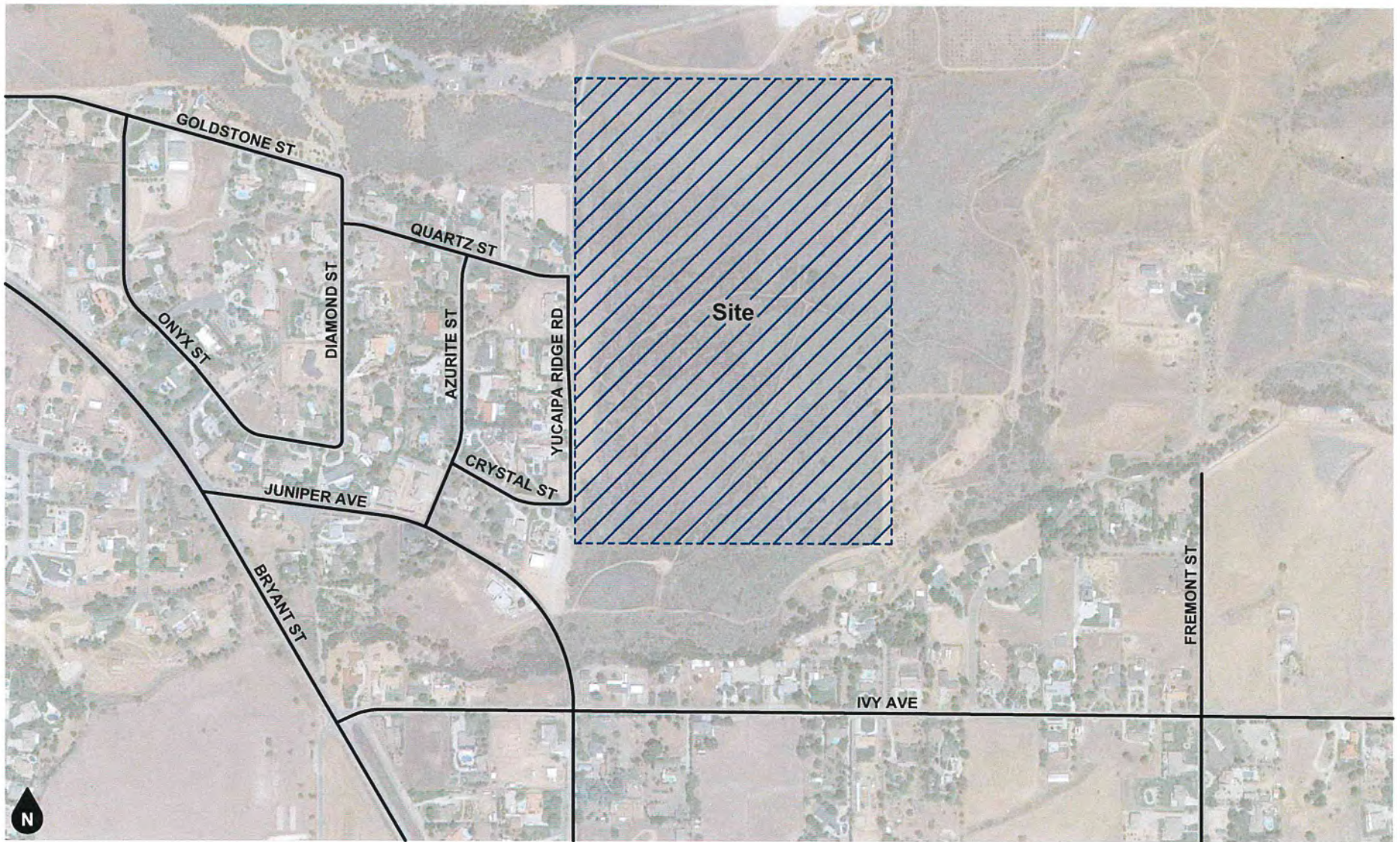
<sup>1</sup> As shown in the California Emissions Estimator Model (CalEEMod) User's Guide Version 2020.4.0, Section 4.3.2 "OFFROAD Equipment" as the analysis year increases, emission factors for the same equipment pieces decrease due to the natural turnover of older equipment being replaced by newer less polluting equipment and new regulatory requirements.

## SENSITIVE RECEPTORS IN PROJECT VICINITY

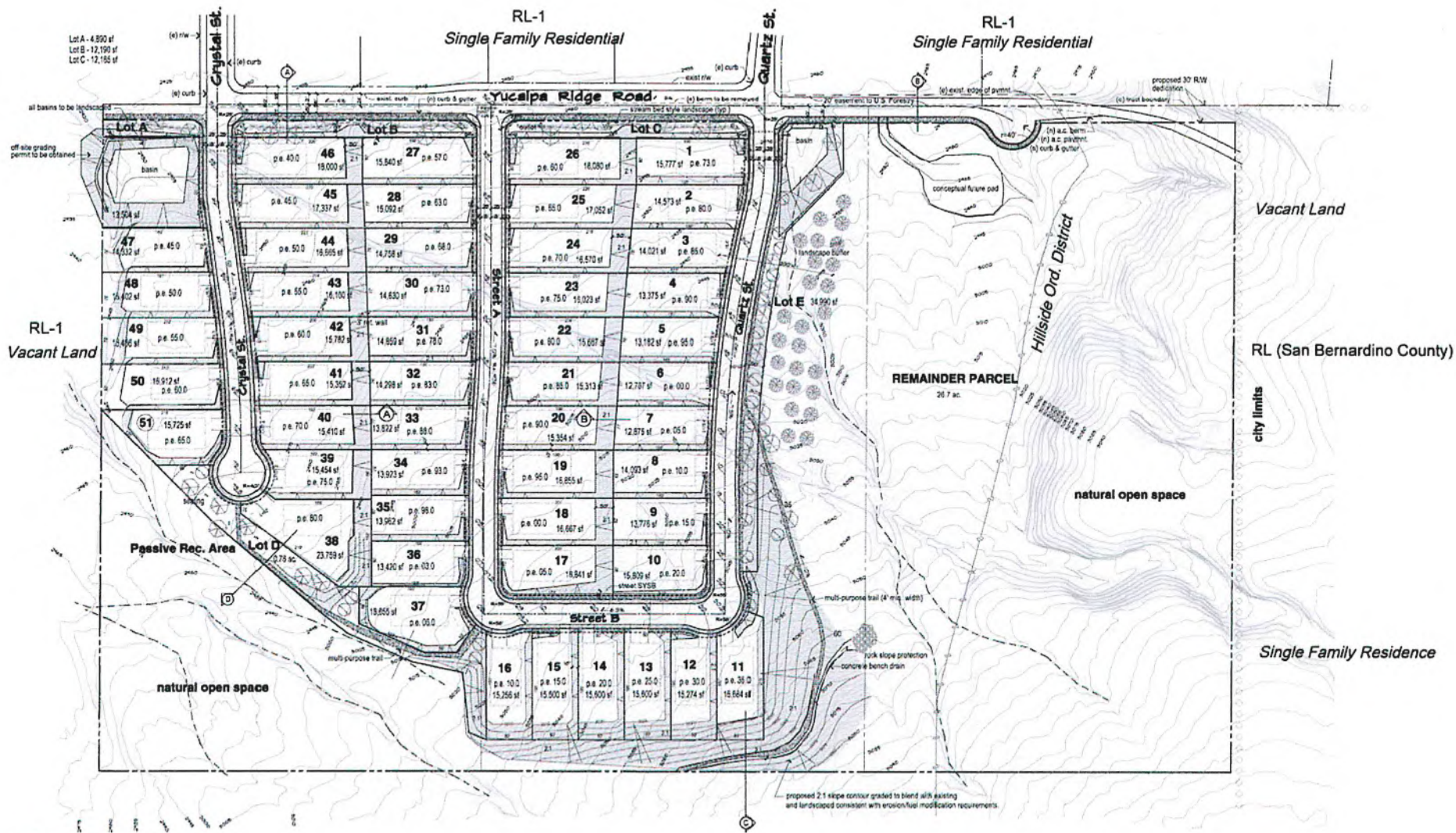
Those who are sensitive to air pollution include children, the elderly, and persons with preexisting respiratory or cardiovascular illness. For purposes of CEQA, the SCAQMD considers a sensitive receptor to be a location where a sensitive individual could remain for 24 hours, such as residences, hospitals, or convalescent facilities (South Coast Air Quality Management District 2008). Commercial and industrial facilities are not included in the definition because employees do not typically remain on-site for 24 hours.

The nearest sensitive receptors to the project site include: the single-family residential property lines located adjacent to the north (associated with the winery) and approximately 50 feet (~15 meters) to the west (across Yucaipa Ridge Road), 44 feet (~13 meters) to the south, and 793 feet (~242 meters) to the east of the boundaries of the project site. Other air quality sensitive land uses are located further from the project site and would experience lower impacts.





**Figure 1**  
**Project Location Map**



**Figure 2  
Site Plan**

## 2. AIR QUALITY ANALYSIS

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### EXISTING AIR QUALITY CONDITIONS

#### Local Air Quality

The project site is located in the City of Yucaipa in San Bernardino County, which is part of the South Coast Air Basin (Basin) that includes all of Orange County as well as the non-desert portions of Los Angeles, Riverside, and San Bernardino Counties. The South Coast Air Basin is located on a coastal plain with connecting broad valleys and low hills to the east. Regionally, the South Coast Air Basin is bounded by the Pacific Ocean to the southwest and high mountains to the east forming the inland perimeter. The project site is located toward the northeast portion of the South Coast Air Basin near the foot of the San Bernardino Mountains, which define the eastern boundary of the South Coast Air Basin.

The climate of San Bernardino County, technically called an interior valley sub climate of the Southern California's Mediterranean-type climate, is characterized by hot dry summers, mild moist winters with infrequent rainfall, moderate afternoon breezes, and generally fair weather. Occasional periods of strong Santa Ana winds and winter storms interrupt the otherwise mild weather pattern. The clouds and fog that form along the area's coastline rarely extend as far inland as western Riverside County. When morning clouds and fog form, they typically burn off quickly after sunrise. The most important weather pattern from an air quality perspective is associated with the warm season airflow across the populated areas of the Los Angeles Basin. This airflow brings polluted air into western Riverside County late in the afternoon. This transport pattern creates unhealthy air quality that may extend to the project site particularly during the summer months.

Winds are an important parameter in characterizing the air quality environment of a project site because they both determine the regional pattern of air pollution transport and control the rate of dispersion near a source. Daytime winds in western Riverside County are usually light breezes from off the coast as air moves regionally onshore from the cool Pacific Ocean to the warm Mojave Desert interior of Southern California. These winds allow for good local mixing, but as discussed above, these coastal winds carry significant amounts of industrial and automobile air pollutants from the densely urbanized western portion of the South Coast Air Basin into the interior valleys which become trapped by the mountains that border the eastern edge of the South Coast Air Basin.

In the summer, strong temperature inversions may occur that limit the vertical depth through which air pollution can be dispersed. Air pollutants concentrate because they cannot rise through the inversion layer and disperse. These inversions are more common and persistent during the summer months. Over time, sunlight produces photochemical reactions within this inversion layer that creates ozone, a particularly harmful air pollutant. Occasionally, strong thermal convections occur which allows the air pollutants to rise high enough to pass over the mountains and ultimately dilute the smog cloud.

In the winter, light nocturnal winds result mainly from the drainage of cool air off of the mountains toward the valley floor while the air aloft over the valley remains warm. This forms a type of inversion known as a radiation inversion. Such winds are characterized by stagnation and poor local mixing and trap pollutants such as automobile exhaust near their source. While these inversions may lead to air pollution "hot spots" in heavily developed coastal areas of the basin, there is not enough vehicular volumes in inland valleys to cause any winter air pollution problems. Despite light wind conditions, especially at night and in the early morning, winter is generally a period of good air quality in the project vicinity.

The temperature and precipitation levels for the Redlands area, closest monitoring site with data, are shown below in Table 1. Table 1 shows that August is typically the warmest month and December is typically the coolest month. Rainfall in the project area varies considerably in both time and space. Almost all the annual rainfall comes from the fringes of mid-latitude storms from late November to early April, with summers being almost completely dry.

**Table 1**  
**Local Monthly Climate Data**

Descriptor	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Avg. Max. Temperature	66.9	67.5	71	75.7	81	88.1	94.7	95.6	91.3	82.4	71.4	66.9
Avg. Min. Temperature	41.1	43	45.3	48.4	53.2	57.3	62.1	62.8	59.6	53.1	44.1	40.9
Avg. Total Precipitation (in.)	2.66	2.88	2.1	0.99	0.35	0.11	0.07	0.16	0.23	0.62	1.01	2.14

Source: <https://wrcc.dri.edu/cgi-bin/cliMAIN.pl?ca5790>  
Data from the Redlands, CA station (047306).

## **Pollutants**

Pollutants are generally classified as either criteria pollutants or non-criteria pollutants. Federal ambient air quality standards have been established for criteria pollutants, whereas no ambient standards have been established for non-criteria pollutants. For some criteria pollutants, separate standards have been set for different periods. Most standards have been set to protect public health. For some pollutants, standards have been based on other values (such as protection of crops, protection of materials, or avoidance of nuisance conditions). A summary of federal and state ambient air quality standards is provided in the Regulatory Framework section.

### *Criteria Pollutants*

The criteria pollutants consist of: ozone, nitrogen dioxide, carbon monoxide, sulfur dioxide, lead, and particulate matter. These pollutants can harm your health and the environment, and cause property damage. The Environmental Protection Agency (EPA) calls these pollutants "criteria" air pollutants because it regulates them by developing human health-based and/or environmentally-based criteria for setting permissible levels. The following provides descriptions of each of the criteria pollutants.

### *Nitrogen Dioxides*

Nitrogen Oxides (NO<sub>x</sub>) is the generic term for a group of highly reactive gases which contain nitrogen and oxygen. While most NO<sub>x</sub> are colorless and odorless, concentrations of nitrogen dioxide (NO<sub>2</sub>) can often be seen as a reddish-brown layer over many urban areas. NO<sub>x</sub> form when fuel is burned at high temperatures, as in a combustion process. The primary manmade sources of NO<sub>x</sub> are motor vehicles, electric utilities, and other industrial, commercial, and residential sources that burn fuel. NO<sub>x</sub> reacts with other pollutants to form, ground-level ozone, nitrate particles, acid aerosols, as well as NO<sub>2</sub>, which cause respiratory problems. NO<sub>x</sub> and the pollutants formed from NO<sub>x</sub> can be transported over long distances, following the patterns of prevailing winds. Therefore, controlling NO<sub>x</sub> is often most effective if done from a regional perspective, rather than focusing on the nearest sources.

### *Ozone*

Ozone (O<sub>3</sub>) is not usually emitted directly into the air but at ground-level is created by a chemical reaction between NO<sub>x</sub> and volatile organic compounds (VOC) in the presence of sunlight. Motor vehicle exhaust, industrial emissions, gasoline vapors, chemical solvents as well as natural sources emit NO<sub>x</sub> and VOC that help form ozone. Ground-level ozone is the primary constituent of smog. Sunlight and hot weather cause ground-level ozone to form with the greatest concentrations usually occurring downwind from urban areas. Ozone is subsequently considered a regional pollutant. Ground-level ozone is a respiratory irritant and an oxidant that increases susceptibility to respiratory infections and can cause substantial damage to vegetation and other materials. Because NO<sub>x</sub> and VOC are ozone precursors, the health effects associated with ozone are also indirect health effects associated with significant levels of NO<sub>x</sub> and VOC emissions.

### *Carbon Monoxide*

Carbon monoxide (CO) is a colorless, odorless gas that is formed when carbon in fuel is not burned completely. It is a component of motor vehicle exhaust, which contributes about 56 percent of all CO emissions nationwide. In cities, 85 to 95 percent of all CO emissions may come from motor vehicle exhaust. Other sources of CO emissions include industrial processes (such as metals processing and chemical manufacturing), residential wood burning, and natural sources such as forest fires. Woodstoves, gas stoves, cigarette smoke, and unvented gas and kerosene space heaters are indoor sources of CO. The highest levels of CO in the outside air typically occur during the colder months of the year when inversion conditions are more frequent. The air pollution becomes trapped near the ground beneath a layer of warm air. CO is described as having only a local influence because it dissipates quickly. Since CO concentrations are strongly associated with motor vehicle emissions, high CO concentrations generally occur in the immediate vicinity of roadways with high

traffic volumes and traffic congestion, active parking lots, and in automobile tunnels. Areas adjacent to heavily traveled and congested intersections are particularly susceptible to high CO concentrations.

CO is a public health concern because it combines readily with hemoglobin and thus reduces the amount of oxygen transported in the bloodstream. The health threat from lower levels of CO is most serious for those who suffer from heart disease such as angina, clogged arteries, or congestive heart failure. For a person with heart disease, a single exposure to CO at low levels may cause chest pain and reduce that person's ability to exercise; repeated exposures may contribute to other cardiovascular effects. High levels of CO can affect even healthy people. People who breathe high levels of CO can develop vision problems, reduced ability to work or learn, reduced manual dexterity, and difficulty performing complex tasks. At extremely high levels, CO is poisonous and can cause death.

#### *Sulfur Dioxide*

Sulfur Oxide (SO<sub>x</sub>) gases (including sulfur dioxide [SO<sub>2</sub>]) are formed when fuel containing sulfur, such as coal and oil is burned, and from the refining of gasoline. SO<sub>x</sub> dissolves easily in water vapor to form acid and interacts with other gases and particles in the air to form sulfates and other products that can be harmful to people and the environment.

#### *Lead*

Lead (Pb) is a metal found naturally in the environment as well as manufactured products. The major sources of lead emissions have historically been motor vehicles and industrial sources. Due to the phase out of leaded gasoline, metal processing is now the primary source of lead emissions to the air. High levels of lead in the air are typically only found near lead smelters, waste incinerators, utilities, and lead-acid battery manufacturers. Exposure of fetuses, infants and children to low levels of lead can adversely affect the development and function of the central nervous system, leading to learning disorders, distractibility, inability to follow simple commands, and lower intelligence quotient. In adults, increased lead levels are associated with increased blood pressure.

#### *Particulate Matter*

Particulate matter (PM) is the term for a mixture of solid particles and liquid droplets found in the air. Particulate matter is made up of a number of components including acids (such as nitrates and sulfates), organic chemicals, metals, and soil or dust particles. The size of particles is directly linked to their potential for causing health problems. Particles that are less than 10 micrometers in diameter (PM<sub>10</sub>) are the particles that generally pass through the throat and nose and enter the lungs. Once inhaled, these particles can affect the heart and lungs and cause serious health effects. Particles that are less than 2.5 micrometers in diameter (PM<sub>2.5</sub>) have been designated as a subset of PM<sub>10</sub> due to their increased negative health impacts and its ability to remain suspended in the air longer and travel further.

#### *Reactive Organic Gases (ROG)*

Although not a criteria pollutant, reactive organic gases (ROGs), or volatile organic compounds (VOCs), are defined as any compound of carbon—excluding carbon monoxide, carbon dioxide, carbonic acid, metallic carbides or carbonates, and ammonium carbonate—that participates in atmospheric photochemical reactions. Although there are slight differences in the definition of ROGs and VOCs, the two terms are often used interchangeably. Indoor sources of VOCs include paints, solvents, aerosol sprays, cleansers, tobacco smoke, etc. Outdoor sources of VOCs are from combustion and fuel evaporation. A reduction in VOC emissions reduces certain chemical reactions that contribute to the formulation of ozone. VOCs are transformed into organic aerosols in the atmosphere, which contribute to higher PM<sub>10</sub> and lower visibility.

## **Other Pollutants of Concern**

### *Toxic Air Contaminants*

In addition to the above-listed criteria pollutants, toxic air contaminants (TACs) are another group of pollutants of concern. Sources of toxic air contaminants include industrial processes such as petroleum refining and chrome plating operations, commercial operations such as gasoline stations and dry cleaners, and motor vehicle exhaust. Cars and trucks release at least forty different toxic air contaminants. The most important of these toxic air contaminants, in terms of health risk, are diesel particulates, benzene, formaldehyde, 1,3-butadiene, and acetaldehyde. Public exposure to toxic air contaminants can result from emissions from normal operations as well as from accidental releases. Health effects of toxic air contaminants include cancer, birth defects, neurological damage, and death.

Toxic air contaminants are less pervasive in the urban atmosphere than criteria air pollutants, however they are linked to short-term (acute) or long-term (chronic or carcinogenic) adverse human health effects. There are hundreds of different types of toxic air contaminants with varying degrees of toxicity. Sources of toxic air contaminants include industrial processes, commercial operations (e.g., gasoline stations and dry cleaners), and motor vehicle exhaust.

According to the 2013 California Almanac of Emissions and Air Quality, the majority of the estimated health risk from toxic air contaminants can be attributed to relatively few compounds, the most important of which is diesel particulate matter (DPM). Diesel particulate matter is a subset of PM<sub>2.5</sub> because the size of diesel particles are typically 2.5 microns and smaller. The identification of diesel particulate matter as a toxic air contaminant in 1998 led the California Air Resources Board (CARB) to adopt the Risk Reduction Plan to Reduce Particulate Matter Emissions from Diesel-fueled Engines and Vehicles in September 2000. The plan's goals are a 75-percent reduction in diesel particulate matter by 2010 and an 85-percent reduction by 2020 from the 2000 baseline. Diesel engines emit a complex mixture of air pollutants, composed of gaseous and solid material. The visible emissions in diesel exhaust are known as particulate matter or PM, which includes carbon particles or "soot". Diesel exhaust also contains a variety of harmful gases and over 40 other cancer-causing substances. California's identification of diesel particulate matter as a toxic air contaminant was based on its potential to cause cancer, premature deaths, and other health problems. Exposure to diesel particulate matter is a health hazard, particularly to children whose lungs are still developing and the elderly who may have other serious health problems. Overall, diesel engine emissions are responsible for the majority of California's potential airborne cancer risk from combustion sources.

### *Asbestos*

Asbestos is listed as a TAC by the ARB and as a Hazardous Air Pollutant by the EPA. Asbestos occurs naturally in mineral formations and crushing or breaking these rocks, through construction or other means, can release asbestiform fibers into the air. Asbestos emissions can result from the sale or use of asbestos-containing materials, road surfacing with such materials, grading activities, and surface mining. The risk of disease is dependent upon the intensity and duration of exposure. When inhaled, asbestos fibers may remain in the lungs and with time may be linked to such diseases as asbestosis, lung cancer, and mesothelioma. Naturally occurring asbestos is not present in San Bernardino County. The nearest likely locations of naturally occurring asbestos, as identified in the [General Location Guide for Ultramafic Rocks in California](#) prepared by the California Division of Mines and Geology, is located at Asbestos Mountain in the San Jacinto Valley; approximately 45 miles southeast of the site. Due to the distance to the nearest natural occurrences of asbestos, the project site is not likely to contain asbestos.

## **REGULATORY SETTING**

The proposed project is addressed through the efforts of various international, federal, state, regional, and local government agencies. These agencies work jointly, as well as individually, to improve air quality through

legislation, regulations, planning, policy-making, education, and a variety of programs. The agencies responsible for improving the air quality are discussed below.

### **Federal – United States Environmental Protection Agency**

The United States Environmental Protection Agency (EPA) is responsible for setting and enforcing the National Ambient Air Quality Standards (NAAQS) for atmospheric pollutants. It regulates emission sources that are under the exclusive authority of the federal government, such as aircraft, ships, and certain locomotives. The National Ambient Air Quality Standards (NAAQS) pollutants were identified using medical evidence and are shown below in Table 2.

The EPA and the California Air Resource Board (CARB) designate air basins where ambient air quality standards are exceeded as “nonattainment” areas. If standards are met, the area is designated as an “attainment” area. If there is inadequate or inconclusive data to make a definitive attainment designation, they are considered “unclassified.” National nonattainment areas are further designated as marginal, moderate, serious, severe, or extreme as a function of deviation from standards. Each standard has a different definition, or ‘form’ of what constitutes attainment, based on specific air quality statistics. For example, the Federal 8-hour CO standard is not to be exceeded more than once per year; therefore, an area is in attainment of the CO standard if no more than one 8-hour ambient air monitoring values exceeds the threshold per year. In contrast, the Federal annual PM2.5 standard is met if the three-year average of the annual average PM2.5 concentration is less than or equal to the standard. Attainment status is shown in Table 3.

As part of its enforcement responsibilities, the EPA requires each state with federal nonattainment areas to prepare and submit a State Implementation Plan (SIP) that demonstrates the means to attain the national standards. The State Implementation Plan (SIP) must integrate federal, state, and local components and regulations to identify specific measures to reduce pollution, using a combination of performance standards and market-based programs within the timeframe identified in the State Implementation Plan (SIP).

As indicated below in Table 3, the Basin has been designated by the EPA as a non-attainment area for ozone (O<sub>3</sub>) and suspended particulates (PM10 and PM2.5). Currently, the Basin is in attainment with the ambient air quality standards for carbon monoxide (CO), lead, sulfur dioxide (SO<sub>2</sub>), suspended particulate matter (PM-2.5), and nitrogen dioxide (NO<sub>2</sub>).

### **State – California Air Resources Board**

The California Air Resources Board (CARB), which is a part of the California Environmental Protection Agency, is responsible for the coordination and administration of both federal and state air pollution control programs within California. In this capacity, the CARB conducts research, sets the California Ambient Air Quality Standards (CAAQS), compiles emission inventories, develops suggested control measures, provides oversight of local programs, and prepares the State Implementation Plan (SIP). The California Ambient Air Quality Standards (CAAQS) for criteria pollutants are shown in Table 2. In addition, the CARB establishes emission standards for motor vehicles sold in California, consumer products (e.g., hairspray, aerosol paints, and barbecue lighter fluid), and various types of commercial equipment. Furthermore, the motor vehicle emission standards established by CARB include compliance with the Safer Affordable Fuel-Efficient Vehicles (SAFE) Rule, issued by NHTSA and EPA in March 2020 (published on April 30, 2020 and effective after June 29, 2020). The SAFE Rule sets fuel economy and carbon dioxide standards that increase 1.5 percent in stringency each year from model years 2021 through 2026, and apply to both passenger cars and light trucks. CARB. It also sets fuel specifications to further reduce vehicular emissions.

The South Coast Air Basin has been designated by the CARB as a nonattainment area for ozone, PM10 and PM2.5. Currently, the South Coast Air Basin is in attainment with the ambient air quality standards for CO, lead, SO<sub>2</sub>, NO<sub>2</sub>, and sulfates and is unclassified for visibility reducing particles and Hydrogen Sulfide.



On June 20, 2002, the CARB revised the PM10 annual average standard to 20 µg/m<sup>3</sup> and established an annual average standard for PM2.5 of 12 µg/m<sup>3</sup>. These standards were approved by the Office of Administrative Law in June 2003 and are now effective. On September 27, 2007 CARB approved the South Coast Air Basin and the Coachella Valley 2007 Air Quality Management Plan for Attaining the Federal 8-hour Ozone and PM2.5 Standards. The plan projected attainment for the 8-hour Ozone standard by 2024 and the PM2.5 standard by 2015.

On December 12, 2008 the CARB adopted Resolution 08-43, which limits NO<sub>x</sub>, PM10 and PM2.5 emissions from on-road diesel truck fleets that operate in California. On October 12, 2009 Executive Order R-09-010 was adopted that codified Resolution 08-43 into Section 2025, Title 13 of the California Code of Regulations. This regulation requires that by the year 2023 all commercial diesel trucks that operate in California shall meet model year 2010 (Tier 4) or latter emission standards. In the interim period, this regulation provides annual interim targets for fleet owners to meet. This regulation also provides a few exemptions including a onetime per year 3-day pass for trucks registered outside of California.

The CARB is also responsible for regulations pertaining to toxic air contaminants. The Air Toxics “Hot Spots” Information and Assessment Act (AB 2588, 1987, Connelly) was enacted in 1987 as a means to establish a formal air toxics emission inventory risk quantification program. AB 2588, as amended, establishes a process that requires stationary sources to report the type and quantities of certain substances their facilities routinely release into the South Coast Air Basin. The data is ranked by high, intermediate, and low categories, which are determined by: the potency, toxicity, quantity, volume, and proximity of the facility to nearby receptors.

*AB 617 Nonvehicular air pollution: criteria air pollutants and toxic air contaminants*

This bill requires the state board to develop a uniform statewide system of annual reporting of emissions of criteria air pollutants and toxic air contaminants for use by certain categories of stationary sources. The bill requires those stationary sources to report their annual emissions of criteria air pollutants and toxic air contaminants, as specified. This bill required the state board, by October 1, 2018, to prepare a monitoring plan regarding technologies for monitoring criteria air pollutants and toxic air contaminants and the need for and benefits of additional community air monitoring systems, as defined. The bill requires the state board to select, based on the monitoring plan, the highest priority locations in the state for the deployment of community air monitoring systems. The bill requires an air district containing a selected location, by July 1, 2019, to deploy a system in the selected location. The bill would authorize the air district to require a stationary source that emits air pollutants in, or that materially affect, the selected location to deploy a fence-line monitoring system, as defined, or other specified real-time, on-site monitoring. The bill authorizes the state board, by January 1, 2020, and annually thereafter, to select additional locations for the deployment of the systems. The bill would require air districts that have deployed a system to provide to the state board air quality data produced by the system. By increasing the duties of air districts, this bill would impose a state-mandated local program. The bill requires the state board to publish the data on its Internet Web site.

**Regional**

The SCAQMD is the agency principally responsible for comprehensive air pollution control in the South Coast Air Basin. To that end, as a regional agency, the SCAQMD works directly with the Southern California Association of Governments (SCAG), county transportation commissions, and local governments and cooperates actively with all federal and state agencies.

South Coast Air Quality Management District

The SCAQMD develops rules and regulations, establishes permitting requirements for stationary sources, inspects emission sources, and enforces such measures through educational programs or fines, when necessary. The SCAQMD is directly responsible for reducing emissions from stationary, mobile, and indirect sources. It has responded to this requirement by preparing a sequence of AQMPs. On June 30, 2016, the

SCAQMD released its Draft 2016 AQMP. The 2016 AQMP is a regional blueprint for achieving the federal air quality standards and healthful air.

#### *Air Quality Management Plan*

The 2016 AQMP includes both stationary and mobile source strategies to ensure that rapidly approaching attainment deadlines are met, that public health is protected to the maximum extent feasible, and that the region is not faced with burdensome sanctions if the Plan is not approved or if the NAAQS are not met on time. As with every AQMP, a comprehensive analysis of emissions, meteorology, atmospheric chemistry, regional growth projections, and the impact of existing control measures is updated with the latest data and methods. The most significant air quality challenge in the Basin is to reduce nitrogen oxide (NO<sub>x</sub>) emissions sufficiently to meet the upcoming ozone standard deadlines. On March 23, 2017 the CARB approved the 2016 AQMP. The primary goal of this Air Quality Management Plan is to meet clean air standards and protect public health, including ensuring benefits to environmental justice and disadvantaged communities. Now that the Plan has been approved by the CARB, it has been forwarded to the U.S. EPA for its review. The Plan was approved by the EPA on June 15, 2017.

South Coast AQMD has initiated the development of the 2022 AQMP to address the attainment of the 2015 8-hour ozone standard (70 ppb) for South Coast Air Basin and Coachella Valley. To support the development of mobile source strategies for the 2022 AQMP, South Coast AQMD, in conjunction with California Air Resources Board, has established Mobile Source Working Groups which are open to all interested parties.

#### *SCAQMD Rules and Regulations*

During construction and operation, the project must comply with applicable rules and regulations. The following are rules that the project may be required to comply with, either directly, or indirectly:

##### *SCAQMD Rule 402*

Prohibits a person from discharging from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.

##### *SCAQMD Rule 403*

Governs emissions of fugitive dust during construction and operation activities. Compliance with this rule is achieved through application of standard Best Management Practices, such as application of water or chemical stabilizers to disturbed soils, covering haul vehicles, restricting vehicle speeds on unpaved roads to 15 miles per hour, sweeping loose dirt from paved site access roadways, cessation of construction activity when winds exceed 25 mph, and establishing a permanent ground cover on finished sites.

Rule 403 requires that fugitive dust be controlled with best available control measures so that the presence of such dust does not remain visible in the atmosphere beyond the property line of the emission source. In addition, SCAQMD Rule 403 requires implementation of dust suppression techniques to prevent fugitive dust from creating a nuisance off-site. Applicable dust suppression techniques from Rule 403 are summarized below. Implementation of these dust suppression techniques can reduce the fugitive dust generation (and thus the PM<sub>10</sub> component). Compliance with these rules would reduce impacts on nearby sensitive receptors. Rule 403 measures may include but are not limited to the following:

- Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).

- Water active sites at least three times daily. (Locations where grading is to occur will be thoroughly watered prior to earthmoving.)
- Cover all trucks hauling dirt, sand, soil, or other loose materials, or maintain at least 0.6 meters (2 feet) of freeboard (vertical space between the top of the load and top of the trailer) in accordance with the requirements of California Vehicle Code section 23114.
- Reduce traffic speeds on all unpaved roads to 15 miles per hour (mph) or less.
- Suspension of all grading activities when wind speeds (including instantaneous wind gusts) exceed 25 mph.
- Bumper strips or similar best management practices shall be provided where vehicles enter and exit the construction site onto paved roads or wash off trucks and any equipment leaving the site each trip.
- Replanting disturbed areas as soon as practical.
- During all construction activities, construction contractors shall sweep on-site and off-site streets if silt is carried to adjacent public thoroughfares, to reduce the amount of particulate matter on public streets. All sweepers shall be compliant with SCAQMD Rule 1186.1, Less Polluting Sweepers.

*SCAQMD Rule 445*

Prohibits permanently installed wood burning devices into any new development. A wood burning device means any fireplace, wood burning heater, or pellet-fueled wood heater, or any similarly enclosed, permanently installed, indoor or outdoor device burning any solid fuel for aesthetic or space-heating purposes, which has a heat input of less than one million British thermal units per hour.

*SCAQMD Rule 481*

Applies to all spray painting and spray coating operations and equipment. The rule states that a person shall not use or operate any spray painting or spray coating equipment unless one of the following conditions is met:

- (1) The spray coating equipment is operated inside a control enclosure, which is approved by the Executive Officer. Any control enclosure for which an application for permit for new construction, alteration, or change of ownership or location is submitted after the date of adoption of this rule shall be exhausted only through filters at a design face velocity not less than 100 feet per minute nor greater than 300 feet per minute, or through a water wash system designed to be equally effective for the purpose of air pollution control.
- (2) Coatings are applied with high-volume low-pressure, electrostatic and/or airless spray equipment.
- (3) An alternative method of coating application or control is used which has effectiveness equal to or greater than the equipment specified in the rule.

*SCAQMD Rule 1108*

Governs the sale, use, and manufacturing of asphalt and limits the volatile organic compound (VOC) content in asphalt used in the South Coast Air Basin. This rule would regulate the VOC content of asphalt used during construction. Therefore, all asphalt used during construction of the project must comply with SCAQMD Rule 1108.

*SCAQMD Rule 1113*

Governs the sale, use, and manufacturing of architectural coating and limits the VOC content in paints and paint solvents. This rule regulates the VOC content of paints available during construction. Therefore, all paints and solvents used during construction and operation of the project must comply with SCAQMD Rule 1113.

*SCAQMD Rule 1143*

Governs the manufacture, sale, and use of paint thinners and solvents used in thinning of coating materials, cleaning of coating application equipment, and other solvent cleaning operations by limiting their VOC content. This rule regulates the VOC content of solvents used during construction. Solvents used during the construction phase must comply with this rule.

*SCAQMD Rule 1186*

Limits the presence of fugitive dust on paved and unpaved roads and sets certification protocols and requirements for street sweepers that are under contract to provide sweeping services to any federal, state, county, agency or special district such as water, air, sanitation, transit, or school district.

*SCAQMD Rule 1303*

Governs the permitting of re-located or new major emission sources, requiring Best Available Control Measures and setting significance limits for PM<sub>10</sub> among other pollutants.

*SCAQMD Rule 1401*

New Source Review of Toxic Air Contaminants, specifies limits for maximum individual cancer risk, cancer burden, and non-cancer acute and chronic hazard index from new permit units, relocations, or modifications to existing permit units, which emit toxic air contaminants.

*SCAQMD Rule 1403*

Asbestos Emissions from Demolition/Renovation Activities, specifies work practice requirements to limit asbestos emissions from building demolition and renovation activities, including the removal and associated disturbance of asbestos-containing materials (ACM).

*SCAQMD Rule 2202*

On-Road Motor Vehicle Mitigation Options, is to provide employers with a menu of options to reduce mobile source emissions generated from employee commutes, to comply with federal and state Clean Air Act requirements, Health & Safety Code Section 40458, and Section 182(d)(1)(B) of the federal Clean Air Act. It applies to any employer who employs 250 or more employees on a full or part-time basis at a worksite for a consecutive six-month period calculated as a monthly average.

*SCAQMD Rule 2305*

The Warehouse Actions and Investments to Reduce Emissions (WAIRE) Program aims to reduce nitrogen oxide and diesel emissions associated with warehouses, help meet federal standards and improve public health. The WAIRE Program is an indirect source rule that regulates warehouse facilities to reduce emissions from the goods movement industry. Owners and operators of warehouses that have 100,000 square feet or more of indoor floor space in a single building must comply with the WAIRE Program. WAIRE is a menu-based point system in which warehouse operators are required to earn a specific number of points every year. The yearly number of points required is based on the number of trucks trips made to and from the warehouse each year, with larger trucks such as tractors or tractor-trailers multiplied by 2.5. Warehouse operators may be exempt from parts of the rule if they operate less than 50,000 square feet of warehousing activities, if the number of points required is less than 10, or if the WAIRE menu action chosen under performs due to circumstances beyond the operator's control, such as a manufacturer defect. SCAQMD Rule 316 establishes fees to fund Rule 2305 compliance activities.

## Air Quality Guidance Documents

### *SCAQMD CEQA Handbook*

Although the SCAQMD is responsible for regional air quality planning efforts, it does not have the authority to directly regulate air quality issues associated with plans and new development projects throughout the South Coast Air Basin. Instead, this is controlled through local jurisdictions in accordance with the California Environmental Quality Act (CEQA). In order to assist local jurisdictions with air quality compliance issues the CEQA Air Quality Handbook (SCAQMD CEQA Handbook) prepared by the SCAQMD (1993) with the most current updates found at <http://www.aqmd.gov/ceqa/hdbk.html>, was developed in accordance with the projections and programs of the AQMP. The purpose of the SCAQMD CEQA Handbook is to assist Lead Agencies, as well as consultants, project proponents, and other interested parties in evaluating a proposed project's potential air quality impacts. Specifically, the SCAQMD CEQA Handbook explains the procedures that the SCAQMD recommends be followed for the environmental review process required by CEQA. The SCAQMD CEQA Handbook provides direction on how to evaluate potential air quality impacts, how to determine whether these impacts are significant, and how to mitigate these impacts. SCAQMD is in the process of developing an "Air Quality Analysis Guidance Handbook" to replace the CEQA Air Quality Handbook approved by the AQMD Governing Board in 1993. The 1993 CEQA Air Quality Handbook is still available but not online. In addition, there are sections of the 1993 Handbook that are obsolete. In order to assist the CEQA practitioner in conducting an air quality analysis while the new Handbook is being prepared, supplemental information regarding: significance thresholds and analysis, emissions factors, cumulative impacts emissions analysis, and other useful subjects, are available at the SCAQMD website.<sup>2</sup> The SCAQMD CEQA Handbook and supplemental information is used in this analysis.

### *Southern California Association of Governments*

The SCAG is the regional planning agency for Los Angeles, Orange, Ventura, Riverside, San Bernardino and Imperial Counties and addresses regional issues relating to transportation, the economy, community development and the environment. SCAG is the Federally designated MPO for the majority of the southern California region and is the largest MPO in the nation. With respect to air quality planning, SCAG has prepared the Regional Transportation Plan and Regional Transportation Improvement Plan (RTIP), which addresses regional development and growth forecasts. These plans form the basis for the land use and transportation components of the AQMP, which are utilized in the preparation of air quality forecasts and in the consistency analysis included in the AQMP. The Regional Transportation Plan, Regional Transportation Improvement Plan, and AQMP are based on projections originating within the City and County General Plans.

On April 7, 2016, SCAG's Regional Council adopted the 2016-2040 Regional Transportation Plan/ Sustainable Communities Strategy (2016 RTP/SCS or Plan). The Plan is a long-range visioning plan that balances future mobility and housing needs with economic, environmental and public health goals. The Plan charts a course for closely integrating land use and transportation – so that the region can grow smartly and sustainably. It outlines more than \$556.5 billion in transportation system investments through 2040. The Plan was prepared through a collaborative, continuous, and comprehensive process with input from local governments, county transportation commissions, tribal governments, non-profit organizations, businesses and local stakeholders within the counties of Imperial, Los Angeles, Orange, Riverside, San Bernardino and Ventura. In June 2016, SCAG received its conformity determination from the Federal Highway Administration (FHWA) and the Federal Transit Administration (FTA) indicating that all air quality conformity requirements for the 2016 RTP/SCS and associated 2015 FTIP Consistency Amendment through Amendment 15-12 have been met.

On May 7, 2020, SCAG's Regional Council adopted Connect SoCal (2020 - 2045 Regional Transportation Plan/Sustainable Communities Strategy) for federal transportation conformity purposes only. On September 3, 2020, SCAG's Regional Council approved and fully adopted Connect SoCal (2020 - 2045 Regional Transportation Plan/Sustainable Communities Strategy). Connect SoCal is a long-range visioning plan that

<sup>2</sup> <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook>.

builds upon and expands land use and transportation strategies established over several planning cycles to increase mobility options and achieve a more sustainable growth pattern. Connect SoCal outlines more than \$638 billion in transportation system investments through 2045. It was prepared through a collaborative, continuous, and comprehensive process with input from local governments, county transportation commissions, tribal governments, non-profit organizations, businesses and local stakeholders within the counties of Imperial, Los Angeles, Orange, Riverside, San Bernardino and Ventura.

### **Local – City of Yucaipa**

Local jurisdictions, such as the City of Yucaipa, have the authority and responsibility to reduce air pollution through its police power and decision-making authority. Specifically, the city is responsible for the assessment and mitigation of air emissions resulting from its land use decisions. The city is also responsible for the implementation of transportation control measures as outlined in the 2016 AQMP. Examples of such measures include bus turnouts, energy-efficient streetlights, and synchronized traffic signals. In accordance with CEQA requirements and the CEQA review process, the City assesses the air quality impacts of new development projects, requires mitigation of potentially significant air quality impacts by conditioning discretionary permits, and monitors and enforces implementation of such mitigation.

The city relies on the expertise of the SCAQMD and utilizes the SCAQMD CEQA Air Quality Handbook as the guidance document for the environmental review of plans and development proposals within its jurisdiction.

The Public Safety Element of the City of Yucaipa General Plan establishes goals and policies to improve air quality in the City. Applicable goals and policies include:

- Goal S-7** Air Quality and Climate Change. Clean and healthful air resources that promotes public health, protects the natural environment, and mitigates local impacts to climate change.
  
- Policy S-7.1* Integrated Planning. Integrate air quality planning with land use, economic development, and transportation-related planning to allow for the control and management of air quality.
  
- Policy S-7.2* Transportation Sources. Encourage the expansion of transit, buildout of the pedestrian and bicycle route network, support of regional ride-share programs, and other efforts to reduce vehicle miles travelled from Yucaipa and associated vehicle emissions.
  
- Policy S-7.3* Sensitive Land Uses. Protect residents from health risks by avoiding the placement of sensitive uses and land uses generating high levels of pollutants within close proximity to one another. Appropriate distances shall be determined based on best available knowledge.
  
- Policy S-7.4* Regional Cooperation. Work with the South Coast Air Quality Management District, San Bernardino Association of Governments, local cities, and other agencies and stakeholders in implementing programs that reduce air pollution.
  
- Policy S-7.8* Odor Management. Work with businesses to address odors and associated potential public nuisances from operations; where permissible under state law, require odor management plans where needed to minimize odors resulting from business operations.

**Table 2  
State and Federal Criteria Pollutant Standards**

Air Pollutant	Concentration / Averaging Time		Most Relevant Effects
	California Standards	Federal Primary Standards	
Ozone (O <sub>3</sub> )	0.09 ppm/1-hour 0.07 ppm/8-hour	0.070 ppm/8-hour	(a) Decline in pulmonary function and localized lung edema in humans and animals; (b) Risk to public health implied by alterations in pulmonary morphology and host defense in animals; (c) Increased mortality risk; (d) Risk to public health implied by altered connective tissue metabolism and altered pulmonary morphology in animals after long-term exposures and pulmonary function decrements in chronically exposed humans; (e) Vegetation damage; and (f) Property damage.
Carbon Monoxide (CO)	20.0 ppm/1-hour 9.0 ppm/8-hour	35.0 ppm/1-hour 9.0 ppm/8-hour	(a) Aggravation of angina pectoris and other aspects of coronary heart disease; (b) Decreased exercise tolerance in persons with peripheral vascular disease and lung disease; (c) Impairment of central nervous system functions; and (d) Possible increased risk to fetuses.
Nitrogen Dioxide (NO <sub>2</sub> )	0.18 ppm/1-hour 0.03 ppm/annual	100 ppb/1-hour 0.053 ppm/annual	(a) Potential to aggravate chronic respiratory disease and respiratory symptoms in sensitive groups; (b) Risk to public health implied by pulmonary and extra-pulmonary biochemical and cellular changes and pulmonary structural changes; and (c) Contribution to atmospheric discoloration.
Sulfur Dioxide (SO <sub>2</sub> )	0.25 ppm/1-hour 0.04 ppm/24-hour	75 ppb/1-hour 0.14 ppm/annual	(a) Bronchoconstriction accompanied by symptoms which may include wheezing, shortness of breath and chest tightness, during exercise or physical activity in persons with asthma.
Suspended Particulate Matter (PM <sub>10</sub> )	50 µg/m <sup>3</sup> /24-hour 20 µg/m <sup>3</sup> /annual	150 µg/m <sup>3</sup> /24-hour	(a) Exacerbation of symptoms in sensitive patients with respiratory or cardiovascular disease; (b) Declines in pulmonary function growth in children; (c) Increased risk of premature death from heart or lung diseases in elderly.
Suspended Particulate Matter (PM <sub>2.5</sub> )	12 µg/m <sup>3</sup> / annual	35 µg/m <sup>3</sup> /24-hour 12 µg/m <sup>3</sup> /annual	
Sulfates	25 µg/m <sup>3</sup> /24-hour	No Federal Standards	(a) Decrease in ventilatory function; (b) Aggravation of asthmatic symptoms; (c) Aggravation of cardio-pulmonary disease; (d) Vegetation damage; (e) Degradation of visibility; (f) property damage.
Lead	1.5 µg/m <sup>3</sup> /30-day	0.15 µg/m <sup>3</sup> /3-month rolling	(a) Learning disabilities; (b) Impairment of blood formation and nerve conduction.
Visibility Reducing Particles	Extinction coefficient of 0.23 per kilometer-visibility of 10 miles or more due to particles when humidity is less than 70 percent.	No Federal Standards	Visibility impairment on days when relative humidity is less than 70 percent.

Source: <https://ww2.arb.ca.gov/sites/default/files/2020-07/aaqs2.pdf>

**Table 3**  
**South Coast Air Basin Attainment Status**

Pollutant	State Status	National Status
Ozone	Nonattainment	Nonattainment (Extreme)
Carbon monoxide	Attainment	Maintenance (Serious)
Nitrogen dioxide	Attainment	Maintenance (Primary)
Sulfur dioxide	Attainment	Attainment/Unclassified
PM10	Nonattainment	Maintenance (Serious)
PM2.5	Nonattainment	Nonattainment (Moderate)

Source: (Federal and State Status): California Air Resources Board (2020) <https://ww2.arb.ca.gov/resources/documents/maps-state-and-federal-area-designations> & US EPA (2020) <https://www.epa.gov/green-book>.



## MONITORED AIR QUALITY

The air quality at any site is dependent on the regional air quality and local pollutant sources. Regional air quality is determined by the release of pollutants throughout the air basin. Estimates of the existing emissions in the Basin provided in the Final 2016 Air Quality Management Plan prepared by SCAQMD (March 2017) indicate that collectively, mobile sources account for 60 percent of the VOC, 90 percent of the NO<sub>x</sub> emissions, 95 percent of the CO emissions and 34 percent of directly emitted PM<sub>2.5</sub>, with another 13 percent of PM<sub>2.5</sub> from road dust.

The SCAQMD has divided the South Coast Air Basin into 38 air-monitoring areas with a designated ambient air monitoring station representative of each area. The project site is located in the East San Bernardino Valley Air Monitoring Area (Area 35). The nearest air monitoring station to the project site is the Redlands - Dearborn Monitoring Station (Redlands Station). The Redlands Station is located approximately 6.43 miles southwest of the project site at 500 N. Dearborn, Redlands. As not all monitoring stations monitor all pollutants, data was also taken from the Banning Airport Monitoring Station (Banning Station) located approximately 14.2 miles southeast of the project site at 200 S. Hathaway Street, Banning was also utilized. However, it should be noted that due to the air monitoring stations distances from the project site, recorded air pollution levels at the air monitoring station reflect with varying degrees of accuracy, local air quality conditions at the project site. Table 4 presents the monitored pollutant levels from the Redlands and Banning Stations.

Table 4 summarizes 2018 through 2020 published monitoring data, which is the most recent 3-year period available. The data shows that during the past few years, the project area has exceeded the ozone standards.

### **Ozone**

During the 2018 to 2020 monitoring period, the State 1-hour concentration standard for ozone was exceeded between 53 and 104 days each year at the Redlands Station. The State 8-hour ozone standard has been exceeded between 99 and 145 days each year over the past three years at the Redlands Station. The Federal 8-hour ozone standard was exceeded between 95 and 141 days each year over the past three years at the Redlands Station.

Ozone is a secondary pollutant as it is not directly emitted. Ozone is the result of chemical reactions between other pollutants, most importantly hydrocarbons and NO<sub>2</sub>, which occur only in the presence of bright sunlight. Pollutants emitted from upwind cities react during transport downwind to produce the oxidant concentrations experienced in the area. Many areas of the SCAQMD contribute to the ozone levels experienced at the monitoring station, with the more significant areas being those directly upwind.

### **Carbon Monoxide**

CO is another important pollutant that is due mainly to motor vehicles. The Banning Station did not record an exceedance of the state or federal 8-hour CO standard for the last three years.

### **Nitrogen Dioxide**

The Banning Station did not record an exceedance of the State or Federal NO<sub>2</sub> standards for the last three years.

### **Particulate Matter**

The State 24-hour concentration standards for PM<sub>10</sub> were exceeded for two days each year in 2018 and 2020 over the last three years at the Redlands Station. Over the past three years, the Redlands Station did not record an exceedance of the Federal 24-hour standards for PM<sub>10</sub>.

Over the last three years, there was insufficient data for the Federal 24-hour standard for PM2.5 at the Banning Station.

According to the EPA, some people are much more sensitive than others to breathing fine particles (PM10 and PM2.5). People with influenza, chronic respiratory and cardiovascular diseases, and the elderly may suffer worsening illness and premature death due to breathing these fine particles. People with bronchitis can expect aggravated symptoms from breathing in fine particles. Children may experience decline in lung function due to breathing in PM10 and PM2.5. Other groups considered sensitive are smokers and people who cannot breathe well through their noses. Exercising athletes are also considered sensitive, because many breathe through their mouths during exercise.

**Table 4  
Air Quality Monitoring Summary**

Pollutant (Standard) <sup>1</sup>		Year		
		2018	2019	2020
Ozone:	Maximum 1-Hour Concentration (ppm)	0.136	0.137	0.173
	Days > CAAQS (0.09 ppm)	<b>53</b>	<b>73</b>	<b>104</b>
	Maximum 8-Hour Concentration (ppm)	0.115	0.118	0.137
	Days > NAAQS (0.070 ppm)	<b>95</b>	<b>109</b>	<b>141</b>
	Days > CAAQS (0.070 ppm)	<b>99</b>	<b>111</b>	<b>145</b>
Carbon Monoxide: <sup>2</sup>	Maximum 8-Hour Concentration (ppm)	*	*	*
	Days > CAAQS (9 ppm)	0	0	0
	Days > NAAQS (9 ppm)	0	0	0
Nitrogen Dioxide: <sup>2</sup>	Maximum 1-Hour Concentration (ppm)	0.051	0.056	0.051
	Days > CAAQS (0.18 ppm)	0	0	0
Inhalable Particulates (PM10):	Maximum 24-Hour Concentration (µg/m <sup>3</sup> )	74.2	44.9	87.7
	Days > NAAQS (150 µg/m3)	0	0	0
	Days > CAAQS (50 µg/m3)	<b>2</b>	0	<b>2</b>
	Annual Average (µg/m3)	26.4	21.8	24.7
Ultra-Fine Particulates (PM2.5): <sup>2</sup>	Maximum 24-Hour Concentration (µg/m3)	32.0	23.4	46.7
	Days > NAAQS (35 µg/m3)	*	*	*
	Annual Average (µg/m3)	*	9.5	10.5

**Notes:**

Source: <http://www.arb.ca.gov/adam/topfour/topfour1.php>. Data from the Redlands-Dearborn Monitoring Station, unless otherwise noted.

- (1) CAAQS = California Ambient Air Quality Standard; NAAQS = National Ambient Air Quality Standard; ppm = parts per million
- \* Means there was insufficient data available to determine value.
- (2) Data taken from the Banning Airport Monitoring Station.

## AIR QUALITY STANDARDS

### Significance Thresholds

#### *Appendix G of the State CEQA Guidelines*

Appendix G of the State CEQA Guidelines states that, where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make a significance determination. Pursuant to Appendix G, the project would result in a significant impact related to air quality if it would:

- Conflict with or obstruct the implementation of the applicable air quality plan;
- Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is nonattainment under an applicable federal or state ambient air quality standard;
- Expose sensitive receptors to substantial pollutant concentrations; or
- Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people.

The CEQA Guidelines Section 15064.7 provides the significance criteria established by the applicable air quality management district or air pollution control district, when available, may be relied upon to make determinations of significance. The potential air quality impacts of the project are, therefore, evaluated according to thresholds developed by SCAQMD in their CEQA Air Quality Handbook, Air Quality Analysis Guidance Handbook, and subsequent guidance, which are listed below.<sup>3</sup> Therefore, the project would result in a potentially significant impact to air quality if it would:

AIR-1: Conflict with or obstruct the implementation of the applicable air quality plan;

AIR-2: Violate any air quality standard or contribute substantially to an existing or projected air quality violation as a result of:

- Criteria pollutant emissions during construction (direct and indirect) in excess of the SCAQMD's regional significance thresholds,
- Criteria pollutant emissions during operation (direct and indirect) in excess of the SCAQMD's regional significance thresholds.

AIR-3: Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is nonattainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors);

AIR-4: Expose sensitive receptors to substantial pollutant concentrations that would:

- Exceed SCAQMD's localized significance thresholds,
- Cause or contribute to the formation of CO hotspots.

AIR-5: Create objectionable odors affecting a substantial number of people.

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<sup>3</sup> While the SCAQMD CEQA Air Quality Handbook contains significance thresholds for lead, Project construction and operation would not include sources of lead emissions and would not exceed the established thresholds for lead. Unleaded fuel and unleaded paints have virtually eliminated lead emissions from residential land use projects such as the Project. As a result, lead emissions are not further evaluated herein.

The SCAQMD is in the process of developing an Air Quality Analysis Guidance Handbook to replace the CEQA Air Quality Handbook. In the interim, supplemental guidance has been adopted by the SCAQMD. The potential air quality impacts of the project are, therefore, evaluated according to numeric indicators developed by the SCAQMD in the CEQA Air Quality Handbook and supplemental guidance from the SCAQMD.<sup>4</sup>

### **Regional Air Quality**

Many air quality impacts that derive from dispersed mobile sources, which are the dominate pollution generators in the basin, often occurs hours later and miles away after photochemical processes have converted primary exhaust pollutants into secondary contaminants such as ozone. The incremental regional air quality impact of an individual project is generally very small and difficult to measure. Therefore, the SCAQMD has developed significance thresholds based on the volume of pollution emitted rather than on actual ambient air quality because the direct air quality impact of a project is not quantifiable on a regional scale. The SCAQMD CEQA Handbook states that any project in the South Coast Air Basin with daily emissions that exceed any of the identified significance thresholds should be considered as having an individually and cumulatively significant air quality impact. For the purposes to this air quality impact analysis, a regional air quality impact would be considered significant if emissions exceed the SCAQMD significance thresholds identified in Table 5.

### **Local Air Quality**

Project-related construction air emissions may have the potential to exceed the State and Federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the South Coast Air Basin. In order to assess local air quality impacts the SCAQMD has developed Localized Significance Thresholds (LSTs) to assess the project-related air emissions in the project vicinity. The SCAQMD has also provided Final Localized Significance Threshold Methodology (LST Methodology), June 2003, which details the methodology to analyze local air emission impacts. The Localized Significance Threshold Methodology found that the primary emissions of concern are NO<sub>2</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub>.

The significance thresholds for the local emissions of NO<sub>2</sub> and CO are determined by subtracting the highest background concentration from the last three years of these pollutants from Table 4 above, from the most restrictive ambient air quality standards for these pollutants that are outlined in the Localized Significance Thresholds. Table 5 shows the ambient air quality standards for NO<sub>2</sub>, CO, and PM<sub>10</sub> and PM<sub>2.5</sub>.

### **Toxic Air Contaminants**

#### *Construction*

Temporary TAC emissions associated with DPM emissions from heavy construction equipment would occur during the construction phase of the Project. According to the Office of Environmental Health Hazard Assessment (OEHHA)<sup>5</sup> and the SCAQMD *Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis* (August 2003),<sup>6</sup> health effects from TACs are described in terms of individual cancer risk. "Individual Cancer Risk" is the likelihood that a person exposed to concentrations of TACs over a 30-year lifetime will contract cancer based on the use of standard risk-

<sup>4</sup> While the SCAQMD CEQA Air Quality Handbook contains significance thresholds for lead, Project construction and operation would not include sources of lead emissions and would not exceed the established thresholds for lead. Unleaded fuel and unleaded paints have virtually eliminated lead emissions from residential land use projects such as the Project. As a result, lead emissions are not further evaluated herein.

<sup>5</sup> Office of Environmental Health Hazard Assessment, Air Toxic Hot Spots Program Risk Assessment Guidelines Guidance Manual for Preparation of Health Risk Assessment, February 2015, <https://oehha.ca.gov/media/downloads/crnrr/2015guidancemanual.pdf>.

<sup>6</sup> South Coast Air Quality Management District, Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis, August 2003, <http://www.aqmd.gov/docs/default-source/ceqa/handbook/mobile-source-toxics-analysis.doc?sfvrsn=2>.

assessment methodology. Additionally, the SCAQMD CEQA guidance does not require a HRA for short-term construction emissions. Construction activities associated with the project would be sporadic, transitory, and short-term in nature (approximately 19 months). Thus, construction of the project would not result in a substantial, long-term (i.e., 30-year) source of TAC emissions. Nonetheless, a qualitative assessment of TAC emissions associated with short-term construction TAC emissions is provided in the analysis section below.

#### *Operation*

The project proposes to develop the site with residential uses. Therefore, the project is not anticipated be a source of toxic air contaminants and sensitive receptors would not be exposed to toxic sources of air pollution.

#### **Odor Impacts**

The SCAQMD CEQA Handbook states that an odor impact would occur if the proposed project creates an odor nuisance pursuant to SCAQMD Rule 402, which states:

A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.

The provisions of this rule shall not apply to odors emanating from agricultural operations necessary for the growing of crops or the raising of fowl or animals.

If the proposed project results in a violation of Rule 402 with regards to odor impacts, then the proposed project would create a significant odor impact.

**Table 5  
SCAQMD Air Quality Significance Thresholds**

Mass Daily Thresholds		
Pollutant	Construction (lbs/day)	Operation (lbs/day)
NOx	100	55
VOC	75	55
PM10	150	150
PM2.5	55	55
SOx	150	150
CO	550	550
Lead	3	3
Toxic Air Contaminants, Odor and GHG Thresholds		
TACs	Maximum Incremental Cancer Risk $\geq$ 10 in 1 million Cancer Burden > 0.5 excess cancer cases (in areas $\geq$ 1 in 1 million) Chronic & Acute Hazard Index > 1.0 (project increment)	
Odor	Project creates an odor nuisance pursuant to SCAQMD Rule 402	
GHG	10,000 MT/yr CO <sub>2</sub> e for industrial projects	
Ambient Air Quality Standards		
Pollutant	SCAQMD Standards	
NO <sub>2</sub> -1-hour average	0.18 ppm (338 $\mu\text{g}/\text{m}^3$ )	
PM10 -24-hour average		
Construction	10.4 $\mu\text{g}/\text{m}^3$	
Operations	2.5 $\mu\text{g}/\text{m}^3$	
PM2.5 -24-hour average		
Construction	10.4 $\mu\text{g}/\text{m}^3$	
Operations	2.5 $\mu\text{g}/\text{m}^3$	
SO <sub>2</sub>		
1-hour average	0.25 ppm	
24-hour average	0.04 ppm	
CO		
1-hour average	20 ppm (23,000 $\mu\text{g}/\text{m}^3$ )	
8-hour average	9 ppm (10,000 $\mu\text{g}/\text{m}^3$ )	
Lead		
30-day average	1.5 $\mu\text{g}/\text{m}^3$	
Rolling 3-month average	0.15 $\mu\text{g}/\text{m}^3$	
Quarterly average	1.5 $\mu\text{g}/\text{m}^3$	

Source: <http://www.aqmd.gov/ceqa/handbook/signthres.pdf>

## SHORT-TERM CONSTRUCTION EMISSIONS

Construction activities associated with the proposed project would have the potential to generate air emissions, toxic air contaminant emissions, and odor impacts. Assumptions for the phasing, duration, and required equipment for the construction of the proposed project were obtained from the project applicant. The construction activities for the proposed project are anticipated to include: site preparation to remove existing trees etc.; grading of approximately 24.01 acres (approximate improved area of project site); construction of 35 single-family residential dwelling units and 16 senior adult housing – single family dwelling units; paving of approximately 25 percent of the site (~6 acres of on-site roadways; and application of architectural coatings. The grading phase is anticipated to have approximately 179,000 cubic yards of export. See Appendix B for more details.

The proposed project is anticipated to start construction no sooner than the beginning of June 2023 and being completed by the beginning of January 2025. The project is anticipated to be operational in 2025.

### **Methodology**

The following provides a discussion of the methodology used to calculate regional construction air emissions and an analysis of the proposed project's short-term construction emissions for the criteria pollutants. The construction-related regional air quality impacts have been analyzed for both criteria pollutants and GHGs.

Emissions are estimated using the CalEEMod (Version 2020.4.0) software, which is a statewide land use emissions computer model designed to provide a uniform platform for government agencies, land use planners, and environmental professionals to quantify potential criteria pollutant and GHG emissions from a variety of land use projects. CalEEMod was developed in collaboration with the air districts of California. Regional data (e.g., emission factors, trip lengths, meteorology, source inventory, etc.) have been provided by the various California air districts to account for local requirements and conditions. The model is considered to be an accurate and comprehensive tool for quantifying air quality and GHG impacts from land use projects throughout California and is recommended by the SCAQMD.<sup>7</sup>

Daily regional emissions during construction are forecasted by assuming a conservative estimate of construction activities (i.e., assuming all construction occurs at the earliest feasible date) and applying the mobile source and fugitive dust emissions factors. The input values used in this analysis were adjusted to be project-specific for the construction schedule and the equipment used was based on CalEEMod defaults. The CalEEMod program uses the EMFAC2017 computer program to calculate the emission rates specific for the southwestern portion of San Bernardino County for construction-related employee vehicle trips and the OFFROAD2011 computer program to calculate emission rates for heavy truck operations. EMFAC2017 and OFFROAD2011 are computer programs generated by CARB that calculates composite emission rates for vehicles. Emission rates are reported by the program in grams per trip and grams per mile or grams per running hour. Daily truck trips and CalEEMod default trip length data were used to assess roadway emissions from truck exhaust. The maximum daily emissions are estimated values for the worst-case day and do not represent the emissions that would occur for every day of project construction. The maximum daily emissions are compared to the SCAQMD daily regional numeric indicators. Detailed construction equipment lists, construction scheduling, and emission calculations are provided in Appendix B.

The project will be required to comply with existing SCAQMD rules for the reduction of fugitive dust emissions. SCAQMD Rule 403 establishes these procedures. Compliance with this rule is achieved through application of standard best management practices in construction and operation activities, such as application of water or chemical stabilizers to disturbed soils, managing haul road dust by application of water, covering haul vehicles, restricting vehicle speeds on unpaved roads to 15 mph, sweeping loose dirt from paved site access roadways, cessation of construction activity when winds exceed 25 mph and establishing a permanent,

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<sup>7</sup> South Coast Air Quality Management District, California Emissions Estimator Model, <http://www.aqmd.gov/caleemod/>.



stabilizing ground cover on finished sites. In addition, projects that disturb 50 acres or more of soil or move 5,000 cubic yards of materials per day are required to submit a Fugitive Dust Control Plan or a Large Operation Notification Form to SCAQMD. Based on the size of the Project area (approximately 52 acres; however, the improved area is only ~24.1 acres of the total site area) a Fugitive Dust Control Plan or Large Operation Notification would not be required.

SCAQMD's Rule 403 minimum requirements require that the application of the best available dust control measures is used for all grading operations and include the application of water or other soil stabilizers in sufficient quantity to prevent the generation of visible dust plumes. Compliance with Rule 403 would require the use of water trucks during all phases where earth moving operations would occur. Compliance with Rule 403 has been included in the CalEEMod modeling for the proposed project.

Per SCAQMD Rule 1113 as amended on June 3, 2011, the architectural coatings that would be applied after January 1, 2014 will be limited to an average of 50 grams per liter or less of VOCs for building coatings and 100 grams per liter or less of VOCs for traffic coatings.

The phases of the construction activities which have been analyzed below for each phase are: (1) site preparation, (2) grading, (3) building construction, (4) paving, and (5) application of architectural coatings. Details pertaining to the project's construction timing and the type of equipment modeled for each construction phase are available in the CalEEMod output in Appendix B.

### **Construction-Related Regional Impacts**

The construction-related criteria pollutant emissions for each phase are shown below in Table 6. Table 6 shows that none of the project's emissions will exceed regional thresholds. Therefore, a less than significant regional air quality impact would occur from construction of the proposed project.

### **Construction-Related Local Impacts**

Construction-related air emissions may have the potential to exceed the State and Federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the South Coast Air Basin. The proposed project has been analyzed for the potential local air quality impacts created from: construction-related fugitive dust and diesel emissions; from toxic air contaminants; and from construction-related odor impacts.

#### *Local Air Quality Impacts from Construction*

The SCAQMD has published a "Fact Sheet for Applying CalEEMod to Localized Significance Thresholds" (South Coast Air Quality Management District 2011b). CalEEMod calculates construction emissions based on the number of equipment hours and the maximum daily disturbance activity possible for each piece of equipment. In order to compare CalEEMod reported emissions against the localized significance threshold lookup tables, the CEQA document should contain the following parameters:

- (1) The off-road equipment list (including type of equipment, horsepower, and hours of operation) assumed for the day of construction activity with maximum emissions.
- (2) The maximum number of acres disturbed on the peak day.
- (3) Any emission control devices added onto off-road equipment.
- (4) Specific dust suppression techniques used on the day of construction activity with maximum emissions.

The CalEEMod output in Appendix B show the equipment used for this analysis.

As shown in Table 7, the maximum number of acres disturbed in a day would be 4 acres during grading. The local air quality emissions from construction were analyzed using the SCAQMD's Mass Rate Localized

Significant Threshold Look-up Tables and the methodology described in Localized Significance Threshold Methodology prepared by SCAQMD (revised July 2008). The Look-up Tables were developed by the SCAQMD in order to readily determine if the daily emissions of CO, NOx, PM10, and PM2.5 from the proposed project could result in a significant impact to the local air quality. The emission thresholds were calculated based on the East San Bernardino Valley source receptor area (SRA) 35 and a disturbance value of four acres per day.<sup>8</sup> According to LST Methodology, any receptor located closer than 25 meters (82 feet) shall be based on the 25-meter thresholds. The nearest sensitive receptors to the project site are the single-family residential property lines located adjacent to the north and approximately 50 feet (~15 meters) to the west, 44 feet (~13 meters) to the south, and 793 feet (~242 meters) to the east of the boundaries of the project site; therefore, the SCAQMD Look-up Tables for 25 meters was used. Table 8 shows the on-site emissions from the CalEEMod model for the different construction phases and the LST emissions thresholds.

The data provided in Table 8 shows that none of the analyzed criteria pollutants would exceed the local emissions thresholds at the nearest sensitive receptors. Therefore, a less than significant local air quality impact would occur from construction of the proposed project.

### **Construction-Related Human Health Impacts**

Regarding health effects related to criteria pollutant emissions, the applicable significance thresholds are established for regional compliance with the state and federal ambient air quality standards, which are intended to protect public health from both acute and long-term health impacts, depending on the potential effects of the pollutant. Because regional and local emissions of criteria pollutants during construction of the project would be below the applicable thresholds, it would not contribute to long-term health impacts related to nonattainment of the ambient air quality standards. Therefore, significant adverse acute health impacts as a result of project construction are not anticipated.

### **Construction-Related Toxic Air Contaminant Impacts**

The greatest potential for toxic air contaminant emissions would be related to diesel particulate emissions associated with heavy equipment operations during construction of the proposed project. According to the Office of Environmental Health Hazard Assessment (OEHHA)<sup>9</sup> and the SCAQMD *Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis* (August 2003),<sup>10</sup> health effects from TACs are described in terms of individual cancer risk based on a lifetime (i.e., 30-year) resident exposure duration. Given the temporary and short-term construction schedule (approximately 19 months), the project would not result in a long-term (i.e., lifetime or 30-year) exposure as a result of project construction. Furthermore, construction-based particulate matter (PM) emissions (including diesel exhaust emissions) do not exceed any local or regional thresholds.

The project would comply with the CARB Air Toxics Control Measure that limits diesel powered equipment and vehicle idling to no more than 5 minutes at a location, and the CARB In-Use Off-Road Diesel Vehicle Regulation; compliance with these would minimize emissions of TACs during construction. The project would also comply with the requirements of SCAQMD Rule 1403 if asbestos is found during the renovation and construction activities. Therefore, impacts from TACs during construction would be less than significant.

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<sup>8</sup> The 4 acre threshold was interpolated based on the 2 acre and 5 acre thresholds at a distance of 25 meters.

<sup>9</sup> Office of Environmental Health Hazard Assessment, Air Toxic Hot Spots Program Risk Assessment Guidelines Guidance Manual for Preparation of Health Risk Assessment, February 2015, <https://oehha.ca.gov/media/downloads/crrnr/2015guidancemanual.pdf>.

<sup>10</sup> South Coast Air Quality Management District, Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis, August 2003, <http://www.aqmd.gov/docs/default-source/ceqa/handbook/mobile-source-toxics-analysis.doc?sfvrsn=2>.

### **Construction-Related Odor Impacts**

Potential sources that may emit odors during construction activities include the application of materials such as asphalt pavement. The objectionable odors that may be produced during the construction process are of short-term in nature and the odor emissions are expected to cease upon the drying or hardening of the odor producing materials. Due to the short-term nature and limited amounts of odor producing materials being utilized, no significant impact related to odors would occur during construction of the proposed project. Diesel exhaust and VOCs would be emitted during construction of the project, which are objectionable to some; however, emissions would disperse rapidly from the project site and therefore should not reach an objectionable level at the nearest sensitive receptors.

**Table 6  
Construction-Related Regional Pollutant Emissions**

Activity		Pollutant Emissions (pounds/day)					
		ROG	NOx	CO	SO <sub>2</sub>	PM10	PM2.5
Site Preparation	On-Site <sup>1</sup>	2.66	27.52	18.24	0.04	8.93	5.10
	Off-Site <sup>2</sup>	0.07	0.04	0.68	0.00	0.20	0.05
	Subtotal	2.73	27.57	18.92	0.04	9.13	5.16
Grading	On-Site <sup>1</sup>	3.32	34.52	28.05	0.06	5.19	2.76
	Off-Site <sup>2</sup>	1.28	57.70	17.58	0.28	9.51	3.00
	Subtotal	4.60	92.21	45.63	0.34	14.70	5.76
Building Construction	On-Site <sup>1</sup>	1.57	14.38	16.24	0.03	0.70	0.66
	Off-Site <sup>2</sup>	0.86	3.24	8.59	0.03	2.73	0.76
	Subtotal	2.44	17.62	24.84	0.06	3.43	1.41
Paving	On-Site <sup>1</sup>	1.77	9.52	14.63	0.02	0.47	0.43
	Off-Site <sup>2</sup>	0.05	0.03	0.53	0.00	0.17	0.05
	Subtotal	1.83	9.56	15.15	0.02	0.64	0.48
Architectural Coating	On-Site <sup>1</sup>	30.68	1.22	1.81	0.00	0.06	0.06
	Off-Site <sup>2</sup>	0.15	0.09	1.40	0.00	0.45	0.12
	Subtotal	30.82	1.31	3.21	0.01	0.51	0.18
Total for overlapping phases <sup>3</sup>		35.09	28.48	43.21	0.09	4.58	2.07
SCAQMD Thresholds		75	100	550	150	150	55
Exceeds Thresholds?		No	No	No	No	No	No

**Notes:**

Source: CalEEMod Version 2020.4.0

- (1) On-site emissions from equipment operated on-site that is not operated on public roads. Site preparation and on-site grading PM-10 and PM-2.5 emissions show mitigated values for fugitive dust for compliance with SCAQMD Rule 403.
- (2) Off-site emissions from equipment operated on public roads.
- (3) Construction, painting and paving phases may overlap.

**Table 7  
Maximum Number of Acres Disturbed Per Day**

Activity	Equipment	Number	Acres/8hr-day	Total Acres
Site Preparation	Rubber Tired Dozers	3	0.5	1.5
	Crawler Tractors <sup>1</sup>	4	0.5	2
Total for phase		-	-	3.5
Grading	Rubber Tired Dozers	1	0.5	0.5
	Scrapers	2	1	2
	Graders	1	0.5	0.5
	Crawler Tractors <sup>1</sup>	2	0.5	1
Total for phase		-	-	4

Notes:

Source: South Coast AQMD, Fact Sheet for Applying CalEEMod to Localized Significance Thresholds, 2011b.

(1) Tractor/loader/backhoe is a suitable surrogate for a crawler tractor per SCAQMD staff.

**Table 8  
Local Construction Emissions at the Nearest Receptors**

Activity	On-Site Pollutant Emissions (pounds/day)			
	NOx	CO	PM10	PM2.5
Site Preparation	27.52	18.24	8.93	5.10
Grading	34.52	28.05	5.19	2.76
Building Construction	14.38	16.24	0.70	0.66
Paving	9.52	14.63	0.47	0.43
Architectural Coating	1.22	1.81	0.06	0.06
SCAQMD Thresholds <sup>1,2</sup>	237	1,775	12	8
Exceeds Threshold?	No	No	No	No

Notes:

Source: Calculated from CalEEMod and SCAQMD's Mass Rate Look-up Tables for 4 acres at a distance of 25 m in SRA 35 East San Bernardino Valley.

- (1) The nearest sensitive receptors are the single-family residential property lines located adjacent to the north (associated with the winery) and approximately 50 feet (~15 meters) to the west (across Yucaipa Ridge Road), 44 feet (~13 meters) to the south, and 793 feet (~242 meters) to the east of the boundaries of the project site; therefore, the 25 meter threshold was used.
- (2) The 4 acre threshold was interpolated based on the 2 acre and 5 acre thresholds at a distance of 25 meters.  
Note: The project will disturb up to a maximum of 4 acres a day during grading (see Table 7).

## LONG-TERM OPERATIONAL EMISSIONS

The on-going operation of the proposed project would result in a long-term increase in air quality emissions. This increase would be due to emissions from the project-generated vehicle trips and through operational emissions from the on-going use of the proposed project. The following section provides an analysis of potential long-term air quality impacts due to: regional air quality and local air quality impacts with the on-going operations of the proposed project.

### **Operations-Related Regional Air Quality Impacts**

The potential operations-related air emissions have been analyzed below for the criteria pollutants and cumulative impacts.

#### *Operations-Related Criteria Pollutants Analysis*

The operations-related criteria air quality impacts created by the proposed project have been analyzed through the use of the CalEEMod model. The operating emissions were based on the year 2025, which is the anticipated opening year for the proposed project. The operations daily emissions printouts from the CalEEMod model are provided in Appendix B. The CalEEMod analyzes operational emissions from area sources, energy usage, and mobile sources, which are discussed below.

#### *Mobile Sources*

Mobile sources include emissions from the additional vehicle miles generated from the proposed project. The vehicle trips associated with the proposed project have been analyzed by inputting the project-generated vehicular trips (trip generation rate) from the Serrano Estates (TTM 20375) Transportation Study Screening Assessment (Transportation Screening Assessment) prepared by Ganddini Group, Inc. (May 26, 2022) into the CalEEMod Model. The Transportation Screening Assessment found that the proposed project would create approximately 399 vehicle trips per day with a trip generation rate of 9.43 trips per dwelling unit per day for the single-family detached housing uses and 4.31 trips per dwelling unit per day for the senior adult housing single-family uses. The program then applies the emission factors for each trip which is provided by the EMFAC2017 model to determine the vehicular traffic pollutant emissions.

#### *Area Sources*

Per the CAPCOA Appendix A Calculation Details for CalEEMod, area sources include emissions from consumer products, landscape equipment and architectural coatings. Landscape maintenance includes fuel combustion emissions from equipment such as lawn mowers, rototillers, shredders/grinders, blowers, trimmers, chain saws, and hedge trimmers, as well as air compressors, generators, and pumps. As specifics were not known about the landscaping equipment fleet, CalEEMod defaults were used to estimate emissions from landscaping equipment. No changes were made to the default area source parameters.

#### *Energy Usage*

Energy usage includes emissions from the generation of electricity and natural gas used on-site. No changes were made to the default energy usage parameters.

#### *Project Impacts*

The worst-case summer or winter criteria pollutant emissions created from the proposed project's long-term operations have been calculated and are shown below in Table 9. The results show that none of the SCAQMD regional thresholds would be exceeded. Therefore, a less than significant regional air quality impact would occur from operation of the proposed project.

## **Operations-Related Local Air Quality Impacts**

Project-related air emissions may have the potential to exceed the State and Federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the South Coast Air Basin. The proposed project has been analyzed for the potential local CO emission impacts from the project-generated vehicular trips and from the potential local air quality impacts from on-site operations. The following analysis analyzes the vehicular CO emissions, local impacts from on-site operations per SCAQMD LST methodology, and odor impacts.

### *Local CO Emission Impacts from Project-Generated Vehicular Trips*

CO is the pollutant of major concern along roadways because the most notable source of CO is motor vehicles. For this reason, CO concentrations are usually indicative of the local air quality generated by a roadway network and are used as an indicator of potential local air quality impacts. Local air quality impacts can be assessed by comparing future without and with project CO levels to the State and Federal CO standards which were presented above.

To determine if the proposed project could cause emission levels in excess of the CO standards discussed above, a sensitivity analysis is typically conducted to determine the potential for CO "hot spots" at a number of intersections in the general project vicinity. Because of reduced speeds and vehicle queuing, "hot spots" potentially can occur at high traffic volume intersections with a Level of Service E or worse.

The analysis prepared for CO attainment in the South Coast Air Basin by the SCAQMD can be used to assist in evaluating the potential for CO exceedances in the South Coast Air Basin. CO attainment was thoroughly analyzed as part of the SCAQMD's 2003 Air Quality Management Plan (2003 AQMP) and the 1992 Federal Attainment Plan for Carbon Monoxide (1992 CO Plan). As discussed in the 1992 CO Plan, peak carbon monoxide concentrations in the South Coast Air Basin are due to unusual meteorological and topographical conditions, and not due to the impact of particular intersections. Considering the region's unique meteorological conditions and the increasingly stringent CO emissions standards, CO modeling was performed as part of 1992 CO Plan and subsequent plan updates and air quality management plans. In the 1992 CO Plan, a CO hot spot analysis was conducted for four busy intersections in Los Angeles at the peak morning and afternoon time periods. The intersections evaluated included: South Long Beach Boulevard and Imperial Highway (Lynwood); Wilshire Boulevard and Veteran Avenue (Westwood); Sunset Boulevard and Highland Avenue (Hollywood); and La Cienega Boulevard and Century Boulevard (Inglewood). These analyses did not predict a violation of CO standards. The busiest intersection evaluated was that at Wilshire Boulevard and Veteran Avenue, which has a daily traffic volume of approximately 100,000 vehicles per day. The Los Angeles County Metropolitan Transportation Authority evaluated the Level of Service in the vicinity of the Wilshire Boulevard/Veteran Avenue intersection and found it to be Level of Service E during the morning peak hour and Level of Service F during the afternoon peak hour.

The Transportation Screening Assessment showed that the proposed project would generate a maximum of approximately 399 total daily vehicle trips. The 1992 Federal Attainment Plan for Carbon Monoxide (1992 CO Plan) showed that an intersection which has a daily traffic volume of approximately 100,000 vehicles per day would not violate the CO standard. Therefore, as the project is to generate only 399 daily vehicle trips, intersections would fall short of 100,000 vehicles per day, no CO "hot spot" modeling was performed and no significant long-term air quality impact is anticipated to local air quality with the on-going use of the proposed project.

### *Local Air Quality Impacts from On-Site Operations*

Project-related air emissions from on-site sources such as architectural coatings, landscaping equipment, on-site usage of natural gas appliances as well as the operation of vehicles on-site may have the potential to exceed the State and Federal air quality standards in the project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the Air Basin. The nearest sensitive



receptors include the single-family residential property lines located adjacent to the north and approximately 50 feet (~15 meters) to the west, 44 feet (~13 meters) to the south, and 793 feet (~242 meters) to the east of the boundaries of the project site.

According to SCAQMD LST methodology, LSTs would apply to the operational phase of a project, if the project includes stationary sources, or attracts mobile sources (such as heavy-duty trucks) that may spend long periods queuing and idling at the site; such as industrial warehouse/transfer facilities. The proposed project consists of the development of the site with residential uses and does not include such uses. Therefore, due the lack of stationary source emissions, no long-term localized significance threshold analysis is warranted.

### **Operations-Related Human Health Impacts**

Regarding health effects related to criteria pollutant emissions, the applicable significance thresholds are established for regional compliance with the state and federal ambient air quality standards, which are intended to protect public health from both acute and long-term health impacts, depending on the potential effects of the pollutant. Because regional and local emissions of criteria pollutants during operation of the project would be below the applicable thresholds, it would not contribute to long-term health impacts related to nonattainment of the ambient air quality standards. Therefore, significant adverse acute health impacts as a result of project operation are not anticipated.

### **Operations-Related Odor Impacts**

Potential sources that may emit odors during the on-going operations of the proposed project would include odor emissions from the intermittent diesel delivery truck emissions and trash storage areas. Due to the distance of the nearest receptors from the project site and through compliance with SCAQMD's Rule 402 no significant impact related to odors would occur during the on-going operations of the proposed project.

**Table 9  
Regional Operational Pollutant Emissions**

Activity	Pollutant Emissions (pounds/day)					
	ROG	NOx	CO	SO2	PM10	PM2.5
Area Sources <sup>1</sup>	2.09	0.81	4.53	0.01	0.08	0.08
Energy Usage <sup>2</sup>	0.04	0.31	0.13	0.00	0.03	0.03
Mobile Sources <sup>3</sup>	1.27	1.70	12.32	0.03	2.91	0.79
Total Emissions	3.40	2.82	16.99	0.03	3.02	0.90
SCAQMD Thresholds	55	55	550	150	150	55
Exceeds Threshold?	No	No	No	No	No	No

Notes:

Source: CalEEMod Version 2020.4.0; the higher of either summer or winter emissions.

- (1) Area sources consist of emissions from consumer products, architectural coatings, and landscaping equipment.
- (2) Energy usage consists of emissions from generation of electricity and on-site natural gas usage.
- (3) Mobile sources consist of emissions from vehicles and road dust.

## CUMULATIVE AIR QUALITY IMPACTS

There are a number of cumulative projects in the project area that have not yet been built or are currently under construction. Since the timing or sequencing of the cumulative projects is unknown, any quantitative analysis to ascertain daily construction emissions that assumes multiple, concurrent construction projects would be speculative. Further, cumulative projects include local development as well as general growth within the project area. However, as with most development, the greatest source of emissions is from mobile sources, which travel well out of the local area. Therefore, from an air quality standpoint, the cumulative analysis would extend beyond any local projects and when wind patterns are considered would cover an even larger area. The SCAQMD recommends using two different methodologies: (1) that project-specific air quality impacts be used to determine the potential cumulative impacts to regional air quality;<sup>11</sup> and (2) that a project's consistency with the current AQMP be used to determine its potential cumulative impacts.

### **Project Specific Impacts**

The project area is out of attainment for ozone, PM10, and PM2.5. Construction and operation of cumulative projects will further degrade the local air quality, as well as the air quality of the South Coast Air Basin. The greatest cumulative impact on the quality of regional air cell will be the incremental addition of pollutants mainly from increased traffic volumes from residential, commercial, and industrial development and the use of heavy equipment and trucks associated with the construction of these projects. Air quality will be temporarily degraded during construction activities that occur separately or simultaneously. However, in accordance with the SCAQMD methodology, projects that do not exceed the SCAQMD criteria or can be mitigated to less than criteria levels are not significant and do not add to the overall cumulative impact. A significant impact may occur if a project would add a cumulatively considerable contribution of a federal or state non-attainment pollutant.

Project operations would generate emissions of NOx, ROG, CO, PM10, and PM2.5, which, would not exceed the SCAQMD regional or local thresholds and would not be expected to result in ground level concentrations that exceed the NAAQS or CAAQS. Since the project would not introduce any substantial stationary sources of emissions, CO is the benchmark pollutant for assessing local area air quality impacts from post-construction motor vehicle operations. As indicated earlier, no violations of the state and federal CO standards are projected to occur for the project, based on the magnitude of traffic the project is anticipated to create. Therefore, operation of the project would not result in a cumulatively considerable net increase for non-attainment of criteria pollutants or ozone precursors. As a result, the project would result in a less than significant cumulative impact for operational emissions.

### **Air Quality Compliance**

The California Environmental Quality Act (CEQA) requires a discussion of any inconsistencies between a proposed project and applicable General Plans and Regional Plans (CEQA Guidelines Section 15125). The regional plan that applies to the proposed project includes the SCAQMD Air Quality Management Plan (AQMP). Therefore, this section discusses any potential inconsistencies of the proposed project with the AQMP.

The purpose of this discussion is to set forth the issues regarding consistency with the assumptions and objectives of the AQMP and discuss whether the proposed project would interfere with the region's ability to comply with Federal and State air quality standards. If the decision-makers determine that the proposed project is inconsistent, the lead agency may consider project modifications or inclusion of mitigation to eliminate the inconsistency.

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<sup>11</sup> South Coast Air Quality Management District, Potential Control Strategies to Address Cumulative Impacts from Air Pollution White Paper, 1993, <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook>.

The SCAQMD CEQA Handbook states that "New or amended General Plan Elements (including land use zoning and density amendments), Specific Plans, and significant projects must be analyzed for consistency with the AQMP". Strict consistency with all aspects of the plan is usually not required. A proposed project should be considered to be consistent with the AQMP if it furthers one or more policies and does not obstruct other policies. The SCAQMD CEQA Handbook identifies two key indicators of consistency:

- (1) Whether the project will result in an increase in the frequency or severity of existing air quality violations or cause or contribute to new violations, or delay timely attainment of air quality standards or the interim emission reductions specified in the AQMP.
- (2) Whether the project will exceed the assumptions in the AQMP in 2016 or increments based on the year of project buildout and phase.

Both of these criteria are evaluated in the following sections.

#### *Criteria 1 – Increase in the Frequency or Severity of Violations*

Based on the air quality modeling analysis contained in this Air Analysis, short-term construction impacts will not result in significant impacts based on the SCAQMD regional and local thresholds of significance. This Air Analysis also found that, long-term operations impacts will not result in significant impacts based on the SCAQMD local and regional thresholds of significance.

Therefore, the proposed project is not projected to contribute to the exceedance of any air pollutant concentration standards and is found to be consistent with the AQMP for the first criterion.

#### *Criteria 2 – Exceed Assumptions in the AQMP?*

Consistency with the AQMP assumptions is determined by performing an analysis of the proposed project with the assumptions in the AQMP. The emphasis of this criterion is to ensure that the analyses conducted for the proposed project are based on the same forecasts as the AQMP. The 2016-2040 Regional Transportation/Sustainable Communities Strategy prepared by SCAG (2016) includes chapters on: the challenges in a changing region, creating a plan for our future, and the road to greater mobility and sustainable growth. These chapters currently respond directly to federal and state requirements placed on SCAG. Local governments are required to use these as the basis of their plans for purposes of consistency with applicable regional plans under CEQA. For this project, the City of Yucaipa Land Use Plan defines the assumptions that are represented in the AQMP.

The project site is currently designated as Rural Residential (RL-1) in the City of Yucaipa General Plan. The General Plan Community Design and Land Use Element states the RL land use designation corresponds to RL-40, RL-20, RL-10, RL-2.5, and RL-1 and allows for up to 1 dwelling units per gross acre. The project proposes to develop the site with 35 single-family and 16 senior detached-dwelling units for a total of 51 residential dwelling units on approximately 52 acres at approximately 0.98 dwelling units per acre. Therefore, the proposed project is consistent with the existing land use designation. Therefore, the proposed project is not anticipated to exceed the AQMP assumptions for the project site and is found to be consistent with the AQMP for the second criterion.

Based on the above, the proposed project will not result in an inconsistency with the SCAQMD AQMP. Therefore, a less than significant impact will occur.

### 3. GLOBAL CLIMATE CHANGE ANALYSIS

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#### EXISTING GREENHOUSE GAS ENVIRONMENT

Constituent gases of the Earth's atmosphere, called atmospheric greenhouse gases (GHG), play a critical role in the Earth's radiation amount by trapping infrared radiation emitted from the Earth's surface, which otherwise would have escaped to space. Prominent greenhouse gases contributing to this process include carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), ozone, water vapor, nitrous oxide (N<sub>2</sub>O), and chlorofluorocarbons (CFCs). This phenomenon, known as the Greenhouse Effect, is responsible for maintaining a habitable climate. Anthropogenic (caused or produced by humans) emissions of these greenhouse gases in excess of natural ambient concentrations are responsible for the enhancement of the Greenhouse Effect and have led to a trend of unnatural warming of the Earth's natural climate, known as global warming or climate change. Emissions of gases that induce global warming are attributable to human activities associated with industrial/manufacturing, agriculture, utilities, transportation, and residential land uses. Transportation is responsible for 41 percent of the State's greenhouse gas emissions, followed by electricity generation. Emissions of CO<sub>2</sub> and nitrous oxide (NO<sub>x</sub>) are byproducts of fossil fuel combustion. Methane, a potent greenhouse gas, results from off-gassing associated with agricultural practices and landfills. Sinks of CO<sub>2</sub>, where CO<sub>2</sub> is stored outside of the atmosphere, include uptake by vegetation and dissolution into the ocean. The following provides a description of each of the greenhouse gases and their global warming potential.

#### **Water Vapor**

Water vapor is the most abundant, important, and variable GHG in the atmosphere. Water vapor is not considered a pollutant; in the atmosphere it maintains a climate necessary for life. Changes in its concentration are primarily considered a result of climate feedbacks related to the warming of the atmosphere rather than a direct result of industrialization. The feedback loop in which water is involved is critically important to projecting future climate change. As the temperature of the atmosphere rises, more water is evaporated from ground storage (rivers, oceans, reservoirs, soil). Because the air is warmer, the relative humidity can be higher (in essence, the air is able to "hold" more water when it is warmer), leading to more water vapor in the atmosphere. As a GHG, the higher concentration of water vapor is then able to absorb more thermal indirect energy radiated from the Earth, thus further warming the atmosphere. The warmer atmosphere can then hold more water vapor and so on and so on. This is referred to as a "positive feedback loop". The extent to which this positive feedback loop will continue is unknown as there is also dynamics that put the positive feedback loop in check. As an example, when water vapor increases in the atmosphere, more of it will eventually also condense into clouds, which are more able to reflect incoming solar radiation (thus allowing less energy to reach the Earth's surface and heat it up).

#### **Carbon Dioxide (CO<sub>2</sub>)**

The natural production and absorption of CO<sub>2</sub> is achieved through the terrestrial biosphere and the ocean. However, humankind has altered the natural carbon cycle by burning coal, oil, natural gas, and wood. Since the industrial revolution began in the mid-1700s. Each of these activities has increased in scale and distribution. CO<sub>2</sub> was the first GHG demonstrated to be increasing in atmospheric concentration with the first conclusive measurements being made in the last half of the 20th century. Prior to the industrial revolution, concentrations were fairly stable at 280 parts per million (ppm). The International Panel on Climate Change (IPCC Fifth Assessment Report, 2014) Emissions of CO<sub>2</sub> from fossil fuel combustion and industrial processes contributed about 78% of the total GHG emissions increase from 1970 to 2010, with a similar percentage growth contribution for the increase during the period 2000 to 2010. Globally, economic and population growth continued to be the most important drivers of increases in CO<sub>2</sub> emissions from fossil fuel combustion. The contribution of population growth between 2000 and 2010 remained roughly identical to the previous three decades, while the contribution of economic growth has risen sharply.

### **Methane (CH<sub>4</sub>)**

CH<sub>4</sub> is an extremely effective absorber of radiation, although its atmospheric concentration is less than that of CO<sub>2</sub>. Its lifetime in the atmosphere is brief (10 to 12 years), compared to some other GHGs (such as CO<sub>2</sub>, N<sub>2</sub>O, and Chlorofluorocarbons (CFCs)). CH<sub>4</sub> has both natural and anthropogenic sources. It is released as part of the biological processes in low oxygen environments, such as in swamplands or in rice production (at the roots of the plants). Over the last 50 years, human activities such as growing rice, raising cattle, using natural gas, and mining coal have added to the atmospheric concentration of methane. Other anthropogenic sources include fossil-fuel combustion and biomass burning.

### **Nitrous Oxide (N<sub>2</sub>O)**

Concentrations of N<sub>2</sub>O also began to rise at the beginning of the industrial revolution. In 1998, the global concentration of this GHG was documented at 314 parts per billion (ppb). N<sub>2</sub>O is produced by microbial processes in soil and water, including those reactions which occur in fertilizer containing nitrogen. In addition to agricultural sources, some industrial processes (fossil fuel-fired power plants, nylon production, nitric acid production, and vehicle emissions) also contribute to its atmospheric load. It is also commonly used as an aerosol spray propellant, (i.e., in whipped cream bottles, in potato chip bags to keep chips fresh, and in rocket engines and in race cars).

### **Chlorofluorocarbons (CFC)**

CFCs are gases formed synthetically by replacing all hydrogen atoms in methane or ethane (C<sub>2</sub>H<sub>6</sub>) with chlorine and/or fluorine atoms. CFCs are nontoxic, nonflammable, insoluble, and chemically unreactive in the troposphere (the level of air at the Earth's surface). CFCs have no natural source, but were first synthesized in 1928. It was used for refrigerants, aerosol propellants, and cleaning solvents. Due to the discovery that they are able to destroy stratospheric ozone, a global effort to halt their production was undertaken and in 1989 the European Community agreed to ban CFCs by 2000 and subsequent treaties banned CFCs worldwide by 2010. This effort was extremely successful, and the levels of the major CFCs are now remaining level or declining. However, their long atmospheric lifetimes mean that some of the CFCs will remain in the atmosphere for over 100 years.

### **Hydrofluorocarbons (HFC)**

HFCs are synthetic man-made chemicals that are used as a substitute for CFCs. Out of all the GHGs, they are one of three groups with the highest global warming potential. The HFCs with the largest measured atmospheric abundances are (in order), HFC-23 (CHF<sub>3</sub>), HFC-134a (CF<sub>3</sub>CH<sub>2</sub>F), and HFC-152a (CH<sub>3</sub>CHF<sub>2</sub>). Prior to 1990, the only significant emissions were HFC-23. HFC-134a use is increasing due to its use as a refrigerant. Concentrations of HFC-23 and HFC-134a in the atmosphere are now about 10 parts per trillion (ppt) each. Concentrations of HFC-152a are about 1 ppt. HFCs are manmade for applications such as automobile air conditioners and refrigerants.

### **Perfluorocarbons (PFC)**

PFCs have stable molecular structures and do not break down through the chemical processes in the lower atmosphere. High-energy ultraviolet rays about 60 kilometers above Earth's surface are able to destroy the compounds. Because of this, PFCs have very long lifetimes, between 10,000 and 50,000 years. Two common PFCs are tetrafluoromethane (CF<sub>4</sub>) and hexafluoroethane (C<sub>2</sub>F<sub>6</sub>). Concentrations of CF<sub>4</sub> in the atmosphere are over 70 ppt. The two main sources of PFCs are primary aluminum production and semiconductor manufacturing.

### **Sulfur Hexafluoride (SF<sub>6</sub>)**

SF<sub>6</sub> is an inorganic, odorless, colorless, nontoxic, nonflammable gas. SF<sub>6</sub> has the highest global warming potential of any gas evaluated; 23,900 times that of CO<sub>2</sub>. Concentrations in the 1990s were about 4 ppt. Sulfur hexafluoride is used for insulation in electric power transmission and distribution equipment, in the magnesium industry, in semiconductor manufacturing, and as a tracer gas for leak detection.

### **Aerosols**

Aerosols are particles emitted into the air through burning biomass (plant material) and fossil fuels. Aerosols can warm the atmosphere by absorbing and emitting heat and can cool the atmosphere by reflecting light. Cloud formation can also be affected by aerosols. Sulfate aerosols are emitted when fuel containing sulfur is burned. Black carbon (or soot) is emitted during biomass burning due to the incomplete combustion of fossil fuels. Particulate matter regulation has been lowering aerosol concentrations in the United States; however, global concentrations are likely increasing.

### **Global Warming Potential**

The Global Warming Potential (GWP) was developed to allow comparisons of the global warming impacts of different gases. Specifically, it is a measure of how much energy the emissions of 1 ton of a gas will absorb over a given period of time, relative to the emissions of 1 ton of carbon dioxide (CO<sub>2</sub>). The larger the GWP, the more that a given gas warms the Earth compared to CO<sub>2</sub> over that time period. The time period usually used for GWPs is 100 years. GWPs provide a common unit of measure, which allows analysts to add up emissions estimates of different gases (e.g., to compile a national GHG inventory), and allows policymakers to compare emissions reduction opportunities across sectors and gases. A summary of the atmospheric lifetime and the global warming potential of selected gases are summarized in Table 10. As shown in Table 10, the global warming potential of GHGs ranges from 1 to 22,800.

**Table 10**  
**Global Warming Potentials and Atmospheric Lifetimes**

Gas	Atmospheric Lifetime	(100 Year Horizon)
Carbon Dioxide (CO <sub>2</sub> )	~ <sup>2</sup>	1
Methane (CH <sub>4</sub> )	12	28-36
Nitrous Oxide (NO)	114	298
Hydrofluorocarbons (HFCs)	1-270	12-14,800
Perfluorocarbons (PFCs)	2,600-50,000	7,390-12,200
Nitrogen trifluoride (NF <sub>3</sub> )	740	17,200
Sulfur Hexafluoride (SF <sub>6</sub> )	3,200	22,800

Notes:

Source: <http://www3.epa.gov/climatechange/ghgemissions/gases.html>

(1) Compared to the same quantity of CO<sub>2</sub> emissions.

(2) Carbon dioxide's lifetime is poorly defined because the gas is not destroyed over time, but instead moves among different parts of the ocean-atmosphere-land system. Some of the excess carbon dioxide will be absorbed quickly (for example, by the ocean surface), but some will remain in the atmosphere for thousands of years, due in part to the very slow process by which carbon is transferred to ocean sediments.



## GREENHOUSE GAS STANDARDS AND REGULATION

### International

#### *Montreal Protocol*

In 1988, the United Nations established the Intergovernmental Panel on Climate Change (IPCC) to evaluate the impacts of global climate change and to develop strategies that nations could implement to curtail global climate change. In 1992, the United States joined other countries around the world in signing the United Nations' Framework Convention on Climate Change (UNFCCC) agreement with the goal of controlling GHG emissions. As a result, the Climate Change Action Plan was developed to address the reduction of GHGs in the United States. The plan consists of more than 50 voluntary programs.

Additionally, the Montreal Protocol was originally signed in 1987 and substantially amended in 1990 and 1992. The Montreal Protocol stipulates that the production and consumption of compounds that deplete ozone in the stratosphere—CFCs, halons, carbon tetrachloride, and methyl chloroform—were to be phased out, with the first three by the year 2000 and methyl chloroform by 2005.

#### *The Paris Agreement*

The Paris Agreement became effective on November 4, 2016. Thirty days after this date at least 55 Parties to the United Nations Framework Convention on Climate Change (Convention), accounting in total for at least an estimated 55 % of the total global greenhouse gas emissions, had deposited their instruments of ratification, acceptance, approval or accession with the Depositary.

The Paris Agreement built upon the Convention and – for the first time – attempted to bring all nations into a common cause to undertake ambitious efforts to combat climate change and adapt to its effects, with enhanced support to assist developing countries to do so. As such, it charts a new course in the global climate effort.

The Paris Agreement's central aim is to strengthen the global response to the threat of climate change by keeping a global temperature rise this century well below 2 degrees Celsius above pre-industrial levels and to pursue efforts to limit the temperature increase even further to 1.5 degrees Celsius. Additionally, the agreement aims to strengthen the ability of countries to deal with the impacts of climate change. To reach these ambitious goals, appropriate financial flows, a new technology framework and an enhanced capacity building framework will be put in place, thus supporting action by developing countries and the most vulnerable countries, in line with their own national objectives. The Agreement also provides for enhanced transparency of action and support through a more robust transparency framework.

### Federal

The United States Environmental Protection Agency (USEPA) is responsible for implementing federal policy to address GHGs. The federal government administers a wide array of public-private partnerships to reduce the GHG intensity generated in the United States. These programs focus on energy efficiency, renewable energy, methane and other non-CO2 gases, agricultural practices, and implementation of technologies to achieve GHG reductions. The USEPA implements numerous voluntary programs that contribute to the reduction of GHG emissions. These programs (e.g., the ENERGY STAR labeling system for energy-efficient products) play a significant role in encouraging voluntary reductions from large corporations, consumers, industrial and commercial buildings, and many major industrial sectors.

In *Massachusetts v. Environmental Protection Agency* (Docket No. 05-1120), argued November 29, 2006 and decided April 2, 2007, the U.S. Supreme Court held that not only did the EPA have authority to regulate greenhouse gases, but the EPA's reasons for not regulating this area did not fit the statutory requirements. As

such, the U.S. Supreme Court ruled that the EPA should be required to regulate CO<sub>2</sub> and other greenhouse gases as pollutants under the federal Clean Air Act (CAA).

In response to the FY2008 Consolidations Appropriations Act (H.R. 2764; Public Law 110-161), EPA proposed a rule on March 10, 2009 that requires mandatory reporting of GHG emissions from large sources in the United States. On September 22, 2009, the Final Mandatory Reporting of GHG Rule was signed and published in the Federal Register on October 30, 2009. The rule became effective on December 29, 2009. This rule requires suppliers of fossil fuels or industrial GHGs, manufacturers of vehicles and engines, and facilities that emit 25,000 metric tons or more per year of GHG emissions to submit annual reports to EPA.

On December 7, 2009, the EPA Administrator signed two distinct findings under section 202(a) of the Clean Air Act. One is an endangerment finding that finds concentrations of the six GHGs in the atmosphere threaten the public health and welfare of current and future generations. The other is a cause or contribute finding, that finds emissions from new motor vehicles and new motor vehicle engines contribute to the GHG pollution which threatens public health and welfare. These actions will not themselves impose any requirements on industry or other entities. However, it is a prerequisite to finalizing the EPA's proposed GHG emission standards for light-duty vehicles, which were jointly proposed by the EPA and Department of Transportation on September 15, 2009.

#### *Clean Air Act*

In *Massachusetts v. Environmental Protection Agency* (Docket No. 05-1120), the U.S. Supreme Court held in April of 2007 that the USEPA has statutory authority under Section 202 of the federal Clean Air Act (CAA) to regulate GHGs. The court did not hold that the USEPA was required to regulate GHG emissions; however, it indicated that the agency must decide whether GHGs cause or contribute to air pollution that is reasonably anticipated to endanger public health or welfare. On December 7, 2009, the USEPA Administrator signed two distinct findings regarding GHGs under Section 202(a) of the CAA. The USEPA adopted a Final Endangerment Finding for the six defined GHGs (CO<sub>2</sub>, CH<sub>4</sub>, N<sub>2</sub>O, HFCs, PFCs, and SF<sub>6</sub>) on December 7, 2009. The Endangerment Finding is required before USEPA can regulate GHG emissions under Section 202(a)(1) of the CAA consistently with the United States Supreme Court decision. The USEPA also adopted a Cause or Contribute Finding in which the USEPA Administrator found that GHG emissions from new motor vehicle and motor vehicle engines are contributing to air pollution, which is endangering public health and welfare. These findings do not, by themselves, impose any requirements on industry or other entities. However, these actions were a prerequisite for implementing GHG emissions standards for vehicles.

#### *Energy Independence Security Act*

The Energy Independence and Security Act of 2007 (EISA) facilitates the reduction of national GHG emissions by requiring the following:

- Increasing the supply of alternative fuel sources by setting a mandatory Renewable Fuel Standard (RFS) that requires fuel producers to use at least 36 billion gallons of biofuel in 2022;
- Prescribing or revising standards affecting regional efficiency for heating and cooling products, procedures for new or amended standards, energy conservation, energy efficiency labeling for consumer electronic products, residential boiler efficiency, electric motor efficiency, and home appliances;
- Requiring approximately 25 percent greater efficiency for light bulbs by phasing out incandescent light bulbs between 2012 and 2014; requiring approximately 200 percent greater efficiency for light bulbs, or similar energy savings, by 2020; and
- While superseded by the USEPA and NHTSA actions described above, (i) establishing miles per gallon targets for cars and light trucks and (ii) directing the NHTSA to establish a fuel economy program for medium- and heavy-duty trucks and create a separate fuel economy standard for trucks.

Additional provisions of EISA address energy savings in government and public institutions, promote research for alternative energy, additional research in carbon capture, international energy programs, and the creation of green jobs.<sup>12</sup>

#### *Executive Order 13432*

In response to the *Massachusetts v. Environmental Protection Agency* ruling, the President signed Executive Order 13432 on May 14, 2007, directing the USEPA, along with the Departments of Transportation, Energy, and Agriculture, to initiate a regulatory process that responds to the Supreme Court's decision. Executive Order 13432 was codified into law by the 2009 Omnibus Appropriations Law signed on February 17, 2009. The order sets goals in the areas of energy efficiency, acquisition, renewable energy, toxics reductions, recycling, sustainable buildings, electronics stewardship, fleets, and water conservation. Light-Duty Vehicle Greenhouse Gas and Corporate Average Fuel Economy Standards.

On May 19, 2009, President Obama announced a national policy for fuel efficiency and emissions standards in the United States auto industry. The adopted federal standard applies to passenger cars and light-duty trucks for model years 2012 through 2016. The rule surpasses the prior Corporate Average Fuel Economy standards (CAFE)<sup>13</sup> and requires an average fuel economy standard of 35.5 miles per gallon (mpg) and 250 grams of CO<sub>2</sub> per mile by model year 2016, based on USEPA calculation methods. These standards were formally adopted on April 1, 2010. In August 2012, standards were adopted for model year 2017 through 2025 for passenger cars and light-duty trucks. By 2025, vehicles are required to achieve 54.5 mpg (if GHG reductions are achieved exclusively through fuel economy improvements) and 163 grams of CO<sub>2</sub> per mile. According to the USEPA, a model year 2025 vehicle would emit one-half of the GHG emissions from a model year 2010 vehicle.<sup>14</sup> In 2017, the USEPA recommended no change to the GHG standards for light-duty vehicles for model years 2022-2025.

Issued by NHTSA and EPA in March 2020 (published on April 30, 2020 and effective after June 29, 2020), the Safer Affordable Fuel-Efficient Vehicles Rule would maintain the CAFE and CO<sub>2</sub> standards applicable in model year 2020 for model years 2021 through 2026. The estimated CAFE and CO<sub>2</sub> standards for model year 2020 are 43.7 mpg and 204 grams of CO<sub>2</sub> per mile for passenger cars and 31.3 mpg and 284 grams of CO<sub>2</sub> per mile for light trucks, projecting an overall industry average of 37 mpg, as compared to 46.7 mpg under the standards issued in 2012. This Rule also excludes CO<sub>2</sub>-equivalent emission improvements associated with air conditioning refrigerants and leakage (and, optionally, offsets for nitrous oxide and methane emissions) after model year 2020.<sup>15</sup>

On May 12, 2021, the National Highway Traffic Safety Administration (NHTSA) published a notice of proposed rulemaking in the Federal Register, proposing to repeal "The Safer Affordable Fuel-Efficient (SAFE) Vehicles Rule Part One: One National Program," published Sept. 27, 2019 (SAFE I Rule), in which NHTSA codified regulatory text and made additional pronouncements regarding the preemption of state and local laws related to fuel economy standards. Specifically, this document proposes to fully repeal the regulatory text and appendices promulgated in the SAFE I Rule. In addition, this document proposes to repeal and withdraw the interpretative statements made by the Agency in the SAFE I Rule preamble, including those

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<sup>12</sup> A green job, as defined by the United States Department of Labor, is a job in business that produces goods or provides services that benefit the environment or conserve natural resources.

<sup>13</sup> The Corporate Average Fuel Economy standards are regulations in the United States, first enacted by Congress in 1975, to improve the average fuel economy of cars and light trucks. The U.S. Department of Transportation has delegated the National Highway Traffic Safety Administration as the regulatory agency for the Corporate Average Fuel Economy standards.

<sup>14</sup> United States Environmental Protection Agency, EPA and NHTSA Set Standards to Reduce Greenhouse Gases and Improve Fuel Economy for Model Years 2017-2025 Cars and Light Trucks, August 2012. <https://nepis.epa.gov/Exe/ZyPDF.cgi/P100EZ7C.PDF?Dockey=P100EZ7C.PDF>.

<sup>15</sup> National Highway Traffic Safety Administration (NHTSA) and U.S. Environmental Protection Agency (USEPA), 2018. Federal Register / Vol. 83, No. 165 / Friday, August 24, 2018 / Proposed Rules, The Safer Affordable Fuel-Efficient (SAFE) Vehicles Rule for Model Years 2021–2026 Passenger Cars and Light Trucks 2018. Available at: <https://www.gpo.gov/fdsys/pkg/FR-2018-08-24/pdf/2018-16820.pdf>.

regarding the preemption of particular state Greenhouse Gas (GHG) Emissions standards or Zero Emissions Vehicle (ZEV) mandates. As such, this document proposes to establish a clean slate with respect to NHTSA's regulations and interpretations concerning preemption under the Energy Policy and Conservation Act (EPCA).<sup>16</sup>

## **State of California**

### *California Air Resources Board*

CARB, a part of the California Environmental Protection Agency (CalEPA), is responsible for the coordination and administration of both federal and state air pollution control programs within California. In this capacity, CARB conducts research, sets state ambient air quality standards (California Ambient Air Quality Standards [CAAQS]), compiles emission inventories, develops suggested control measures, and provides oversight of local programs. CARB establishes emissions standards for motor vehicles sold in California, consumer products (such as hairspray, aerosol paints, and barbecue lighter fluid), and various types of commercial equipment. It also sets fuel specifications to further reduce vehicular emissions.

In 2004, the California Air Resources Board (CARB) adopted an Airborne Toxic Control Measure to limit heavy-duty diesel motor vehicle idling in order to reduce public exposure to diesel particulate matter and other toxic air contaminants (Title 13 California Code of Regulations [CCR], Section 2485). The measure applies to diesel-fueled commercial vehicles with gross vehicle weight ratings greater than 10,000 pounds that are licensed to operate on highways, regardless of where they are registered. This measure generally does not allow diesel-fueled commercial vehicles to idle for more than 5 minutes at any given location with certain exemptions for equipment in which idling is a necessary function such as concrete trucks. While this measure primarily targets diesel particulate matter emissions, it has co-benefits of minimizing GHG emissions from unnecessary truck idling.

In 2008, CARB approved the Truck and Bus regulation to reduce particulate matter and nitrogen oxide emissions from existing diesel vehicles operating in California (13 CCR, Section 2025, subsection (h)). CARB has also promulgated emission standards for off-road diesel construction equipment of greater than 25 horsepower such as bulldozers, loaders, backhoes and forklifts, as well as many other self-propelled off-road diesel vehicles. The regulation, adopted by the CARB on July 26, 2007, aims to reduce emissions by installation of diesel soot filters and encouraging the retirement, replacement, or repower of older, dirtier engines with newer emission-controlled models. While these regulations primarily target reductions in criteria air pollutant emission, they have co-benefits of minimizing GHG emissions due to improved engine efficiencies.

The State currently has no regulations that establish ambient air quality standards for GHGs. However, the State has passed laws directing CARB to develop actions to reduce GHG emissions, which are listed below.

### *Assembly Bill 1493*

California Assembly Bill 1493 enacted on July 22, 2002, required the CARB to develop and adopt regulations that reduce GHGs emitted by passenger vehicles and light duty trucks. In 2005, the CARB submitted a "waiver" request to the EPA from a portion of the federal Clean Air Act in order to allow the State to set more stringent tailpipe emission standards for CO<sub>2</sub> and other GHG emissions from passenger vehicles and light duty trucks. On December 19, 2007 the EPA announced that it denied the "waiver" request. On January 21, 2009, CARB submitted a letter to the EPA administrator regarding the State's request to reconsider the waiver denial. The EPA approved the waiver on June 30, 2009. After adopting these initial greenhouse gas standards for passenger vehicles, CARB adopted continuing standards for future model years.

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<sup>16</sup> <https://www.federalregister.gov/documents/2021/05/12/2021-08758/corporate-average-fuel-economy-cape-preemption>.

### *Executive Order S-3-05*

The California Governor issued Executive Order S-3-05, GHG Emission, in June 2005, which established the following reduction targets:

- By 2010, California shall reduce GHG emissions to 2000 levels;
- By 2020, California shall reduce GHG emissions to 1990 levels; and
- By 2050, California shall reduce GHG emissions to 80 percent below 1990 levels.

The Executive Order directed the secretary of the California Environmental Protection Agency (CalEPA) to coordinate a multi-agency effort to reduce GHG emissions to the target levels. To comply with the Executive Order, the secretary of CalEPA created the California Climate Action Team (CAT), made up of members from various state agencies and commissions. The team released its first report in March 2006. The report proposed to achieve the targets by building on the voluntary actions of businesses, local governments, and communities and through State incentive and regulatory programs.

### *Assembly Bill 32 (California Health and Safety Code, Division 25.5 – California Global Warming Solutions Act of 2006)*

In 2006, the California State Legislature adopted Assembly Bill (AB) 32 (codified in the California Health and Safety Code [HSC], Division 25.5 – California Global Warming Solutions Act of 2006), which focuses on reducing GHG emissions in California to 1990 levels by 2020. HSC Division 25.5 defines GHGs as CO<sub>2</sub>, CH<sub>4</sub>, N<sub>2</sub>O, HFCs, PFCs, and SF<sub>6</sub> and represents the first enforceable statewide program to limit emissions of these GHGs from all major industries with penalties for noncompliance. The law further requires that reduction measures be technologically feasible and cost effective. Under HSC Division 25.5, CARB has the primary responsibility for reducing GHG emissions. CARB is required to adopt rules and regulations directing state actions that would achieve GHG emissions reductions equivalent to 1990 statewide levels by 2020.

### *Senate Bill 32 and Assembly Bill 197*

In 2016, the California State Legislature adopted Senate Bill (SB) 32 and its companion bill AB 197, and both were signed by Governor Brown. SB 32 and AB 197 amends HSC Division 25.5 and establishes a new climate pollution reduction target of 40 percent below 1990 levels by 2030 and includes provisions to ensure the benefits of state climate policies reach into disadvantaged communities.

### *Climate Change Scoping Plan (2008)*

A specific requirement of AB 32 was to prepare a Climate Change Scoping Plan for achieving the maximum technologically feasible and cost-effective GHG emission reduction by 2020 (Health and Safety Code section 38561 (h)). CARB developed an AB 32 Scoping Plan that contains strategies to achieve the 2020 emissions cap. The initial Scoping Plan was approved in 2008 and contains a mix of recommended strategies that combined direct regulations, market-based approaches, voluntary measures, policies, and other emission reduction programs calculated to meet the 2020 statewide GHG emission limit and initiate the transformations needed to achieve the State's long-range climate objectives.

As required by HSC Division 25.5, CARB approved the 1990 GHG emissions inventory, thereby establishing the emissions limit for 2020. The 2020 emissions limit was originally set at 427 MMTCO<sub>2e</sub> using the GWP values from the IPCC SAR. CARB also projected the state's 2020 GHG emissions under no-action-taken (NAT) conditions – that is, emissions that would occur without any plans, policies, or regulations to reduce GHG emissions. CARB originally used an average of the state's GHG emissions from 2002 through 2004 and projected the 2020 levels at approximately 596 MMTCO<sub>2e</sub> (using GWP values from the IPCC SAR). Therefore, under the original projections, the state must reduce its 2020 NAT emissions by 28.4 percent in order to meet the 1990 target of 427 MMTCO<sub>2e</sub>.

### *First Update to the Climate Change Scoping Plan (2014)*

The First Update to the Scoping Plan was approved by CARB in May 2014 and builds upon the initial Scoping Plan with new strategies and recommendations. In 2014, CARB revised the target using the GWP values from the IPCC AR4 and determined that the 1990 GHG emissions inventory and 2020 GHG emissions limit is 431 MMTCO<sub>2e</sub>. CARB also updated the State's 2020 NAT emissions estimate to account for the effect of the 2007–2009 economic recession, new estimates for future fuel and energy demand, and the reductions required by regulation that were recently adopted for motor vehicles and renewable energy. CARB's projected statewide 2020 emissions estimate using the GWP values from the IPCC AR4 is 509.4 MMTCO<sub>2e</sub>.

### *2017 Climate Change Scoping Plan*

In response to the 2030 GHG reduction target, CARB adopted the 2017 Climate Change Scoping Plan at a public meeting held in December 2017. The 2017 Scoping Plan outlines the strategies the State will implement to achieve the 2030 GHG reduction target of 40 percent below 1990 levels. The 2017 Scoping Plan also addresses GHG emissions from natural and working lands of California, including the agriculture and forestry sectors. The 2017 Scoping Plan considered the Scoping Plan Scenario and four alternatives for achieving the required GHG reductions but ultimately selected the Scoping Plan Scenario.

CARB states that the Scoping Plan Scenario “is the best choice to achieve the State's climate and clean air goals.”<sup>17</sup> Under the Scoping Plan Scenario, the majority of the reductions would result from the continuation of the Cap-and-Trade regulation. Additional reductions are achieved from electricity-sector standards (i.e., utility providers to supply at least 50 percent renewable electricity by 2030), doubling the energy efficiency savings at end uses, additional reductions from the LCFS, implementing the short-lived GHG strategy (e.g., hydrofluorocarbons), and implementing the mobile source strategy and sustainable freight action plan. The alternatives were designed to consider various combinations of these programs, as well as consideration of a carbon tax in the event the Cap-and-Trade regulation is not continued. However, in July 2017, the California Legislature voted to extend the Cap-and-Trade regulation to 2030. Implementing this Scoping Plan will ensure that California's climate actions continue to promote innovation, drive the generation of new jobs, and achieve continued reductions of smog and air toxics. The ambitious approach draws on a decade of successful programs that address the major sources of climate-changing gases in every sector of the economy:

- **More Clean Cars and Trucks:** The plan sets out far-reaching programs to incentivize the sale of millions of zero-emission vehicles, drive the deployment of zero-emission trucks, and shift to a cleaner system of handling freight statewide.
- **Increased Renewable Energy:** California's electric utilities are ahead of schedule meeting the requirement that 33 percent of electricity come from renewable sources by 2020. The Scoping Plan guides utilities to 50 percent renewables, as required under SB 350.
- **Slashing Super-Pollutants:** The plan calls for a significant cut in super-pollutants such as methane and HFC refrigerants, which are responsible for as much as 40 percent of global warming.
- **Cleaner Industry and Electricity:** California's renewed cap-and-trade program extends the declining cap on emissions from utilities and industries and the carbon allowance auctions. The auctions will continue to fund investments in clean energy and efficiency, particularly in disadvantaged communities.
- **Cleaner Fuels:** The Low Carbon Fuel Standard will drive further development of cleaner, renewable transportation fuels to replace fossil fuels.
- **Smart Community Planning:** Local communities will continue developing plans which will further link transportation and housing policies to create sustainable communities.
- **Improved Agriculture and Forests:** The Scoping Plan also outlines innovative programs to account for and reduce emissions from agriculture, as well as forests and other natural lands.

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<sup>17</sup> California Air Resources Board, California's 2017 Climate Change Scoping Plan, November 2017, [https://www.arb.ca.gov/cc/scopingplan/scoping\\_plan\\_2017.pdf](https://www.arb.ca.gov/cc/scopingplan/scoping_plan_2017.pdf).



The 2017 Scoping Plan also evaluates reductions of smog-causing pollutants through California's climate programs.

*SB 32, Pavley. California Global Warming Solutions Act of 2006*

- (1) The California Global Warming Solutions Act of 2006 designates the State Air Resources Board as the state agency charged with monitoring and regulating sources of emissions of greenhouse gases. The state board is required to approve a statewide greenhouse gas emissions limit equivalent to the statewide greenhouse gas emissions level in 1990 to be achieved by 2020 and to adopt rules and regulations in an open public process to achieve the maximum, technologically feasible, and cost-effective greenhouse gas emissions reductions. This bill would require the state board to ensure that statewide greenhouse gas emissions are reduced to 40% below the 1990 level by 2030.
- (2) This bill would become operative only if AB 197 of the 2015–16 Regular Session is enacted and becomes effective on or before January 1, 2017. AB 197 requires that the California Air Resources Board, which directs implementation of emission-reduction programs, should target direct reductions at both stationary and mobile sources. AB 197 of the 2015-2016 Regular Session was approved on September 8, 2016.

*Executive Order S-1-07*

Executive Order S-1-07 was issued in 2007 and proclaims that the transportation sector is the main source of GHG emissions in the State, since it generates more than 40 percent of the State's GHG emissions. It establishes a goal to reduce the carbon intensity of transportation fuels sold in the State by at least ten percent by 2020. This Order also directs the CARB to determine whether this Low Carbon Fuel Standard (LCFS) could be adopted as a discrete early-action measure as part of the effort to meet the mandates in AB 32.

On April 23, 2009 CARB approved the proposed regulation to implement the low carbon fuel standard and began implementation on January 1, 2011. The low carbon fuel standard is anticipated to reduce GHG emissions by about 16 MMT per year by 2020. CARB approved some amendments to the LCFS in December 2011, which were implemented on January 1, 2013. In September 2015, the Board approved the re-adoption of the LCFS, which became effective on January 1, 2016, to address procedural deficiencies in the way the original regulation was adopted. In 2018, the Board approved amendments to the regulation, which included strengthening and smoothing the carbon intensity benchmarks through 2030 in-line with California's 2030 GHG emission reduction target enacted through SB 32, adding new crediting opportunities to promote zero emission vehicle adoption, alternative jet fuel, carbon capture and sequestration, and advanced technologies to achieve deep decarbonization in the transportation sector.

The LCFS is designed to encourage the use of cleaner low-carbon transportation fuels in California, encourage the production of those fuels, and therefore, reduce GHG emissions and decrease petroleum dependence in the transportation sector. Separate standards are established for gasoline and diesel fuels and the alternative fuels that can replace each. The standards are "back-loaded", with more reductions required in the last five years, than during the first five years. This schedule allows for the development of advanced fuels that are lower in carbon than today's fuels and the market penetration of plug-in hybrid electric vehicles, battery electric vehicles, fuel cell vehicles, and flexible fuel vehicles. It is anticipated that compliance with the low carbon fuel standard will be based on a combination of both lower carbon fuels and more efficient vehicles.

Reformulated gasoline mixed with corn-derived ethanol at ten percent by volume and low sulfur diesel fuel represent the baseline fuels. Lower carbon fuels may be ethanol, biodiesel, renewable diesel, or blends of these fuels with gasoline or diesel as appropriate. Compressed natural gas and liquefied natural gas also may be low carbon fuels. Hydrogen and electricity, when used in fuel cells or electric vehicles are also considered as low carbon fuels for the low carbon fuel standard.



### *Senate Bill 97*

Senate Bill 97 (SB 97) was adopted August 2007 and acknowledges that climate change is a prominent environmental issue that requires analysis under CEQA. SB 97 directed the Governor's Office of Planning and Research (OPR), which is part of the State Natural Resources Agency, to prepare, develop, and transmit to the CARB guidelines for the feasible mitigation of GHG emissions or the effects of GHG emissions, as required by CEQA, by July 1, 2009. The Natural Resources Agency was required to certify and adopt those guidelines by January 1, 2010.

Pursuant to the requirements of SB 97 as stated above, on December 30, 2009, the Natural Resources Agency adopted amendments to the state CEQA guidelines that address GHG emissions. The CEQA Guidelines Amendments changed 14 sections of the CEQA Guidelines and incorporate GHG language throughout the Guidelines. However, no GHG emissions thresholds of significance were provided and no specific mitigation measures were identified. The GHG emission reduction amendments went into effect on March 18, 2010, and are summarized below:

- Climate action plans and other greenhouse gas reduction plans can be used to determine whether a project has significant impacts, based upon its compliance with the plan.
- Local governments are encouraged to quantify the greenhouse gas emissions of proposed projects, noting that they have the freedom to select the models and methodologies that best meet their needs and circumstances. The section also recommends consideration of several qualitative factors that may be used in the determination of significance, such as the extent to which the given project complies with state, regional, or local GHG reduction plans and policies. OPR does not set or dictate specific thresholds of significance. Consistent with existing CEQA Guidelines, OPR encourages local governments to develop and publish their own thresholds of significance for GHG impacts assessment.
- When creating their own thresholds of significance, local governments may consider the thresholds of significance adopted or recommended by other public agencies, or recommended by experts.
- New amendments include guidelines for determining methods to mitigate the effects of greenhouse gas emissions in Appendix F of the CEQA Guidelines.
- OPR is clear to state that "to qualify as mitigation, specific measures from an existing plan must be identified and incorporated into the project; general compliance with a plan, by itself, is not mitigation".
- OPR's emphasizes the advantages of analyzing GHG impacts on an institutional, programmatic level. OPR therefore approves tiering of environmental analyses and highlights some benefits of such an approach.
- Environmental impact reports (EIRs) must specifically consider a project's energy use and energy efficiency potential.

### *Senate Bill 100*

Senate Bill 100 (SB 100) requires 100 percent of total retail sales of electricity in California to come from eligible renewable energy resources and zero-carbon resources by December 31, 2045. SB 100 was adopted September 2018.

The interim thresholds from prior Senate Bills and Executive Orders would also remain in effect. These include Senate Bill 1078 (SB 1078), which requires retail sellers of electricity, including investor-owned utilities and community choice aggregators, to provide at least 20 percent of their supply from renewable sources by 2017. Senate Bill 107 (SB 107) which changed the target date to 2010. Executive Order S-14-08, which was signed on November 2008 and expanded the State's Renewable Energy Standard to 33 percent renewable energy by 2020. Executive Order S-21-09 directed the CARB to adopt regulations by July 31, 2010 to enforce S-14-08. Senate Bill X1-2 codifies the 33 percent renewable energy requirement by 2020.

### *Senate Bill 375*

Senate Bill 375 (SB 375) was adopted September 2008 and aligns regional transportation planning efforts, regional GHG emission reduction targets, and land use and housing allocation. SB 375 requires Metropolitan Planning Organizations (MPO) to adopt a sustainable communities strategy (SCS) or alternate planning strategy (APS) that will prescribe land use allocation in that MPOs Regional Transportation Plan (RTP). The CARB, in consultation with each MPO, will provide each affected region with reduction targets for GHGs emitted by passenger cars and light trucks in the region for the years 2020 and 2035. These reduction targets will be updated every eight years but can be updated every four years if advancements in emissions technologies affect the reduction strategies to achieve the targets. The CARB is also charged with reviewing each MPO's sustainable communities strategy or alternate planning strategy for consistency with its assigned targets.

The proposed project is located within the Southern California Association of Governments (SCAG) jurisdiction, which has authority to develop the SCS or APS. For the SCAG region, the targets set by the CARB are at eight percent below 2005 per capita GHG emissions levels by 2020 and 19 percent below 2005 per capita GHG emissions levels by 2035. These reduction targets became effective October 2018.

### *Senate Bill X7-7*

Senate Bill X7-7 (SB X7-7), enacted on November 9, 2009, mandates water conservation targets and efficiency improvements for urban and agricultural water suppliers. SB X7-7 requires the Department of Water Resources (DWR) to develop a task force and technical panel to develop alternative best management practices for the water sector. In addition, SB X7-7 required the DWR to develop criteria for baseline uses for residential, commercial, and industrial uses for both indoor and landscaped area uses. The DWR was also required to develop targets and regulations that achieve a statewide 20 percent reduction in water usage.

### *Assembly Bill 939 and Senate Bill 1374*

Assembly Bill 939 (AB 939) requires that each jurisdiction in California to divert at least 50 percent of its waste away from landfills, whether through waste reduction, recycling or other means. Senate Bill 1374 (SB 1374) requires the California Integrated Waste Management Board to adopt a model ordinance by March 1, 2004, suitable for adoption by any local agency to require 50 to 75 percent diversion of construction and demolition of waste materials from landfills.

### *California Code of Regulations (CCR) Title 24, Part 6*

CCR Title 24, Part 6: California's Energy Efficiency Standards for Residential and Nonresidential Buildings (Title 24) were first established in 1978 in response to a legislative mandate to reduce California's energy consumption. The standards are updated periodically to allow consideration and possible incorporation of new energy efficiency technologies and methods. Although it was not originally intended to reduce GHG emissions, electricity production by fossil fuels results in GHG emissions and energy efficient buildings require less electricity. Therefore, increased energy efficiency results in decreased GHG emissions.

The Energy Commission adopted 2008 Standards on April 23, 2008, and Building Standards Commission approved them for publication on September 11, 2008. These updates became effective on August 1, 2009. CalEEMod modeling defaults to 2008 standards. 2013 Standards were approved and have been effective since July 1, 2014. 2016 Standards were adopted January 1, 2017. 2019 standards were published July 1, 2019 and became effective January 1, 2020. All buildings for which an application for a building permit is submitted on or after January 1, 2020 must follow the 2019 standards. The 2016 residential standards were estimated to be approximately 28 percent more efficient than the 2013 standards, whereas the 2019 residential standards are estimated to be approximately 7 percent more efficient than the 2016 standards. Furthermore, once rooftop solar electricity generation is factored in, 2019 residential standards are estimated to be approximately 53 percent more efficient than the 2016 standards. Under the 2019 standards, nonresidential buildings are estimated to be approximately 30 percent more efficient than the 2016 standards.

Energy efficient buildings require less electricity; therefore, increased energy efficiency reduces fossil fuel consumption and decreases greenhouse gas emissions.

Per Section 100 Scope, the 2019 Title 24, Part 6 Building Code now requires healthcare facilities, such as assisted living facilities, hospitals, and nursing homes, to meet documentation requirements of Title 24, Part 1 Chapter 7 – Safety Standards for Health Facilities. A healthcare facility is defined as any building or portion thereof licensed pursuant to California Health and Safety Code Division 2, Chapter 1, Section 1204 or Chapter 2, Section 1250.

Section 120.1 Ventilation and Indoor Air Quality included both additions and revisions in the 2019 Code. This section now requires nonresidential and hotel/motel buildings to have air filtration systems that use forced air ducts to supply air to occupiable spaces to have air filters. Further, the air filter efficiency must be either MERV 13 or use a particle size efficiency rating specific in the Energy Code AND be equipped with air filters with a minimum 2-inch depth or minimum 1-inch depth if sized according to the equation 120.1-A. If natural ventilation is to be used the space must also use mechanical unless ventilation openings are either permanently open or controlled to stay open during occupied times. The 2019 version of the Code also completely revised the minimum ventilation requirements including DVC airflow rates within Section 120.1 Table 120.1-A. Table 120.1-A now includes air classification and recirculation limitations, these are based on either the number of occupants or the CFM/ft<sup>2</sup> (cubic feet per minute per square foot), whichever is greater.

Section 120.1 Ventilation and Indoor Air Quality also included additions for high-rise residential buildings. Requirements include that mechanical systems must provide air filters that and that air filters must be MERV 13 or use a particle size efficiency rating specified in the Energy Code. Window operation is no longer a method allowed to meet ventilation requirements, continuous operation of central forced air system handlers used in central fan integrated ventilation system is not a permissible method of providing the dwelling unit ventilation airflow, and central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow to each dwelling unit. In addition, requirements for kitchen range hoods were also provided in the updated Section 120.1.

Per Section 120.1(a) healthcare facilities must be ventilated in accordance with Chapter 4 of the California Mechanical Code and are NOT required to meet the ventilations requirements of Title 24, Part 6.

Section 140.4 Space Conditioning Systems included both additions and revisions within the 2019 Code. The changes provided new requirements for cooling tower efficiency, new chilled water-cooling system requirements, as well as new formulas for calculating allowed fan power. Section 140.4(n) also provide a new exception for mechanical system shut-offs for high-rise multifamily dwelling units, while Section 140.4(o) added new requirements for conditioned supply air being delivered to space with mechanical exhaust.

Section 120.6 Covered Processes added information in regards to adiabatic chiller requirements that included that all condenser fans for air-cooled converseness, evaporative-cooled condensers, adiabatic condensers, gas coolers, air or water fluid coolers or cooling towers must be continuously variable speed, with the speed of all fans serving a common condenser high side controlled in unison. Further, the mid-condensing setpoint must be 70 degrees Fahrenheit for all of the above-mentioned systems.

New regulations were also adopted under Section 130.1 Indoor Lighting Controls. These included new exceptions being added for restrooms, the exception for classrooms being removed, as well as exceptions in regard to sunlight provided through skylights and overhangs.

Section 130.2 Outdoor Lighting Controls and Equipment added automatic scheduling controls which included that outdoor lighting power must be reduced by 50 to 90 percent, turn the lighting off during unoccupied times and have at least two scheduling options for each luminaire independent from each other and with a 2-hour override function. Furthermore, motion sensing controls must have the ability to reduce power within 15 minutes of area being vacant and be able to come back on again when occupied. An exception allows for lighting subject to a health or life safety statute, ordinance, or regulation may have a minimum time-out period

longer than 15 minutes or a minimum dimming level above 50% when necessary to comply with the applicable law.

*California Code of Regulations (CCR) Title 24, Part 11 (California Green Building Standards)*

On January 12, 2010, the State Building Standards Commission unanimously adopted updates to the California Green Building Standards Code, which went into effect on January 1, 2011.

2016 CALGreen Code: The 2016 residential standards were estimated to be approximately 28 percent more efficient than the 2013 standards. Energy efficient buildings require less electricity; therefore, increased energy efficiency reduces fossil fuel consumption and decreases greenhouse gas emissions. During the 2016-2017 fiscal year, the Department of Housing and Community Development (HCD) updated CALGreen through the 2015 Triennial Code Adoption Cycle.

HCD also increased the required construction waste reduction from 50 percent to 65 percent of the total building site waste. This increase aids in meeting CalRecycle's statewide solid waste recycling goal of 75 percent for 2020 as stated in Chapter 476, Statutes of 2011 (AB 341). HCD adopted new regulations requiring recycling areas for multifamily projects of five or more dwelling units. This regulation requires developers to provide readily accessible areas adequate in size to accommodate containers for depositing, storage and collection of non-hazardous materials (including organic waste) for recycling. This requirement assists businesses that were required as of April 1, 2016, to meet the requirements of Chapter 727, Statutes of 2014 (AB 1826).

HCD adopted new regulations to require information on photovoltaic systems and electric vehicle chargers to be included in operation and maintenance manuals. Currently, CALGreen section 4.410.1 Item 2(a) requires operation and maintenance instructions for equipment and appliances. Photovoltaic systems and electric vehicle chargers are systems that play an important role in many households in California, and their importance is increasing every day. HCD incorporated these two terms in the existing language in order to provide clarity to code users as to additional systems requiring operation and maintenance instructions.

HCD updated the reference to Clean Air Standards of the United States Environmental Protection Agency applicable to woodstoves and pellet stoves. HCD also adopted a new requirement for woodstoves and pellet stoves to have a permanent label indicating they are certified to meet the emission limits. This requirement provides clarity to the code user and is consistent with the United States Environmental Protection Agency's New Source Performance Standards. HCD updated the list of standards which can be used for verification of compliance for exterior grade composite wood products. This list now includes four standards from the Canadian Standards Association (CSA): CSA O121, CSA O151, CSA O153 and CSA O325. HCD updated heating and air-conditioning system design references to the ANSI/ACCA 2 Manual J, ANSI/ACCA 1 Manual D, and ANSI/ACCA 3 Manual S to the most recent versions approved by ANSI. HCD adopted a new elective measure for hot water recirculation systems for water conservation. The United States Department of Energy estimates that 3,600 to 12,000 gallons of water per year can be saved by the typical household (with four points of hot water use) if a hot water recirculation system is installed.

2019 CALGreen Code: During the 2019-2020 fiscal year, the Department of Housing and Community Development (HCD) updated CALGreen through the 2019 Triennial Code Adoption Cycle.

HCD modified the best management practices for stormwater pollution prevention adding Section 5.106.2 for projects that disturb one or more acres of land. This section requires projects that disturb one acre or more of land or less than one acre of land but are part of a larger common plan of development or sale must comply with the postconstruction requirement detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General Permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board. The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff pre-project hydrology) with installation of postconstruction stormwater management measures.

HCD added sections 5.106.4.1.3 and 5.106.4.1.5 in regard to bicycle parking. Section 5.106.4.1.3 requires new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility. In addition, Section 5.106.4.1.5 states that acceptable bicycle parking facility for Sections 5.106.4.1.2 through 5.106.4.1.4 shall be convenient from the street and shall meet one of the following: (1) covered, lockable enclosures with permanently anchored racks for bicycles; (2) lockable bicycle rooms with permanently anchored racks; or (3) lockable, permanently anchored bicycle lockers.

HCD amended section 5.106.5.3.5 allowing future charging spaces to qualify as designated parking for clean air vehicles.

HCD updated section 5.303.3.3 in regard to showerhead flow rates. This update reduced the flow rate to 1.8 GPM.

HCD amended section 5.304.1 for outdoor potable water use in landscape areas and repealed sections 5.304.2 and 5.304.3. The update requires nonresidential developments to comply with a local water efficient landscape ordinance or the current California Department of Water Resource's' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. Some updates were also made in regard to the outdoor potable water use in landscape areas for public schools and community colleges.

HCD updated Section 5.504.5.3 in regard to the use of MERV filters in mechanically ventilated buildings. This update changed the filter use from MERV 8 to MERV 13. MERV 13 filters are to be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

#### *Executive Order B-30-15*

On April 29, 2015, Governor Brown issued Executive Order B-30-15. Therein, the Governor directed the following:

- Established a new interim statewide reduction target to reduce GHG emissions to 40 percent below 1990 levels by 2030.
- Ordered all state agencies with jurisdiction over sources of GHG emissions to implement measures to achieve reductions of GHG emissions to meet the 2030 and 2050 reduction targets.
- Directed CARB to update the Climate Change Scoping Plan to express the 2030 target in terms of million metric tons of carbon dioxide equivalent.

#### *Executive Order B-29-15*

Executive Order B-29-15, mandates a statewide 25 percent reduction in potable water usage. EO B-29-15 signed into law on April 1, 2015.

#### *Executive Order B-37-16*

Executive Order B-37-16, continuing the State's adopted water reductions, was signed into law on May 9, 2016. The water reductions build off the mandatory 25 percent reduction called for in EO B-29-15.

#### *Executive Order N-79-20*

Executive Order N-79-20 Signed in September 2020, Executive Order N-79-20 establishes as a goal that where feasible, all new passenger cars and trucks, as well as all drayage/cargo trucks and off-road vehicles and equipment, sold in California, will be zero-emission by 2035. The executive order sets a similar goal requiring that all medium and heavy-duty vehicles will be zero-emission by 2045 where feasible. It also directs

CARB to develop and propose rulemaking for passenger vehicles and trucks, medium-and heavy-duty fleets where feasible, drayage trucks, and off-road vehicles and equipment “requiring increasing volumes” of new zero emission vehicles (ZEVs) “towards the target of 100 percent.” The executive order directs the California Environmental Protection Agency, the California Geologic Energy Management Division (CalGEM), and the California Natural Resources Agency to transition and repurpose oil production facilities with a goal toward meeting carbon neutrality by 2045. Executive Order N-79-20 builds upon the CARB Advanced Clean Trucks regulation, which was adopted by CARB in July 2020.

#### SBX1 2

Signed into law in April 2011, SBX1 2, requires one-third of the State’s electricity to come from renewable sources. The legislation increases California’s current 20 percent renewables portfolio standard target in 2010 to a 33 percent renewables portfolio standard by December 31, 2020.

#### Senate Bill 350

Signed into law October 7, 2015, SB 350 increases California’s renewable electricity procurement goal from 33 percent by 2020 to 50 percent by 2030. This will increase the use of Renewables Portfolio Standard (RPS) eligible resources, including solar, wind, biomass, geothermal, and others. In addition, SB 350 requires the state to double statewide energy efficiency savings in electricity and natural gas end uses by 2030. To help ensure these goals are met and the greenhouse gas emission reductions are realized, large utilities will be required to develop and submit Integrated Resource Plans (IRPs). These IRPs will detail how each entity will meet their customers resource needs, reduce greenhouse gas emissions and ramp up the deployment of clean energy resources.

#### Energy Sector and CEQA Guidelines Appendix F

The CEC first adopted Energy Efficiency Standards for Residential and Nonresidential Buildings (CCR, Title 24, Part 6) in 1978 in response to a legislative mandate to reduce energy consumption in the state. Although not originally intended to reduce GHG emissions, increased energy efficiency and reduced consumption of electricity, natural gas, and other fuels would result in fewer GHG emissions from residential and nonresidential buildings subject to the standard. The standards are updated periodically (typically every three years) to allow for the consideration and inclusion of new energy efficiency technologies and methods. The 2016 update to the Energy Efficiency Standards for Residential and Nonresidential Buildings focuses on several key areas to improve the energy efficiency of renovations and addition to existing buildings as well as newly constructed buildings and renovations and additions to existing buildings. The major efficiency improvements to the residential Standards involve improvements for attics, walls, water heating, and lighting, whereas the major efficiency improvements to the nonresidential Standards include alignment with the American Society of Heating, Refrigerating and Air-Conditioning Engineers (ASHRAE) 90.1-2013 national standards. Furthermore, the 2016 update required that enforcement agencies determine compliance with CCR, Title 24, Part 6 before issuing building permits for any construction.<sup>18</sup>

Part 11 of the Title 24 Building Energy Efficiency Standards is referred to as the California Green Building Standards (CALGreen) Code. The purpose of the CALGreen Code is to “improve public health, safety and general welfare by enhancing the design and construction of buildings through the use of building concepts having a reduced negative impact or positive environmental impact and encouraging sustainable construction practices in the following categories: (1) Planning and design; (2) Energy efficiency; (3) Water efficiency and conservation; (4) Material conservation and resource efficiency; and (5) Environmental air quality.”<sup>19</sup> As of January 1, 2011, the CALGreen Code is mandatory for all new buildings constructed in the state. The CALGreen Code establishes mandatory measures for new residential and non-residential buildings. Such

<sup>18</sup> California Energy Commission, 2016 Building Energy Efficiency Standards, June 2015, <http://www.energy.ca.gov/2015publications/CEC-400-2015-037/CEC-400-2015-037-CMF.pdf>.

<sup>19</sup> California Building Standards Commission, 2010 California Green Building Standards Code, (2010).

mandatory measures include energy efficiency, water conservation, material conservation, planning and design, and overall environmental quality. The CALGreen Code was most recently updated in 2019 to include new mandatory measures for residential and nonresidential uses; the new measures took effect on January 1, 2020.

### **Regional – South Coast Air Quality Management District**

The project is within the South Coast Air Basin, which is under the jurisdiction of the South Coast Air Quality Management District (SCAQMD).

#### *SCAQMD Regulation XXVII, Climate Change*

SCAQMD Regulation XXVII currently includes three rules:

- The purpose of Rule 2700 is to define terms and post global warming potentials.
- The purpose of Rule 2701, SoCal Climate Solutions Exchange, is to establish a voluntary program to encourage, quantify, and certify voluntary, high quality certified greenhouse gas emission reductions in the SCAQMD.
- Rule 2702, Greenhouse Gas Reduction Program, was adopted on February 6, 2009. The purpose of this rule is to create a Greenhouse Gas Reduction Program for greenhouse gas emission reductions in the SCAQMD. The SCAQMD will fund projects through contracts in response to requests for proposals or purchase reductions from other parties.

A variety of agencies have developed greenhouse gas emission thresholds and/or have made recommendations for how to identify a threshold. However, the thresholds for projects in the jurisdiction of the SCAQMD remain in flux. The California Air Pollution Control Officers Association explored a variety of threshold approaches but did not recommend one approach (2008). The ARB recommended approaches for setting interim significance thresholds (California Air Resources Board 2008b), in which a draft industrial project threshold suggests that non-transportation related emissions under 7,000 MTCO<sub>2e</sub> per year would be less than significant; however, the ARB has not approved those thresholds and has not published anything since then. The SCAQMD is in the process of developing thresholds, as discussed below.

#### *SCAQMD Threshold Development*

On December 5, 2008, the SCAQMD Governing Board adopted an interim greenhouse gas significance threshold for stationary sources, rules, and plans where the SCAQMD is lead agency (SCAQMD permit threshold). The SCAQMD permit threshold consists of five tiers. However, the SCAQMD is not the lead agency for this project. Therefore, the five permit threshold tiers do not apply to the proposed project.

The SCAQMD is in the process of preparing recommended significance thresholds for greenhouse gases for local lead agency consideration ("SCAQMD draft local agency threshold"); however, the SCAQMD Board has not approved the thresholds as of the date of the Notice of Preparation. The current draft thresholds consist of the following tiered approach:

- Tier 1 consists of evaluating whether or not the project qualifies for any applicable exemption under CEQA.
- Tier 2 consists of determining whether the project is consistent with a greenhouse gas reduction plan. If a project is consistent with a qualifying local greenhouse gas reduction plan, it does not have significant greenhouse gas emissions.
- Tier 3 consists of screening values, which the lead agency can choose, but must be consistent with all projects within its jurisdiction. A project's construction emissions are averaged over 30 years and are added to a project's operational emissions. If a project's emissions are under one of the following screening thresholds, then the project is less than significant:

- All land use types: 3,000 MTCO<sub>2</sub>e per year
- Based on land use type: residential: 3,500 MTCO<sub>2</sub>e per year; commercial: 1,400 MTCO<sub>2</sub>e per year; or mixed use: 3,000 MTCO<sub>2</sub>e per year.
- Based on land type: Industrial (where SCAQMD is the lead agency), 10,000 MTCO<sub>2</sub>e per year.
- Tier 4 has the following options:
  - Option 1: Reduce emissions from business as usual (BAU) by a certain percentage; this percentage is currently undefined.
  - Option 2: Early implementation of applicable AB 32 Scoping Plan measures.
  - Option 3, 2020 target for service populations (SP), which includes residents and employees: 4.8 MTCO<sub>2</sub>e/SP/year for projects and 6.6 MTCO<sub>2</sub>e/SP/year for plans;
  - Option 3, 2035 target: 3.0 MTCO<sub>2</sub>e/SP/year for projects and 4.1 MTCO<sub>2</sub>e/SP/year for plans.
- Tier 5 involves mitigation offsets to achieve target significance threshold.

The SCAQMD's draft threshold uses the Executive Order S-3-05 goal as the basis for the Tier 3 screening level. Achieving the Executive Order's objective would contribute to worldwide efforts to cap carbon dioxide concentrations at 450 ppm, thus stabilizing global climate. Specifically, the Tier 3 screening level for stationary sources is based on an emission capture rate of 90 percent for all new or modified projects. A 90 percent emission capture rate means that 90 percent of total emissions from all new or modified stationary source projects would be subject to a CEQA analysis, including a negative declaration, a mitigated negative declaration, or an environmental impact report, which includes analyzing feasible alternatives and imposing feasible mitigation measures. A GHG significance threshold based on a 90 percent emission capture rate may be more appropriate to address the long-term adverse impacts associated with global climate change because most projects will be required to implement GHG reduction measures. Further, a 90 percent emission capture rate sets the emission threshold low enough to capture a substantial fraction of future stationary source projects that will be constructed to accommodate future statewide population and economic growth, while setting the emission threshold high enough to exclude small projects that will in aggregate contribute a relatively small fraction of the cumulative statewide GHG emissions. This assertion is based on the fact that staff estimates that these GHG emissions would account for slightly less than one percent of future 2050 statewide GHG emissions target (85 MMTCO<sub>2</sub>eq/year). In addition, these small projects may be subject to future applicable GHG control regulations that would further reduce their overall future contribution to the statewide GHG inventory. Finally, these small sources are already subject to BACT for criteria pollutants and are more likely to be single-permit facilities, so they are more likely to have few opportunities readily available to reduce GHG emissions from other parts of their facility.

#### *SCAQMD Working Group*

Since neither the CARB nor the OPR has developed GHG emissions threshold, the SCAQMD formed a Working Group to develop significance thresholds related to GHG emissions. At the September 28, 2010 Working Group meeting, the SCAQMD released its most current version of the draft GHG emissions thresholds, which recommends a tiered approach that provides a quantitative annual threshold of 10,000 MTCO<sub>2</sub>e for industrial uses.

In order to assist local agencies with direction on GHG emissions, the SCAQMD organized a working group and adopted Rules 2700, 2701, 2702, and 3002 which are described below.

#### *SCAQMD Rules 2700 and 2701*

The SCAQMD adopted Rules 2700 and 2701 on December 5, 2008, which establishes the administrative structure for a voluntary program designed to quantify GHG emission reductions. Rule 2700 establishes definitions for the various terms used in Regulation XXVII – Global Climate Change. Rule 2701 provides specific protocols for private parties to follow to generate certified GHG emission reductions for projects within the district. Approved protocols include forest projects, urban tree planting, and manure management. The SCAQMD is currently developing additional protocols for other reduction measures. For a GHG emission



reduction project to qualify, it must be verified and certified by the SCAQMD Executive Officer, who has 60 days to approve or deny the Plan to reduce GHG emissions. Upon approval of the Plan, the Executive Officer issues required to issue a certified receipt of the GHG emission reductions within 90 days.

#### *SCAQMD Rule 2702*

The SCAQMD adopted Rule 2702 on February 6, 2009, which establishes a voluntary air quality investment program from which SCAQMD can collect funds from parties that desire certified GHG emission reductions, pool those funds, and use them to purchase or fund GHG emission reduction projects within two years, unless extended by the Governing Board. Priority will be given to projects that result in co-benefit emission reductions of GHG emissions and criteria or toxic air pollutants within environmental justice areas. Further, this voluntary program may compete with the cap-and-trade program identified for implementation in CARB's Scoping Plan, or a federal cap and trade program.

#### *SCAQMD Rule 3002*

The SCAQMD amended Rule 3002 on November 5, 2010 to include facilities that emit greater than 100,000 tons per year of CO<sub>2e</sub> are required to apply for a Title V permit by July 1, 2011. A Title V permit is for facilities that are considered major sources of emissions.

### **Local – City of Yucaipa**

#### *City of Yucaipa Climate Action Plan*

The City adopted the City of Yucaipa Climate Action Plan (CAP) in September 2015. The CAP presents the greenhouse gas (GHG) inventories, identifies the effectiveness of California initiatives to reduce GHG emissions, and identifies local measures that were selected by the City to reduce GHG emissions under the City's jurisdictional control to achieve the City's identified GHG reduction target. The City of Yucaipa participated in the San Bernardino County Regional Greenhouse Gas Reduction Plan which presents the collective results of all local efforts to reduce GHG emissions consistent with statewide GHG targets expressed in Assembly Bill (AB) 32, the "Global Warming Solutions Act of 2006" and Senate Bill (SB) 375. Yucaipa used the technical information within the San Bernardino County Regional Greenhouse Gas Reduction Plan in the development of the CAP. The City has selected a goal to reduce their community GHG emissions by 15% below 2008 baseline levels by the year 2020.

That CAP states that a threshold level of 3,000 MTCO<sub>2e</sub> per year will be used to identify projects that require the use of Screening Tables or a project-specific technical analysis to quantify and mitigate project emissions. Appendix C of the CAP includes screening tables to be used by the City for review of development projects in order to ensure that the specific reduction strategies in the CAP are implemented as part of the CEQA process. The Screening Tables provide a menu of options that both ensures implementation of the reduction strategies and flexibility on how development projects will implement the reduction strategies to achieve an overall reduction of emissions, consistent with the reduction target of the CAP. The Screening Tables assigns points for each option incorporated into a project as mitigation or a project design feature (collectively referred to as "feature"). The point values correspond to the minimum emissions reduction expected from each feature. The menu of features allows maximum flexibility and options for how development projects can implement the GHG reduction measures. The point levels are based upon improvements compared to 2008 emission levels of efficiency. Projects that garner at least 100 points will be consistent with the reduction quantities anticipated in the City's CAP. As such, those projects that garner a total of 100 points or greater would not require quantification of project specific GHG emissions. Consistent with CEQA Guidelines, such projects would be determined to have a less than significant individual and cumulative impact for GHG emissions.

## City of Yucaipa General Plan

The Public Safety Element of the City of Yucaipa General Plan establishes goals and policies to reduce greenhouse gases in the City. Applicable goals and policies include:

- Goal S-7** Air Quality and Climate Change. Clean and healthful air resources that promotes public health, protects the natural environment, and mitigates local impacts to climate change.
- Policy S-7.5** Energy Usage. Support the reduction and conservation of energy usage in residential and nonresidential buildings through adoption of building codes, promotion of energy-saving equipment, solar power, and other technology.
- Policy S-7.6** Greenhouse Gas Reductions. Reduce communitywide greenhouse gas emissions locally through the implementation of Yucaipa’s Climate Action Plan; actively support regional efforts to reduce greenhouse gases throughout the county.
- Policy S-7.7** Open Spaces Preservation. Continue to preserve and protect Yucaipa’s open natural spaces, maintain a community forest, and plant public landscaping to help filter air pollutants and improve air quality.

## SIGNIFICANCE THRESHOLDS

### Appendix G of State CEQA Guidelines

The CEQA Guidelines recommend that a lead agency consider the following when assessing the significance of impacts from GHG emissions on the environment:

- The extent to which the project may increase (or reduce) GHG emissions as compared to the existing environmental setting;
- Whether the project emissions exceed a threshold of significance that the lead agency determines applies to the project;
- The extent to which the project complies with regulations or requirements adopted to implement an adopted statewide, regional, or local plan for the reduction or mitigation of GHG emissions.<sup>20</sup>

### Thresholds of Significance for this Project

To determine whether the project's GHG emissions are significant, this analysis uses the Yucaipa CAP/SCAQMD draft screening threshold of 3,000 MTCO<sub>2e</sub> per year.

## METHODOLOGY

The proposed project is anticipated to generate GHG emissions from area sources, energy usage, mobile sources, waste, water, and construction equipment. The following provides the methodology used to calculate the project-related GHG emissions and the project impacts.

CalEEMod Version 2020.4.0 was used to calculate the GHG emissions from the proposed project. The CalEEMod Annual Output for year 2025 is available in Appendix C. Each source of GHG emissions is described in greater detail below.

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<sup>20</sup> The Governor’s Office of Planning and Research recommendations include a requirement that such a plan must be adopted through a public review process and include specific requirements that reduce or mitigate the project’s incremental contribution of GHG emissions. If there is substantial evidence that the possible effects of a particular project are still cumulatively considerable, notwithstanding compliance with the adopted regulations or requirements, an EIR must be prepared for the project.

### *Area Sources*

Area sources include emissions from consumer products, landscape equipment and architectural coatings. No changes were made to the default area source emissions.

### *Energy Usage*

Energy usage includes emissions from the generation of electricity and natural gas used on-site. No changes were made to the default energy usage parameters.

### *Mobile Sources*

Mobile sources include emissions from the additional vehicle miles generated from the proposed project. The vehicle trips associated with the proposed project have been analyzed by inputting the project-generated vehicular trips from the Transportation Screening Assessment into the CalEEMod Model. The program then applies the emission factors for each trip which is provided by the EMFAC2017 model to determine the vehicular traffic pollutant emissions. See Section 2 for details.

### *Waste*

Waste includes the GHG emissions generated from the processing of waste from the proposed project as well as the GHG emissions from the waste once it is interred into a landfill. AB 341 requires that 75 percent of waste be diverted from landfills by 2020, reductions for this are shown in the mitigated CalEEMod output values. No other changes were made to the default waste parameters.

### *Water*

Water includes the water used for the interior of the building as well as for landscaping and is based on the GHG emissions associated with the energy used to transport and filter the water. No changes were made to the default water usage parameters.

### *Construction*

The construction-related GHG emissions were also included in the analysis and were based on a 30-year amortization rate as recommended in the SCAQMD GHG Working Group meeting on November 19, 2009. The construction-related GHG emissions were calculated by CalEEMod and in the manner detailed above in Section 2.

## **PROJECT GREENHOUSE GAS EMISSIONS**

The GHG emissions have been calculated based on the parameters described above. A summary of the results is shown below in Table 11 and the CalEEMod Model run for the proposed project is provided in Appendix C. Table 11 shows that the total for the proposed project's emissions (without credit for any reductions from sustainable design and/or regulatory requirements) would be 683.48 MTCO<sub>2e</sub> per year. According to the thresholds of significance established above, a cumulative global climate change impact would occur if the GHG emissions created from the on-going operations of the proposed project would exceed the SCAQMD draft threshold of 3,000 MTCO<sub>2e</sub> per year for all land uses. Therefore, operation of the proposed project would not create a significant cumulative impact to global climate change. No mitigation is required.

**Table 11**  
**Project-Related Greenhouse Gas Emissions**

Category	Greenhouse Gas Emissions (Metric Tons/Year)					
	Bio-CO2	NonBio-CO <sub>2</sub>	CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Area Sources <sup>1</sup>	0.00	11.88	11.88	0.00	0.00	11.97
Energy Usage <sup>2</sup>	0.00	127.56	127.56	0.01	0.00	128.27
Mobile Sources <sup>3</sup>	0.00	436.39	436.39	0.02	0.02	443.36
Waste <sup>4</sup>	9.82	0.00	9.82	0.58	0.00	24.32
Water <sup>5</sup>	1.05	11.80	12.85	0.11	0.00	16.38
Construction <sup>6</sup>	0.00	57.63	57.63	0.01	0.00	59.18
<b>Total Emissions</b>	<b>10.87</b>	<b>645.26</b>	<b>656.13</b>	<b>0.73</b>	<b>0.03</b>	<b>683.48</b>
SCAQMD Draft Screening Threshold						3,000
Exceeds Threshold?						No

Notes:

Source: CalEEMod Version 2020.4.0 for Opening Year 2025.

- (1) Area sources consist of GHG emissions from consumer products, architectural coatings, and landscape equipment.
- (2) Energy usage consist of GHG emissions from electricity and natural gas usage.
- (3) Mobile sources consist of GHG emissions from vehicles.
- (4) Solid waste includes the CO<sub>2</sub> and CH<sub>4</sub> emissions created from the solid waste placed in landfills.
- (5) Water includes GHG emissions from electricity used for transport of water and processing of wastewater.
- (6) Construction GHG emissions CO<sub>2</sub>e based on a 30 year amortization rate.

## CONSISTENCY WITH APPLICABLE GREENHOUSE GAS REDUCTION PLANS AND POLICIES

The proposed project would have the potential to conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases. As stated previously, the applicable plan for the proposed project is the City of Yucaipa CAP; however, the City's CAP thresholds are based on the year 2020 and the proposed project is anticipated to be operational in 2025. Therefore, to determine consistency with applicable greenhouse gas plans, the project has been compared to both the City's CAP as well as the CARB Scoping Plan.

### *City of Yucaipa CAP*

As stated in the CAP, the procedures for evaluating GHG impacts and determining significance for CEQA purposes are streamlined by (1) applying an emissions level that is determined to be less than significant for small projects, and (2) utilizing Screening Tables to mitigate project GHG emissions that exceed the threshold level. The CAP uses a threshold level of 3,000 MTCO<sub>2e</sub> per year to identify projects that require the use of Screening Tables or a project-specific technical analysis to quantify and mitigate project emissions.

As shown above in Table 11, the proposed project's emissions would not exceed 3,000 MTCO<sub>2e</sub> per year. Therefore, the project is consistent with the City of Yucaipa CAP and does not need to accrue points through the CAP's Screening Tables.

### *Scoping Plan*

Emission reductions in California alone would not be able to stabilize the concentration of greenhouse gases in the earth's atmosphere. However, California's actions set an example and drive progress towards a reduction in greenhouse gases elsewhere. If other states and countries were to follow California's emission reduction targets, this could avoid medium or higher ranges of global temperature increases. Thus, severe consequences of climate change could also be avoided.

The ARB Board approved a Climate Change Scoping Plan in December 2008. The Scoping Plan outlines the State's strategy to achieve the 2020 greenhouse gas emissions limit. The Scoping Plan "proposes a comprehensive set of actions designed to reduce overall greenhouse gas emissions in California, improve our environment, reduce our dependence on oil, diversify our energy sources, save energy, create new jobs, and enhance public health" (California Air Resources Board 2008). The measures in the Scoping Plan have been in place since 2012.

This Scoping Plan calls for an "ambitious but achievable" reduction in California's greenhouse gas emissions, cutting approximately 30 percent from business-as-usual emission levels projected for 2020, or about 10 percent from today's levels. On a per-capita basis, that means reducing annual emissions of 14 tons of carbon dioxide for every man, woman and child in California down to about 10 tons per person by 2020.

In May 2014, CARB released its *First Update to the Climate Change Scoping Plan* (CARB 2014). This *Update* identifies the next steps for California's leadership on climate change. While California continues on its path to meet the near-term 2020 greenhouse gas limit, it must also set a clear path toward long-term, deep GHG emission reductions. This report highlights California's success to date in reducing its GHG emissions and lays the foundation for establishing a broad framework for continued emission reductions beyond 2020, on the path to 80 percent below 1990 levels by 2050.

In November 2017, CARB release the 2017 Scoping Plan. This Scoping Plan incorporates, coordinates, and leverages many existing and ongoing efforts and identifies new policies and actions to accomplish the State's climate goals, and includes a description of a suite of specific actions to meet the State's 2030 GHG limit. In addition, Chapter 4 provides a broader description of the many actions and proposals being explored across the sectors, including the natural resources sector, to achieve the State's mid and long-term climate goals.

Guided by legislative direction, the actions identified in the 2017 Scoping Plan reduce overall GHG emissions in California and deliver policy signals that will continue to drive investment and certainty in a low carbon economy. The 2017 Scoping Plan builds upon the successful framework established by the Initial Scoping Plan and First Update, while identifying new, technologically feasible, and cost-effective strategies to ensure that California meets its GHG reduction targets in a way that promotes and rewards innovation, continues to foster economic growth, and delivers improvements to the environment and public health, including in disadvantaged communities. The Plan includes policies to require direct GHG reductions at some of the State's largest stationary sources and mobile sources. These policies include the use of lower GHG fuels, efficiency regulations, and the Cap-and Trade Program, which constrains and reduces emissions at covered sources.

As the latest, 2017 Scoping Plan builds upon previous versions, project consistency with applicable strategies of both the 2008 and 2017 Plan are assessed in Table 12. As shown in Table 12, the project is consistent with the applicable strategies and would result in a less than significant impact.

At a level of 683.48 MTCO<sub>2</sub>e per year, the project's GHG emissions do not exceed the SCAQMD threshold of 3,000 MTCO<sub>2</sub>e per year for all land uses and would be in compliance with the reduction goals of the City's CAP, CARB Scoping Plan, AB-32 and SB-32. Furthermore, the project will comply with applicable Green Building Standards and City of Yucaipa's policies regarding sustainability (as dictated by the City's General Plan). Impacts are considered to be less than significant.

**Table 12 (1 of 2)**  
**Project Consistency with CARB Scoping Plan Policies and Measures**

2008 Scoping Plan Measures to Reduce Greenhouse Gas Emissions	Project Compliance with Measure
California Light-Duty Vehicle Greenhouse Gas Standards – Implement adopted standards and planned second phase of the program. Align zero-emission vehicle, alternative and renewable fuel and vehicle technology programs with long-term climate change goals.	No Conflict. These are CARB enforced standards; vehicles that access the project, that are required to comply with the standards, will comply with the strategy.
Energy Efficiency – Maximize energy efficiency building and appliance standards; pursue additional efficiency including new technologies, policy, and implementation mechanisms. Pursue comparable investment in energy efficiency from all retail providers of electricity in California.	No Conflict. The project will be compliant with the current Title 24 standards.
Low Carbon Fuel Standard – Develop and adopt the Low Carbon Fuel Standard.	No Conflict. These are CARB enforced standards; vehicles that access the project, that are required to comply with the standards, will comply with the strategy.
Vehicle Efficiency Measures – Implement light-duty vehicle efficiency measures.	No Conflict. These are CARB enforced standards; vehicles that access the project, that are required to comply with the standards, will comply with the strategy.
Medium/Heavy-Duty Vehicles – Adopt medium and heavy-duty vehicle efficiency measures.	No Conflict. These are CARB enforced standards; vehicles that access the project, that are required to comply with the standards, will comply with the strategy.
Green Building Strategy – Expand the use of green building practices to reduce the carbon footprint of California’s new and existing inventory of buildings.	No Conflict.. The California Green Building Standards Code (proposed Part 11, Title 24) was adopted as part of the California Building Standards Code in the CCR. Part 11 establishes voluntary standards, that are mandatory in the 2019 edition of the Code, on planning and design for sustainable site development, energy efficiency (in excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants. The project will be subject to these mandatory standards.
High Global Warming Potential Gases – Adopt measures to reduce high global warming potential gases.	No Conflict. CARB identified five measures that reduce HFC emissions from vehicular and commercial refrigeration systems; vehicles that access the project that are required to comply with the measures will comply with the strategy.
Recycling and Waste – Reduce methane emissions at landfills. Increase waste diversion, composting, and commercial recycling. Move toward zero-waste.	No Conflict. The state is currently developing a regulation to reduce methane emissions from municipal solid waste landfills. The project will be required to comply with City programs, such as any City recycling and waste reduction programs, which comply with the 75 percent reduction that was required by 2020 per AB 341.
Water – Continue efficiency programs and use cleaner energy sources to move and treat water.	No Conflict. The project will comply with all applicable City ordinances and CAL Green requirements.

**Table 12 (2 of 2)**  
**Project Consistency with CARB Scoping Plan Policies and Measures**

2017 Scoping Plan Recommended Actions to Reduce Greenhouse Gas Emissions	Project Compliance with Recommended Action
Implement Mobile Source Strategy: Further increase GHG stringency on all light-duty vehicles beyond existing Advanced Clean Car regulations.	No Conflict. These are CARB enforced standards; vehicles that access the project, that are required to comply with the standards, will comply with the strategy.
Implement Mobile Source Strategy: At least 1.5 million zero emission and plug-in hybrid light-duty electric vehicles by 2025 and at least 4.2 million zero emission and plug-in hybrid light-duty electric vehicles by 2030.	No Conflict. These are CARB enforced standards; vehicles that access the project, that are required to comply with the standards, will comply with the strategy.
Implement Mobile Source Strategy: Innovative Clean Transit: Transition to a suite of to-be-determined innovative clean transit options. Assumed 20 percent of new urban buses purchased beginning in 2018 will be zero emission buses with the penetration of zero-emission technology ramped up to 100 percent of new sales in 2030. Also, new natural gas buses, starting in 2018, and diesel buses, starting in 2020, meet the optional heavy-duty low-NOX standard.	No Conflict. These are CARB enforced standards; vehicles that access the project, that are required to comply with the standards, will comply with the strategy.
Implement Mobile Source Strategy: Last Mile Delivery: New regulation that would result in the use of low NOX or cleaner engines and the deployment of increasing numbers of zero-emission trucks primarily for class 3-7 last mile delivery trucks in California. This measure assumes ZEVs comprise 2.5 percent of new Class 3-7 truck sales in local fleets starting in 2020, increasing to 10 percent in 2025 and remaining flat through 2030.	No Conflict. These are CARB enforced standards; vehicles that access the project, that are required to comply with the standards, will comply with the strategy.
Implement SB 350 by 2030: Establish annual targets for statewide energy efficiency savings and demand reduction that will achieve a cumulative doubling of statewide energy efficiency savings in electricity and natural gas end uses by 2030.	No Conflict. The project will be compliant with the current Title 24 standards.
By 2019, develop regulations and programs to support organic waste landfill reduction goals in the SLCP and SB 1383.	No Conflict. The project will be required to comply with City programs, such as any City recycling and waste reduction programs, which comply with the 75 percent reduction that was required by 2020 per AB 341.

Source: CARB Scoping Plan (2008 and 2017)



## CUMULATIVE GREENHOUSE GAS IMPACTS

Although the project is expected to emit GHGs, the emission of GHGs by a single project into the atmosphere is not itself necessarily an adverse environmental effect. Rather, it is the increased accumulation of GHG from more than one project and many sources in the atmosphere that may result in global climate change. Therefore, in the case of global climate change, the proximity of the project to other GHG emission generating activities is not directly relevant to the determination of a cumulative impact because climate change is a global condition. According to CAPCOA, "GHG impacts are exclusively cumulative impacts; there are no non-cumulative GHG emission impacts from a climate change perspective."<sup>21</sup> The resultant consequences of that climate change can cause adverse environmental effects. A project's GHG emissions typically would be very small in comparison to state or global GHG emissions and, consequently, they would, in isolation, have no significant direct impact on climate change.

The state has mandated a goal of reducing statewide emissions to 1990 levels by 2020, even though statewide population and commerce are predicted to continue to expand. In order to achieve this goal, CARB is in the process of establishing and implementing regulations to reduce statewide GHG emissions. Consistent with CEQA Guidelines Section 15064(h)(3),<sup>22</sup> the City, as lead agency, has determined that the project's contribution to cumulative GHG emissions and global climate change would be less than significant if the project is consistent with the applicable regulatory plans and policies to reduce GHG emissions.

As discussed in the Consistency With Applicable Greenhouse Gas Reduction Plans and Policies section above, the project is consistent with the goals and objectives of the City of Yucaipa CAP and the CARB Scoping Plan.

Thus, given the project's consistency with the City's CAP, CARB Scoping Plan, and SCAQMD's 3,000 MTCO<sub>2</sub>e per year threshold for all land uses, the project would not conflict with any applicable plan, policy, or regulation of an agency adopted for the purpose of reducing the emissions of GHGs. Given this consistency, it is concluded that the project's incremental contribution to greenhouse gas emissions and their effects on climate change would not be cumulatively considerable.

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<sup>21</sup> Source: California Air Pollution Control Officers Association, CEQA & Climate change: Evaluating and Addressing Greenhouse Gas Emissions from Projects Subject to the California Environmental Quality Act, (2008).

<sup>22</sup> The State CEQA Guidelines were amended in response to SB 97. In particular, the State CEQA Guidelines were amended to specify that compliance with a GHG emissions reduction program renders a cumulative impact insignificant. Per State CEQA Guidelines Section 15064(h)(3), a project's incremental contribution to a cumulative impact can be found not cumulatively considerable if the project will comply with an approved plan or mitigation program that provides specific requirements that will avoid or substantially lessen the cumulative problem within the geographic area of the project. To qualify, such a plan or program must be specified in law or adopted by the public agency with jurisdiction over the affected resources through a public review process to implement, interpret, or make specific the law enforced or administered by the public agency. Examples of such programs include a "water quality control plan, air quality attainment or maintenance plan, integrated waste management plan, habitat conservation plan, natural community conservation plan, [and] plans or regulations for the reduction of greenhouse gas emissions."

## 4. ENERGY ANALYSIS

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### EXISTING CONDITIONS

This section provides an overview of the existing energy conditions in the project area and region.

#### Overview

California's estimated annual energy use as of 2020 included:

- Approximately 272,576 gigawatt hours of electricity;<sup>23</sup>
- Approximately 2,074,302 million cubic feet of natural gas per year;<sup>24</sup> and
- Approximately 23.2 billion gallons of transportation fuel (for the year 2015).<sup>25</sup>

As of 2019, the year of most recent data currently available by the United States Energy Information Administration (EIA), energy use in California by demand sector was:

- Approximately 39.3 percent transportation;
- Approximately 23.2 percent industrial;
- Approximately 18.7 percent residential; and
- Approximately 18.9 percent commercial.<sup>26</sup>

California's electricity in-state generation system generates approximately 190,913 gigawatt-hours each year. In 2020, California produced approximately 70 percent of the electricity it uses; the rest was imported from the Pacific Northwest (approximately 15 percent) and the U.S. Southwest (approximately 15 percent). Natural gas is the main source for electricity generation at approximately 48.34 percent of the total in-state electric generation system power as shown in Table 13.

A summary of and context for energy consumption and energy demands within the State is presented in "U.S. Energy Information Administration, California State Profile and Energy Estimates, Quick Facts" excerpted below:

- California was the seventh-largest producer of crude oil among the 50 states in 2018, and, as of January 2019, it ranked third in oil refining capacity.
- California is the largest consumer of jet fuel among the 50 states and accounted for one-fifth of the nation's jet fuel consumption in 2018.
- California's total energy consumption is the second-highest in the nation, but, in 2018, the State's per capita energy consumption ranked the fourth-lowest, due in part to its mild climate and its energy efficiency programs.
- In 2018, California ranked first in the nation as a producer of electricity from solar, geothermal, and biomass resources and fourth in the nation in conventional hydroelectric power generation.

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<sup>23</sup> California Energy Commission. Energy Almanac. Total Electric Generation. [Online] 2021.

<https://www.energy.ca.gov/data-reports/energy-almanac/california-electricity-data/2020-total-system-electric-generation>.

<sup>24</sup> Natural Gas Consumption by End Use. U.S. Energy Information Administration. [Online] 2021.

[https://www.eia.gov/dnav/ng/ng\\_cons\\_sum\\_dcu\\_SCA\\_a.htm](https://www.eia.gov/dnav/ng/ng_cons_sum_dcu_SCA_a.htm).

<sup>25</sup> California Energy Commission. Revised Transportation Energy Demand Forecast 2018-2030. [Online] 2021.

<https://www.energy.ca.gov/data-reports/planning-and-forecasting>

<sup>26</sup> U.S. Energy Information Administration. California Energy Consumption by End-Use Sector.

California State Profile and Energy Estimates.[Online] January 16, 2020 <https://www.eia.gov/state/?sid=CA#tabs-2>

- In 2018, large- and small-scale solar PV and solar thermal installations provided 19% of California's net electricity generation.<sup>27</sup>

As indicated above, California is one of the nation's leading energy-producing states, and California per capita energy use is among the nation's most efficient. Given the nature of the proposed project, the remainder of this discussion will focus on the three sources of energy that are most relevant to the project—namely, electricity and natural gas, and transportation fuel for vehicle trips associated with the proposed project.

### **Electricity**

Electricity would be provided to the project by Southern California Edison (SCE). SCE provides electric power to more than 15 million persons, within a service area encompassing approximately 50,000 square miles.<sup>28</sup> SCE derives electricity from varied energy resources including: fossil fuels, hydroelectric generators, nuclear power plants, geothermal power plants, solar power generation, and wind farms. SCE also purchases from independent power producers and utilities, including out-of-state suppliers.<sup>29</sup>

Table 14 identifies SCE's specific proportional shares of electricity sources in 2020. As shown in Table 14, the 2020 SCE Power Mix has renewable energy at 30.9 percent of the overall energy resources, of which biomass and waste is at 0.1 percent, geothermal is at 5.5 percent, eligible hydroelectric is at 0.8 percent, solar energy is at 15.1 percent, and wind power is at 9.4 percent; other energy sources include large hydroelectric at 3.3 percent, natural gas at 15.2 percent, nuclear at 8.4 percent, other at 0.3 percent, and unspecified sources at 42 percent.

### **Natural Gas**

Natural gas would be provided to the project by Southern California Gas (SoCalGas). The following summary of natural gas resources and service providers, delivery systems, and associated regulation is excerpted from information provided by the California Public Utilities Commission (CPUC).

The CPUC regulates natural gas utility service for approximately 11 million customers that receive natural gas from Pacific Gas and Electric (PG&E), Southern California Gas (SoCalGas), San Diego Gas & Electric (SDG&E), Southwest Gas, and several smaller investor-owned natural gas utilities. The CPUC also regulates independent storage operators Lodi Gas Storage, Wild Goose Storage, Central Valley Storage and Gill Ranch Storage.

The vast majority of California's natural gas customers are residential and small commercial customers, referred to as "core" customers. Larger volume gas customers, like electric generators and industrial customers, are called "noncore" customers. Although very small in number relative to core customers, noncore customers consume about 65% of the natural gas delivered by the state's natural gas utilities, while core customers consume about 35%.

The PUC regulates the California utilities' natural gas rates and natural gas services, including in-state transportation over the utilities' transmission and distribution pipeline systems, storage, procurement, metering and billing.

Most of the natural gas used in California comes from out-of-state natural gas basins. In 2017, for example, California utility customers received 38% of their natural gas supply from basins located in the U.S. Southwest, 27% from Canada, 27% from the U.S. Rocky Mountain area, and 8% from production located in California."<sup>30</sup>

<sup>27</sup> State Profile and Energy Estimates. Independent Statistics and Analysis. [Online] [Cited: January 16, 2020.] <http://www.eia.gov/state/?sid=CA#tabs2>.

<sup>28</sup> <https://www.sce.com/about-us/who-we-are/leadership/our-service-territory>.

<sup>29</sup> California Energy Commission. Utility Energy Supply plans from 2015. [https://www.energy.ca.gov/almanac/electricity\\_data/supply\\_forms.html](https://www.energy.ca.gov/almanac/electricity_data/supply_forms.html).

<sup>30</sup> California Public Utilities Commission. Natural Gas and California. [http://www.cpuc.ca.gov/natural\\_gas/](http://www.cpuc.ca.gov/natural_gas/).

## **Transportation Energy Resources**

The project would attract additional vehicle trips with resulting consumption of energy resources, predominantly gasoline and diesel fuel. Gasoline (and other vehicle fuels) are commercially provided commodities and would be available to the project patrons and employees via commercial outlets.

The most recent data available shows the transportation sector emits 40 percent of the total greenhouse gases in the state and about 84 percent of smog-forming oxides of nitrogen (NO<sub>x</sub>).<sup>31,32</sup> About 28 percent of total United States energy consumption in 2019 was for transporting people and goods from one place to another. In 2019, petroleum comprised about 91 percent of all transportation energy use, excluding fuel consumed for aviation and most marine vessels.<sup>33</sup> In 2020, about 123.49 billion gallons (or about 2.94 billion barrels) of finished motor gasoline were consumed in the United States, an average of about 337 million gallons (or about 8.03 million barrels) per day.<sup>34</sup>

## **REGULATORY BACKGROUND**

Federal and state agencies regulate energy use and consumption through various means and programs. On the federal level, the United States Department of Transportation, the United States Department of Energy, and the United States Environmental Protection Agency are three federal agencies with substantial influence over energy policies and programs. On the state level, the PUC and the California Energy Commissions (CEC) are two agencies with authority over different aspects of energy. Relevant federal and state energy-related laws and plans are summarized below.

### **Federal Regulations**

#### *Corporate Average Fuel Economy (CAFE) Standards*

First established by the U.S. Congress in 1975, the Corporate Average Fuel Economy (CAFE) standards reduce energy consumption by increasing the fuel economy of cars and light trucks. The National Highway Traffic Safety Administration (NHTSA) and U.S. Environmental Protection Agency (USEPA) jointly administer the CAFE standards. The U.S. Congress has specified that CAFE standards must be set at the “maximum feasible level” with consideration given for: (1) technological feasibility; (2) economic practicality; (3) effect of other standards on fuel economy; and (4) need for the nation to conserve energy.<sup>35</sup>

Issued by NHTSA and EPA in March 2020 (published on April 30, 2020 and effective after June 29, 2020), the Safer Affordable Fuel-Efficient Vehicles Rule would maintain the CAFE and CO<sub>2</sub> standards applicable in model year 2020 for model years 2021 through 2026. The estimated CAFE and CO<sub>2</sub> standards for model year 2020 are 43.7 mpg and 204 grams of CO<sub>2</sub> per mile for passenger cars and 31.3 mpg and 284 grams of CO<sub>2</sub> per mile for light trucks, projecting an overall industry average of 37 mpg, as compared to 46.7 mpg under the standards issued in 2012.<sup>36</sup>

<sup>31</sup> CARB. California Greenhouse Gas Emissions Inventory – 2020 Edition. <https://www.arb.ca.gov/cc/inventory/data/data.htm>

<sup>32</sup> CARB. 2016 SIP Emission Projection Data. [https://www.arb.ca.gov/app/emsinv/2017/emseic1\\_query.php?F\\_DIV=-4&F\\_YR=2012&F\\_SEASON=A&SP=SIP105ADJ&F\\_AREA=CA](https://www.arb.ca.gov/app/emsinv/2017/emseic1_query.php?F_DIV=-4&F_YR=2012&F_SEASON=A&SP=SIP105ADJ&F_AREA=CA)

<sup>33</sup> US Energy Information Administration. Use of Energy in the United States Explained: Energy Use for Transportation. [https://www.eia.gov/energyexplained/?page=us\\_energy\\_transportation](https://www.eia.gov/energyexplained/?page=us_energy_transportation)

<sup>34</sup> <https://www.eia.gov/tools/faqs/faq.php?id=23&t=10>

<sup>35</sup> <https://www.nhtsa.gov/lawsregulations/corporate-average-fuel-economy>.

<sup>36</sup> National Highway Traffic Safety Administration (NHTSA) and U.S. Environmental Protection Agency (USEPA), 2018. Federal Register / Vol. 83, No. 165 / Friday, August 24, 2018 / Proposed Rules, The Safer Affordable Fuel-Efficient (SAFE) Vehicles Rule for Model Years 2021–2026 Passenger Cars and Light Trucks 2018. Available at: <https://www.epa.gov/regulations-emissions-vehicles-and-engines/safer-affordable-fuel-efficient-safe-vehicles-final-rule>.

### *Intermodal Surface transportation Efficiency Act of 1991 (ISTEA)*

The Intermodal Surface Transportation Efficiency Act of 1991 (ISTEA) promoted the development of intermodal transportation systems to maximize mobility as well as address national and local interests in air quality and energy. ISTEA contained factors that Metropolitan Planning Organizations (MPOs) were to address in developing transportation plans and programs, including some energy-related factors. To meet the new ISTEA requirements, MPOs adopted explicit policies defining the social, economic, energy, and environmental values guiding transportation decisions.

### *The Transportation Equity Act of the 21st Century (TEA-21)*

The Transportation Equity Act for the 21st Century (TEA-21) was signed into law in 1998 and builds upon the initiatives established in the ISTEA legislation, discussed above. TEA-21 authorizes highway, highway safety, transit, and other efficient surface transportation programs. TEA-21 continues the program structure established for highways and transit under ISTEA, such as flexibility in the use of funds, emphasis on measures to improve the environment, and focus on a strong planning process as the foundation of good transportation decisions. TEA-21 also provides for investment in research and its application to maximize the performance of the transportation system through, for example, deployment of Intelligent Transportation Systems, to help improve operations and management of transportation systems and vehicle safety.

## **State Regulations**

### Integrated Energy Policy Report (IEPR)

Senate Bill 1389 requires the California Energy Commission (CEC) to prepare a biennial integrated energy policy report that assesses major energy trends and issues facing the State's electricity, natural gas, and transportation fuel sectors and provides policy recommendations to conserve resources; protect the environment; ensure reliable, secure, and diverse energy supplies; enhance the state's economy; and protect public health and safety. The Energy Commission prepares these assessments and associated policy recommendations every two years, with updates in alternate years, as part of the Integrated Energy Policy Report.

The 2019 Integrated Energy Policy Report (2019 IEPR) was adopted February 20, 2020, and continues to work towards improving electricity, natural gas, and transportation fuel energy use in California. The 2019 IEPR focuses on a variety of topics such as decarbonizing buildings, integrating renewables, energy efficiency, energy equity, integrating renewable energy, updates on Southern California electricity reliability, climate adaptation activities for the energy sector, natural gas assessment, transportation energy demand forecast, and the California Energy Demand Forecast.<sup>37</sup>

### State of California Energy Plan

The CEC is responsible for preparing the State Energy Plan, which identifies emerging trends related to energy supply, demand, conservation, public health and safety, and the maintenance of a healthy economy. The Plan calls for the state to assist in the transformation of the transportation system to improve air quality, reduce congestion, and increase the efficient use of fuel supplies with the least environmental and energy costs. To further this policy, the plan identifies a number of strategies, including assistance to public agencies and fleet operators and encouragement of urban designs that reduce vehicle miles traveled and accommodate pedestrian and bicycle access.

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<sup>37</sup> California Energy Commission. Final 2019 Integrated Energy Policy Report. February 20, 2020. <https://www.energy.ca.gov/data-reports/reports/integrated-energy-policy-report/2019-integrated-energy-policy-report>.

### California Building Standards Code (Title 24)

The California Building Standards Code Title 24 was previously discussed in Section 3 of this report.

#### *California Building Energy Efficiency Standards (Title 24, Part 6)*

The California Building Energy Efficiency Standards for Residential and Nonresidential Buildings (California Code of Regulations, Title 24, Part 6) were adopted to ensure that building construction and system design and installation achieve energy efficiency and preserve outdoor and indoor environmental quality. The current California Building Energy Efficiency Standards (Title 24 standards) are the 2019 Title 24 standards, which became effective on January 1, 2020. The 2019 Title 24 standards include efficiency improvements to the lighting and efficiency improvements to the non-residential standards include alignment with the American Society of Heating and Air-Conditioning Engineers. For example, window operation is no longer a method allowed to meet ventilation requirements, continuous operation of central forced air system handlers used in central fan integrated ventilation system is not a permissible method of providing the dwelling unit ventilation airflow, and central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow to each dwelling unit. In addition, requirements for kitchen range hoods were also provided in the updated Section 120.1. Ventilation and Indoor Air Quality included both additions and revisions in the 2019 Code. This section now requires nonresidential and hotel/motel buildings to have air filtration systems that use forced air ducts to supply air to occupiable spaces to have air filters. Further, the air filter efficiency must be either MERV 13 or use a particle size efficiency rating specific in the Energy Code AND be equipped with air filters with a minimum 2-inch depth or minimum 1-inch depth if sized according to the equation 120.1-A. If natural ventilation is to be used the space must also use mechanical unless ventilation openings are either permanently open or controlled to stay open during occupied times.

New regulations were also adopted under Section 130.1 Indoor Lighting Controls. These included new exceptions being added for restrooms, the exception for classrooms being removed, as well as exceptions in regard to sunlight provided through skylights and overhangs.

All buildings for which an application for a building permit is submitted on or after January 1, 2020 must follow the 2019 standards. The 2016 residential standards were estimated to be approximately 28 percent more efficient than the 2013 standards, whereas the 2019 residential standards are estimated to be approximately 7 percent more efficient than the 2016 standards. Furthermore, once rooftop solar electricity generation is factored in, 2019 residential standards are estimated to be approximately 53 percent more efficient than the 2016 standards. Under the 2019 standards, nonresidential buildings are estimated to be approximately 30 percent more efficient than the 2016 standards. Energy efficient buildings require less electricity; therefore, increased energy efficiency reduces fossil fuel consumption and decreases greenhouse gas emissions.

#### *California Building Energy Efficiency Standards (Title 24, Part 11)*

The 2019 California Green Building Standards Code (California Code of Regulations, Title 24, Part 11), commonly referred to as the CALGreen Code, went into effect on January 1, 2020. The 2019 CALGreen Code includes mandatory measures for non-residential development related to site development; energy efficiency; water efficiency and conservation; material conservation and resource efficiency; and environmental quality.

As previously discussed in Section 3 of this report, the Department of Housing and Community Development (HCD) updated CALGreen through the 2019 Triennial Code Adoption Cycle. HCD modified the best management practices for stormwater pollution prevention adding Section 5.106.2 for projects that disturb one or more acres of land. This section requires projects that disturb one acre or more of land or less than one acre of land but are part of a larger common plan of development or sale must comply with the postconstruction requirement detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General Permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board. The NPDES permits require postconstruction

runoff (post-project hydrology) to match the preconstruction runoff pre-project hydrology) with installation of postconstruction stormwater management measures.

HCD added sections 5.106.4.1.3 and 5.106.4.1.5 in regard to bicycle parking. Section 5.106.4.1.3 requires new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility. In addition, Section 5.106.4.1.5 states that acceptable bicycle parking facility for Sections 5.106.4.1.2 through 5.106.4.1.4 shall be convenient from the street and shall meeting one of the following: (1) covered, lockable enclosures with permanently anchored racks for bicycles; (2) lockable bicycle rooms with permanently anchored racks; or (3) lockable, permanently anchored bicycle lockers.

HCD amended section 5.106.5.3.5 allowing future charging spaces to qualify as designated parking for clean air vehicles.

HCD updated section 5.303.3.3 in regard to showerhead flow rates. This update reduced the flow rate to 1.8 GPM.

HCD amended section 5.304.1 for outdoor potable water use in landscape areas and repealed sections 5.304.2 and 5.304.3. The update requires nonresidential developments to comply with a local water efficient landscape ordinance or the current California Department of Water Resource's' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. Some updates were also made in regard to the outdoor potable water use in landscape areas for public schools and community colleges.

HCD updated Section 5.504.5.3 in regard to the use of MERV filters in mechanically ventilated buildings. This update changed the filter use from MERV 8 to MERV 13. MERV 13 filters are to be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

#### Senate Bill 100

Senate Bill 100 (SB 100) requires 100 percent of total retail sales of electricity in California to come from eligible renewable energy resources and zero-carbon resources by December 31, 2045. SB 100 was adopted September 2018.

The interim thresholds from prior Senate Bills and Executive Orders would also remain in effect. These include Senate Bill 1078 (SB 1078), which requires retail sellers of electricity, including investor-owned utilities and community choice aggregators, to provide at least 20 percent of their supply from renewable sources by 2017. Senate Bill 107 (SB 107) which changed the target date to 2010. Executive Order S-14-08, which was signed on November 2008 and expanded the State's Renewable Energy Standard to 33 percent renewable energy by 2020. Executive Order S-21-09 directed the CARB to adopt regulations by July 31, 2010 to enforce S-14-08. Senate Bill X1-2 codifies the 33 percent renewable energy requirement by 2020.

#### Senate Bill 350

As previously discussed in Section 3 of this report, Senate Bill 350 (SB 350) was signed into law October 7, 2015, SB 350 increases California's renewable electricity procurement goal from 33 percent by 2020 to 50 percent by 2030. This will increase the use of Renewables Portfolio Standard (RPS) eligible resources, including solar, wind, biomass, geothermal, and others. In addition, SB 350 requires the state to double statewide energy efficiency savings in electricity and natural gas end uses by 2030. To help ensure these goals are met and the greenhouse gas emission reductions are realized, large utilities will be required to develop and submit Integrated Resource Plans (IRPs). These IRPs will detail how each entity will meet their customers resource needs, reduce greenhouse gas emissions and ramp up the deployment of clean energy resources.

### Assembly Bill 32

As discussed in Section 3 of this report, in 2006 the California State Legislature adopted Assembly Bill 32 (AB 32), the California Global Warming Solutions Act of 2006. AB 32 requires CARB, to adopt rules and regulations that would achieve GHG emissions equivalent to statewide levels in 1990 by 2020 through an enforceable statewide emission cap which will be phased in starting in 2012. Emission reductions shall include carbon sequestration projects that would remove carbon from the atmosphere and best management practices that are technologically feasible and cost effective. Please see Section 3 for further detail on AB 32.

### Assembly Bill 1493/Pavley Regulations

As discussed in Section 3 of this report, California Assembly Bill 1493 enacted on July 22, 2002, required CARB to develop and adopt regulations that reduce GHGs emitted by passenger vehicles and light duty trucks. In 2005, the CARB submitted a "waiver" request to the EPA from a portion of the federal Clean Air Act in order to allow the State to set more stringent tailpipe emission standards for CO<sub>2</sub> and other GHG emissions from passenger vehicles and light duty trucks. On December 19, 2007 the EPA announced that it denied the "waiver" request. On January 21, 2009, CARB submitted a letter to the EPA administrator regarding the State's request to reconsider the waiver denial. The EPA approved the waiver on June 30, 2009.

### Executive Order S-1-07/Low Carbon Fuel Standard

As discussed in Section 3 of this report, Executive Order S-1-07 was issued in 2007 and proclaims that the transportation sector is the main source of GHG emissions in the State, since it generates more than 40 percent of the State's GHG emissions. It establishes a goal to reduce the carbon intensity of transportation fuels sold in the State by at least ten percent by 2020. This Order also directs CARB to determine whether this Low Carbon Fuel Standard (LCFS) could be adopted as a discrete early-action measure as part of the effort to meet the mandates in AB 32.

On April 23, 2009 CARB approved the proposed regulation to implement the low carbon fuel standard. The low carbon fuel standard is anticipated to reduce GHG emissions by about 16 MMT per year by 2020. The low carbon fuel standard is designed to provide a framework that uses market mechanisms to spur the steady introduction of lower carbon fuels. The framework establishes performance standards that fuel producers and importers must meet each year beginning in 2011. Separate standards are established for gasoline and diesel fuels and the alternative fuels that can replace each. The standards are "back-loaded", with more reductions required in the last five years, than during the first five years. This schedule allows for the development of advanced fuels that are lower in carbon than today's fuels and the market penetration of plug-in hybrid electric vehicles, battery electric vehicles, fuel cell vehicles, and flexible fuel vehicles. It is anticipated that compliance with the low carbon fuel standard will be based on a combination of both lower carbon fuels and more efficient vehicles.

Reformulated gasoline mixed with corn-derived ethanol at ten percent by volume and low sulfur diesel fuel represent the baseline fuels. Lower carbon fuels may be ethanol, biodiesel, renewable diesel, or blends of these fuels with gasoline or diesel as appropriate. Compressed natural gas and liquefied natural gas also may be low carbon fuels. Hydrogen and electricity, when used in fuel cells or electric vehicles are also considered as low carbon fuels for the low carbon fuel standard.



## California Air Resources Board

### *CARB's Advanced Clean Cars Program*

Closely associated with the Pavley regulations, the Advanced Clean Cars emissions control program was approved by CARB in 2012. The program combines the control of smog, soot, and GHGs with requirements for greater numbers of zero-emission vehicles for model years 2015–2025.<sup>15</sup> The components of the Advanced Clean Cars program include the Low-Emission Vehicle (LEV) regulations that reduce criteria pollutants and GHG emissions from light- and medium-duty vehicles, and the Zero-Emission Vehicle (ZEV) regulation, which requires manufacturers to produce an increasing number of pure ZEVs (meaning battery electric and fuel cell electric vehicles), with provisions to also produce plug-in hybrid electric vehicles (PHEV) in the 2018 through 2025 model years.<sup>38</sup>

### *Airborne Toxic Control Measure to Limit Diesel-Fueled Commercial Motor Vehicle Idling*

The Airborne Toxic Control Measure to Limit Diesel-Fueled Commercial Motor Vehicle Idling (Title 13, California Code of Regulations, Division 3, Chapter 10, Section 2435) was adopted to reduce public exposure to diesel particulate matter and other air contaminants by limiting the idling of diesel-fueled commercial motor vehicles. This section applies to diesel-fueled commercial motor vehicles with gross vehicular weight ratings of greater than 10,000 pounds that are or must be licensed for operation on highways. Reducing idling of diesel-fueled commercial motor vehicles reduces the amount of petroleum-based fuel used by the vehicle.

### *Regulation to Reduce Emissions of Diesel Particulate Matter, Oxides of Nitrogen, and other Criteria Pollutants, from In-Use Heavy-Duty Diesel-Fueled Vehicles*

The Regulation to Reduce Emissions of Diesel Particulate Matter, Oxides of Nitrogen and other Criteria Pollutants, from In-Use Heavy-Duty Diesel-Fueled Vehicles (Title 13, California Code of Regulations, Division 3, Chapter 1, Section 2025) was adopted to reduce emissions of diesel particulate matter, oxides of nitrogen (NOX) and other criteria pollutants from in-use diesel-fueled vehicles. This regulation is phased, with full implementation by 2023. The regulation aims to reduce emissions by requiring the installation of diesel soot filters and encouraging the retirement, replacement, or repower of older, dirtier engines with newer emission-controlled models. The newer emission-controlled models would use petroleum-based fuel in a more efficient manner.

## Sustainable Communities Strategy

The Sustainable Communities and Climate Protection Act of 2008, or Senate Bill 375 (SB 375), coordinates land use planning, regional transportation plans, and funding priorities to help California meet the GHG reduction mandates established in AB 32.

As previously stated in Section 3 of this report, Senate Bill 375 (SB 375) was adopted September 2008 and aligns regional transportation planning efforts, regional GHG emission reduction targets, and land use and housing allocation. SB 375 requires Metropolitan Planning Organizations (MPO) to adopt a sustainable communities strategy (SCS) or alternate planning strategy (APS) that will prescribe land use allocation in that MPO's Regional Transportation Plan (RTP). CARB, in consultation with each MPO, will provide each affected region with reduction targets for GHGs emitted by passenger cars and light trucks in the region for the years 2020 and 2035. These reduction targets will be updated every eight years but can be updated every four years if advancements in emissions technologies affect the reduction strategies to achieve the targets. CARB is also charged with reviewing each MPO's sustainable communities strategy or alternate planning strategy for consistency with its assigned targets.

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<sup>38</sup> California Air Resources Board, California's Advanced Clean Cars Program, January 18, 2017. [www.arb.ca.gov/msprog/acc/acc.htm](http://www.arb.ca.gov/msprog/acc/acc.htm).

The proposed project is located within the Southern California Association of Governments (SCAG) jurisdiction, which has authority to develop the SCS or APS. For the SCAG region, the targets set by CARB are at eight percent below 2005 per capita GHG emissions levels by 2020 and 19 percent below 2005 per capita GHG emissions levels by 2035. These reduction targets became effective October 2018.

### **Local Regulations**

#### City of Yucaipa General Plan

The Public Services and Facilities Element of the City of Yucaipa General Plan establishes goals and policies related to energy conservation in the City. Applicable goals and policies include:

**Goal PSF-8** Energy and Conservation. Reliable, adequate, and safe provision of electric, natural gas, telecommunications, and other similar infrastructure for Yucaipa residents and business.

*Policy PSF-8.1* Reliable Energy. Work with local utility companies to ensure the reliable provision of electricity and natural gas services for existing and newly developing areas and to minimize rolling shortages and blackouts.

*Policy PSF-8.2* Renewable Energy. Encourage the use of renewable energy sources (e.g., solar and other technologies) through demonstration projects at public facilities and development or financial incentives, where feasible.

### **PROJECT ENERGY DEMANDS AND ENERGY EFFICIENCY MEASURES**

#### **Evaluation Criteria**

In compliance with Appendix G of the State CEQA Guidelines, this report analyzes the project's anticipated energy use to determine if the project would:

- Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; or
- Conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

In addition, Appendix F of the State CEQA Guidelines states that the means of achieving the goal of energy conservation includes the following:

- Decreasing overall per capita energy consumption;
- Decreasing reliance on fossil fuels such as coal, natural gas and oil; and
- Increasing reliance on renewable energy sources.

#### **Methodology**

Information from the CalEEMod 2020.4.0 Daily and Annual Outputs contained in Appendix B and C, utilized for air quality and greenhouse gas analyses in Sections 2 and 3 of this report, were also utilized for this analysis. The CalEEMod outputs detail project related construction equipment, transportation energy demands, and facility energy demands.

#### **Construction Energy Demands**

The construction schedule is anticipated to occur no sooner than the beginning of June 2023 and continue through the beginning of January 2025, being completed in one phase. Staging of construction vehicles and

equipment will occur on-site. The approximately 19-month schedule is relatively short and the project site is approximately 52 acres (the improved area is only ~24.1 acres of the total site area).

#### *Construction Equipment Electricity Usage Estimates*

As stated previously, Electrical service will be provided by Southern California Edison. The focus within this section is the energy implications of the construction process, specifically the power cost from on-site electricity consumption during construction of the proposed project. Based on the 2017 National Construction Estimator, Richard Pray (2017),<sup>39</sup> the typical power cost per 1,000 square feet of building construction per month is estimated to be \$2.32. The project plans to develop the site with 35 single-family residential units and 16 senior adult housing – single family units and, per CalEEMod defaults, the total building square footage would be approximately 79,000 square feet. Based on Table 15, the total power cost of the on-site electricity usage during the construction of the proposed project is estimated to be approximately \$3,482.32. Furthermore, as shown in Table 24, the total electricity usage from project construction related activities is estimated to be approximately 20,484 kWh.<sup>40</sup>

#### *Construction Equipment Fuel Estimates*

Fuel consumed by construction equipment would be the primary energy resource expended over the course of project construction. Fuel consumed by construction equipment was evaluated with the following assumptions:

- Construction schedule of 19 months.
- All construction equipment was assumed to run on diesel fuel.
- Typical daily use of 8 hours, with some equipment operating from ~6-7 hours.
- Aggregate fuel consumption rate for all equipment was estimated at 18.5 hp-hr/gallon (from CARB's 2017 Emissions Factors Tables and fuel consumption rate factors as shown in Table D-21 of the Moyer Guidelines: ([https://www.arb.ca.gov/msprog/moyer/guidelines/2017gl/2017\\_gl\\_appendix\\_d.pdf](https://www.arb.ca.gov/msprog/moyer/guidelines/2017gl/2017_gl_appendix_d.pdf)).
- Diesel fuel would be the responsibility of the equipment operators/contractors and would be sources within the region.
- Project construction represents a "single-event" for diesel fuel demand and would not require on-going or permanent commitment of diesel fuel resources during long term operation.

Using the CalEEMod data input for the air quality and greenhouse gas analyses (Sections 2 and 3 of this report), the project's construction phase would consume electricity and fossil fuels as a single energy demand, that is, once construction is completed their use would cease. CARB's 2017 Emissions Factors Tables show that on average, aggregate fuel consumption (gasoline and diesel fuel) would be approximately 18.5 hp-hr-gal. Table 16 shows the results of the analysis of construction equipment.

As presented in Table 16, project construction activities would consume an estimated 62,820 gallons of diesel fuel. As stated previously, project construction would represent a "single-event" diesel fuel demand and would not require on-going or permanent commitment of diesel fuel resources for this purpose.

#### *Construction Worker Fuel Estimates*

It is assumed that construction worker trips are from light duty autos (LDA), light duty truck 1 (LDT1), and light duty truck 2 (LDT2) at a mix of 50 percent/25 percent/25 percent, respectively, along area roadways.<sup>41</sup>

<sup>39</sup> Pray, Richard. 2017 National Construction Estimator. Carlsbad : Craftsman Book Company, 2017.

<sup>40</sup> Assumes the project will be under the Residential - Domestic Service baseline rate under SCE.  
<https://www.sce.com/regulatory/tariff-books/rates-pricing-choices>

<sup>41</sup> CalEEMod User's Guide (May 2021) states that the CalEEMod default fleet mix for worker trips includes light duty autos and light duty trucks, LDA, LDT1, LDT2, at a mix of 50%/25%/25%, respectively.

With respect to estimated VMT, the construction worker trips would generate an estimated 1,070,528 VMT. Data regarding project related construction worker trips were based on CalEEMod 2020.4.0 model defaults.

Vehicle fuel efficiencies for construction workers were estimated in the air quality and greenhouse gas analyses (Sections 2 and 3 of this report) using information generated using CARB's 2021 EMFAC model (see Appendix D for details). An aggregate fuel efficiency of 27.1 miles per gallon (mpg) was used to calculate vehicle miles traveled for construction worker trips. Table 17 shows that an estimated 39,503 gallons of fuel would be consumed for construction worker trips.

#### *Construction Vendor/Hauling Fuel Estimates*

Table 18 and Table 19 show the estimated fuel consumption for vendor and hauling during building construction and architectural coating. With respect to estimated VMT, the vendor and hauling trips would generate an estimated 628,763 VMT. Data regarding project related construction worker trips were based on CalEEMod 2020.4.0 model defaults.

For the architectural coatings it is assumed that the contractors would be responsible for bringing coatings and equipment with them in their light duty vehicles. Therefore, vendors delivering construction material or hauling debris from the site during grading and building construction would use medium to heavy duty vehicles with an average fuel consumption of 7.66 mpg for medium heavy-duty trucks and 6.29 mpg for heavy heavy-duty trucks (see Appendix C for details).<sup>42</sup> Tables 18 and 19 show that an estimated 97,114 gallons of fuel would be consumed for vendor and hauling trips.

#### *Construction Energy Efficiency/Conservation Measures*

Construction equipment used over the approximately 19-month construction phase would conform to CARB regulations and California emissions standards and is evidence of related fuel efficiencies. There are no unusual project characteristics or construction processes that would require the use of equipment that would be more energy intensive than is used for comparable activities; or equipment that would not conform to current emissions standards (and related fuel efficiencies). Equipment employed in construction of the project would therefore not result in inefficient wasteful, or unnecessary consumption of fuel.

The project would utilize construction contractors which practice compliance with applicable CARB regulation regarding retrofitting, repowering, or replacement of diesel off-road construction equipment. Additionally, CARB has adopted the Airborne Toxic Control Measure to limit heavy-duty diesel motor vehicle idling in order to reduce public exposure to diesel particulate matter and other Toxic Air Contaminants. Compliance with these measures would result in a more efficient use of construction-related energy and would minimize or eliminate wasteful or unnecessary consumption of energy. Idling restrictions and the use of newer engines and equipment would result in less fuel combustion and energy consumption.

Additionally, as required by California Code of Regulations Title 13, Motor Vehicles, section 2449(d)(3) Idling, limits idling times of construction vehicles to no more than five minutes, thereby minimizing or eliminating unnecessary and wasteful consumption of fuel due to unproductive idling of construction equipment. Enforcement of idling limitations is realized through periodic site inspections conducted by County building officials, and/or in response to citizen complaints.

#### **Operational Energy Demands**

Energy consumption in support of or related to project operations would include transportation energy demands (energy consumed by employee and patron vehicles accessing the project site) and facilities energy demands (energy consumed by building operations and site maintenance activities).

<sup>42</sup> CalEEMod User's Guide (May 2021) states that the CalEEMod default fleet mix for vendor trips includes medium-heavy duty and heavy-heavy duty trucks, MHDT and HHDT, at a mix of 50%/50%.

### *Transportation Fuel Consumption*

Using the CalEEMod output from the air quality and greenhouse gas analyses (Sections 2 and 3 of this report), it is assumed that an average trip for autos and light trucks was assumed to be 8.7 miles and 3- 4-axle trucks were assumed to travel an average of 14.7 miles.<sup>43</sup> The project includes the development of the site with residential uses; therefore, in order to present a worst-case scenario, it was assumed that vehicles would operate 365 days per year. Table 20 shows the estimated annual fuel consumption for all classes of vehicles from autos to heavy-heavy trucks.<sup>44</sup>

The proposed project would generate 399 trips per day. The vehicle fleet mix was used from the CalEEMod output. Table 20 shows that an estimated 54,283 gallons of fuel would be consumed per year for the operation of the proposed project.

Trip generation and VMT generated by the proposed project are consistent with other similar residential uses of similar scale and configuration as reflected respectively in the Institute of Transportation Engineers (ITE) Trip Generation Manual (20<sup>th</sup> Edition, 2017). That is, the proposed project does not propose uses or operations that would inherently result in excessive and wasteful vehicle trips and VMT, nor associated excess and wasteful vehicle energy consumption. Furthermore, the state of California consumed approximately 4.2 billion gallons of diesel and 15.1 billion gallons of gasoline in 2015.<sup>45,46</sup> Therefore, the increase in fuel consumption from the proposed project is insignificant in comparison to the State's demand. Therefore, project transportation energy consumption would not be considered inefficient, wasteful, or otherwise unnecessary.

### *Facility Energy Demands (Electricity and Natural Gas)*

Building operation and site maintenance (including landscape maintenance) would result in the consumption of electricity (provided by Southern California Edison) and natural gas (provided by Southern California Gas Company). The annual natural gas and electricity demands were provided per the CalEEMod output from the air quality and greenhouse gas analyses (Sections 2 and 3 of this report) and are provided in Table 21.

As shown in Table 21, the estimated electricity demand for the proposed project is approximately 348,534 kWh per year. In 2020, the residential sector of the County of San Bernardino consumed approximately 6,103 million kWh of electricity.<sup>47</sup> In addition, the estimated natural gas consumption for the proposed project is approximately 1,232,058 kBtu per year. In 2020, the residential sector of the County of San Bernardino consumed approximately 267 million therms of gas.<sup>48</sup> Therefore, the increase in both electricity and natural gas demand from the proposed project is insignificant compared to the County's 2020 residential sector demand.

Energy use in buildings is divided into energy consumed by the built environment and energy consumed by uses that are independent of the construction of the building such as in plug-in appliances. In California, the California Building Standards Code Title 24 governs energy consumed by the built environment, mechanical systems, and some types of fixed lighting. Non-building energy use, or "plug-in" energy use can be further subdivided by specific end-use (refrigeration, cooking, appliances, etc.).

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<sup>43</sup> CalEEMod default distance for H-W (home-work) or C-W (commercial-work) is 14.7 miles; 8.7 miles for H-O (home-other) or C-O (commercial-other).

<sup>44</sup> Average fuel economy based on aggregate mileage calculated in EMFAC 2021 for opening year (2025). See Appendix C for EMFAC output.

<sup>45</sup> <https://www.energy.ca.gov/data-reports/energy-almanac/transportation-energy/california-gasoline-data-facts-and-statistics>.

<sup>46</sup> <https://www.energy.ca.gov/data-reports/energy-almanac/transportation-energy/diesel-fuel-data-facts-and-statistics>.

<sup>47</sup> California Energy Commission, Electricity Consumption by County. <https://ecdms.energy.ca.gov/electbycounty.aspx>.

<sup>48</sup> California Energy Commission, Gas Consumption by County. <http://ecdms.energy.ca.gov/gasbycounty.aspx>.

Furthermore, the proposed project energy demands in total would be comparable to other residential projects of similar scale and configuration. Therefore, the project facilities' energy demands and energy consumption would not be considered inefficient, wasteful, or otherwise unnecessary.

#### **RENEWABLE ENERGY AND ENERGY EFFICIENCY PLAN CONSISTENCY**

Regarding federal transportation regulations, the project site is located in an already developed area. Access to/from the project site is from existing roads. These roads are already in place so the project would not interfere with, nor otherwise obstruct intermodal transportation plans or projects that may be proposed pursuant to the ISTEA because SCAG is not planning for intermodal facilities in the project area.

Regarding the State's Energy Plan and compliance with Title 24 CCR energy efficiency standards, the applicant is required to comply with the California Green Building Standard Code requirements for energy efficient buildings and appliances as well as utility energy efficiency programs implemented by Southern California Edison and Southern California Gas Company.

Regarding Pavley (AB 1493) regulations, an individual project does not have the ability to comply or conflict with these regulations because they are intended for agencies and their adoption of procedures and protocols for reporting and certifying GHG emission reductions from mobile sources. However, the vehicles associated with the proposed project would be required to comply with federal and state fuel efficiency standards.

Regarding the State's Renewable Energy Portfolio Standards, the project would be required to meet or exceed the energy standards established in the California Green Building Standards Code, Title 24, Part 11 (CALGreen). CALGreen Standards require that new buildings reduce water consumption, employ building commissioning to increase building system efficiencies, divert construction waste from landfills, and install low pollutant-emitting finish materials.

As shown in Section 3 above, the proposed project would be consistent with the applicable goals of the City of Yucaipa CAP.

#### **CONCLUSIONS**

As supported by the preceding analyses, project construction and operations would not result in the inefficient, wasteful or unnecessary consumption of energy. The proposed project does not include any unusual project characteristics or construction processes that would require the use of equipment that would be more energy intensive than is used for comparable activities and is a residential project that is not proposing any additional features that would require a larger energy demand than other residential projects of similar scale and configuration. The energy demands of the project are anticipated to be accommodated within the context of available resources and energy delivery systems. The project would therefore not cause or result in the need for additional energy producing or transmission facilities. The project would not engage in wasteful or inefficient uses of energy and aims to achieve energy conservation goals within the State of California. Notwithstanding, the project proposes residential uses and will not have any long-term effects on an energy provider's future energy development or future energy conservation strategies.

**Table 13**  
**Total Electricity System Power (California 2020)**

Fuel Type	California In-State Generation (GWh)	Percent of California In-State Generation	Northwest Imports (GWh)	Southwest Imports (GWh)	Total Imports (GWh)	Percent of Imports	Total California Energy Mix (GWh)	Total California Power Mix
Coal	317	0.17%	194	6,963	7,157	8.76%	7,474	2.74%
Natural Gas	92,298	48.35%	70	8,654	8,724	10.68%	101,022	37.06%
Nuclear	16,280	8.53%	672	8,481	9,154	11.21%	25,434	9.33%
Oil	30	0.02%	-	-	0	0.00%	30	0.01%
Other (Petroleum Coke/Waste Heat)	384	0.20%	125	9	134	0.16%	518	0.19%
Large Hydro	17,938	9.40%	14,078	1,259	15,337	18.78%	33,275	12.21%
Unspecified Sources of Power	-	0.00%	12,870	1,745	14,615	17.90%	14,615	5.36%
Renewables	63,665	33.35%	13,184	13,359	26,543	32.50%	90,208	33.09%
Biomass	5,680	2.97%	975	25	1,000	1.22%	6,679	2.45%
Geothermal	11,345	5.94%	166	1,825	1,991	2.44%	13,336	4.89%
Small Hydro	3,476	1.82%	320	2	322	0.39%	3,798	1.39%
Solar	29,456	15.43%	284	6,312	6,596	8.08%	36,052	13.23%
Wind	13,708	7.18%	11,438	5,197	16,635	20.37%	30,343	11.13%
<b>Total</b>	<b>190,913</b>	<b>100%</b>	<b>41,193</b>	<b>40,471</b>	<b>81,663</b>	<b>100%</b>	<b>272,576</b>	<b>100%</b>

Notes:

(1) Source: California Energy Commission. 2020 Total System electric Generation. <https://www.energy.ca.gov/data-reports/energy-almanac/california-electricity-data/2020-total-system-electric-generation>

**Table 14**  
**SCE 2020 Power Content Mix**

Energy Resources	2020 SCE Power Mix
Eligible Renewable	30.9%
<i>Biomass &amp; Biowaste</i>	0.1%
<i>Geothermal</i>	5.5%
<i>Eligible Hydroelectric</i>	0.8%
<i>Solar</i>	15.1%
<i>Wind</i>	9.4%
Coal	0.0%
Large Hydroelectric	3.3%
Natural Gas	15.2%
Nuclear	8.4%
Other	0.3%
Unspecified Sources of power*	42.0%
Total	100%

Notes:

(1) [https://www.sce.com/sites/default/files/inline-files/SCE\\_2020PowerContentLabel.pdf](https://www.sce.com/sites/default/files/inline-files/SCE_2020PowerContentLabel.pdf)

\* Unspecified sources of power means electricity from transactions that are not traceable to specific generation sources.



**Table 15**  
**Project Construction Power Cost and Electricity Usage**

Power Cost (per 1,000 square foot of building per month of construction)	Total Building Size (1,000 Square Foot) <sup>1</sup>	Construction Duration (months)	Total Project Construction Power Cost
\$2.32	79,000	19	\$3,482.32

Cost per kWh <sup>2</sup>	Total Project Construction Electricity Usage (kWh)
\$0.17	20,484

Notes:

(1) Building square footage as provided by CalEEMod defaults (see Appendix C).

(2) Assumes the project will be under the Residential - Domestic Service baseline rate under SCE.  
<https://www.sce.com/regulatory/tariff-books/rates-pricing-choices>

**Table 16**  
**Construction Equipment Fuel Consumption Estimates**

Phase	Number of Days	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor	HP hrs/day	Total Fuel Consumption (gal diesel fuel) <sup>1</sup>
Site Preparation	10	Rubber Tired Dozers	3	8	247	0.4	2,371	1,282
	10	Tractors/Loaders/Backhoes	4	8	97	0.37	1,148	621
Grading	45	Excavator	2	8	158	0.38	961	2,337
	45	Graders	1	8	187	0.41	613	1,492
	45	Rubber Tired Dozers	1	8	247	0.4	790	1,923
	45	Scrapers	2	8	367	0.48	2,819	6,856
	45	Tractors/Loaders/Backhoes	2	8	97	0.37	574	1,397
Building Construction	355	Cranes	1	7	231	0.29	469	8,998
	355	Forklifts	3	8	89	0.2	427	8,198
	355	Generator Sets	1	8	84	0.74	497	9,542
	355	Tractors/Loaders/Backhoes	3	7	97	0.37	754	14,463
	355	Welders	1	8	46	0.45	166	3,178
Paving	20	Pavers	2	8	130	0.42	874	944
	20	Paving Equipment	2	8	132	0.36	760	822
	20	Rollers	2	8	80	0.38	486	526
Architectural Coating	20	Air Compressors	1	6	78	0.48	225	243
<b>CONSTRUCTION FUEL DEMAND (gallons of diesel fuel)</b>								<b>62,820</b>

Notes:

- (1) Using Carl Moyer Guidelines Table D-21 Fuel consumption rate factors (bhp-hr/gal) for engines less than 750 hp.  
(Source: [https://www.arb.ca.gov/msprog/moyer/guidelines/2017gl/2017\\_gl\\_appendix\\_d.pdf](https://www.arb.ca.gov/msprog/moyer/guidelines/2017gl/2017_gl_appendix_d.pdf))

**Table 17**  
**Construction Worker Fuel Consumption Estimates**

Phase	Number of Days	Worker Trips/Day	Trip Length (miles)	Vehicle Miles Traveled	Average Vehicle Fuel Economy (mpg)	Estimated Fuel Consumption (gallons)
Site Preparation	10	18	14.7	2,646	27.1	98
Grading	45	20	14.7	13,230	27.1	488
Building Construction	355	199	14.7	1,038,482	27.1	38,320
Paving	20	15	14.7	4,410	27.1	163
Architectural Coating	20	40	14.7	11,760	27.1	434
Total Construction Worker Fuel Consumption						39,503

Notes:

- (1) Assumptions for the worker trip length and vehicle miles traveled are consistent with CalEEMod 2020.4.0 defaults.
- (2) CalEEMod worker vehicle class is based on an LD\_Mix, which, per CalEEMod User's Guide (May 2021), includes LDA, LDT1, and LDT2 at a mix of 50%/25%/25%, respectively.

**Table 18**  
**Construction Vendor Fuel Consumption Estimates (MHD & HHD Trucks)**

Phase	Number of Days	Vendor Trips/Day	Trip Length (miles)	Vehicle Miles Traveled	Average Vehicle Fuel Economy (mpg)	Estimated Fuel Consumption (gallons)
Site Preparation	10	0	6.9	0	6.98	0
Grading	45	0	6.9	0	6.98	0
Building Construction	355	74	6.9	181,263	6.98	25,969
Paving	20	0	6.9	0	6.98	0
Architectural Coating	20	0	6.9	0	6.98	0
Total Construction Vendor Fuel Consumption						25,969

Notes:

- (1) Assumptions for the vendor trip length and vehicle miles traveled are consistent with CalEEMod 2020.4.0 defaults.
- (2) CalEEMod vendor vehicle class is based on an HDT\_Mix, which, per CalEEMod User's Guide (May 2021), includes HHDT and MHDT at a mix of 50%/50%.

**Table 19**  
**Construction Hauling Fuel Consumption Estimates (HHD Trucks)**

Phase	Number of Days	Total Hauling Trips	Trip Length (miles)	Vehicle Miles Traveled	Average Vehicle Fuel Economy (mpg)	Estimated Fuel Consumption (gallons)
Site Preparation	10	0	20	0	6.29	0
Grading	45	22,375	20	447,500	6.29	71,145
Building Construction	355	0	20	0	6.29	0
Paving	20	0	20	0	6.29	0
Architectural Coating	20	0	20	0	6.29	0
Total Construction Hauling Fuel Consumption						71,145

Notes:

(1) Assumptions for the hauling trip length and vehicle miles traveled are consistent with CalEEMod 2020.4.0 defaults.

**Table 20**  
**Estimated Vehicle Operations Fuel Consumption**

Vehicle Type	Vehicle Mix	Number of Vehicles	Average Trip (miles) <sup>1</sup>	Daily VMT	Average Fuel Economy (mpg)	Total Gallons per Day	Total Annual Fuel Consumption (gallons)
Light Auto	Automobile	217	8.7	1,888	32.23	58.58	21,380
Light Truck	Automobile	23	8.7	200	24.83	8.06	2,941
Light Truck	Automobile	70	8.7	609	24.45	24.91	9,091
Medium Truck	Automobile	54	8.7	470	20.06	23.42	8,548
Light Heavy Truck	2-Axle Truck	11	8.7	96	16.02	5.97	2,180
Light Heavy Truck 10,000 lbs +	2-Axle Truck	3	8.7	26	15.23	1.71	626
Medium Heavy Truck	3-Axle Truck	5	14.7	74	7.87	9.34	3,409
Heavy Heavy Truck	4-Axle Truck	7	14.7	103	6.15	16.73	6,107
Total		399	--	3,465	-	148.72	--
Total Annual Fuel Consumption							54,283

Notes:

(1) Based on the size of the site and relative location, trips were assumed to be local rather than regional.

**Table 21**  
**Project Annual Operational Energy Demand Summary**

Natural Gas Demand	kBTU/year <sup>1</sup>
Single-Family Housing	990,043
Retirement Community	242,015
Total	1,232,058

Electricity Demand	kWh/year
Single-Family Housing	278,763
Retirement Community	69,771
Total	348,534

Notes:

(1) Taken from the CalEEMod 2020.4.0 annual output (Appendix C of this report).

## 5. EMISSIONS REDUCTION MEASURES

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### CONSTRUCTION MEASURES

*Adherence to SCAQMD Rule 403 is required.*

No construction mitigation is required.

### OPERATIONAL MEASURES

No operational mitigation is required.



## 6. REFERENCES

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### California Air Resources Board

- 2008 Resolution 08-43.
- 2008 Recommended Approaches for Setting Interim Significance Thresholds for Greenhouse Gases under the California Environmental Quality Act.
- 2008 ARB Recommended Interim Risk Management Policy for Inhalation-Based Residential Cancer Risk – Frequently Asked Questions.
- 2008 Climate Change Scoping Plan, a framework for change.
- 2011 Supplement to the AB 32 Scoping Plan Functional Equivalent Document.
- 2013 Almanac of Emissions and Air Quality.  
Source: <https://www.arb.ca.gov/aqd/almanac/almanac13/almanac13.htm>.
- 2014 First Update to the Climate Change Scoping Plan, Building on the Framework Pursuant to AB32, the California Global Warming Solutions Act of 2006. May.
- 2017 California's 2017 Climate Change Scoping Plan. November.
- 2021 Historical Air Quality, Top 4 Summary.

### City of Yucaipa

- 2015 City of Yucaipa Climate Action Plan. September.
- 2016 City of Yucaipa General Plan. April.

### Ganddini Group, Inc.

- 2022 Serrano Estates (TTM 20375) Transportation Study Screening Assessment. May 26.

### Governor's Office of Planning and Research

- 2008 CEQA and Climate: Addressing Climate Change Through California Environmental Quality Act (CEQA) Review.
- 2018 CEQA Guideline Sections to be Added or Amended.

### Intergovernmental Panel on Climate Change (IPCC)

- 2014 IPCC Fifth Assessment Report, Climate Change 2014: Synthesis Report.

### South Coast Air Quality Management District

- 1993 CEQA Air Quality Handbook.
- 2005 Rule 403 Fugitive Dust.
- 2007 2007 Air Quality Management Plan.

- 2008 Final Localized Significance Threshold Methodology, Revised.
- 2012 Final 2012 Air Quality Management Plan.
- 2016 2016 Air Quality Management Plan.
- 2021 Historical Data by Year. 2013, 2014 and 2015 Air Quality Data Tables..  
Source: <http://www.aqmd.gov/home/library/air-quality-data-studies/historical-data-by-year>.

**Southern California Association of Governments**

- 2016 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy.

**U.S. Environmental Protection Agency (EPA)**

- 2017 Understanding Global Warming Potentials.  
(Source: <https://www.epa.gov/ghgemissions/understanding-global-warming-potentials>).

**U.S. Geological Survey**

- 2011 Reported Historic Asbestos Mines, Historic Asbestos Prospects, and Other Natural Occurrences of Asbestos in California.

## APPENDICES

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Appendix A Glossary

Appendix B CalEEMod Model Daily Emissions Printouts

Appendix C CalEEMod Model Annual Emissions Printouts and EMFAC Data

## **APPENDIX A**

### **GLOSSARY**

AQMP	Air Quality Management Plan
BACT	Best Available Control Technologies
CAAQS	California Ambient Air Quality Standards
CalEPA	California Environmental Protection Agency
CARB	California Air Resources Board
CCAA	California Clean Air Act
CCAR	California Climate Action Registry
CEQA	California Environmental Quality Act
CFCs	Chlorofluorocarbons
CH <sub>4</sub>	Methane
CNG	Compressed natural gas
CO	Carbon monoxide
CO <sub>2</sub>	Carbon dioxide
CO <sub>2e</sub>	Carbon dioxide equivalent
DPM	Diesel particulate matter
EPA	U.S. Environmental Protection Agency
GHG	Greenhouse gas
GWP	Global warming potential
HIDPM	Hazard Index Diesel Particulate Matter
HFCs	Hydrofluorocarbons
IPCC	International Panel on Climate Change
LCFS	Low Carbon Fuel Standard
LST	Localized Significant Thresholds
MTCO <sub>2e</sub>	Metric tons of carbon dioxide equivalent
MMTCO <sub>2e</sub>	Million metric tons of carbon dioxide equivalent
MPO	Metropolitan Planning Organization
NAAQS	National Ambient Air Quality Standards
NO <sub>x</sub>	Nitrogen Oxides
NO <sub>2</sub>	Nitrogen dioxide
N <sub>2</sub> O	Nitrous oxide
O <sub>3</sub>	Ozone
OPR	Governor's Office of Planning and Research
PFCs	Perfluorocarbons
PM	Particle matter
PM <sub>10</sub>	Particles that are less than 10 micrometers in diameter
PM <sub>2.5</sub>	Particles that are less than 2.5 micrometers in diameter
PMI	Point of maximum impact
PPM	Parts per million
PPB	Parts per billion
RTIP	Regional Transportation Improvement Plan
RTP	Regional Transportation Plan
SANBAG	San Bernardino Association of Governments
SCAB	South Coast Air Basin
SCAG	Southern California Association of Governments
SCAQMD	South Coast Air Quality Management District
SF <sub>6</sub>	Sulfur hexafluoride
SIP	State Implementation Plan
SO <sub>x</sub>	Sulfur Oxides
TAC	Toxic air contaminants
VOC	Volatile organic compounds

**APPENDIX B**

**CALEEMOD MODEL DAILY EMISSIONS PRINTOUTS**

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**19521 Serrano Estates (TTM 20375)  
San Bernardino-South Coast County, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Other Asphalt Surfaces	6.00	Acre	6.00	261,360.00	0
Other Non-Asphalt Surfaces	3.54	Acre	3.54	154,202.40	0
Retirement Community	16.00	Dwelling Unit	3.20	16,000.00	46
Single Family Housing	35.00	Dwelling Unit	11.36	63,000.00	100

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	32
<b>Climate Zone</b>	10			<b>Operational Year</b>	2025
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MWhr)</b>	390.98	<b>CH4 Intensity (lb/MWhr)</b>	0.033	<b>N2O Intensity (lb/MWhr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics -

Land Use - Improved area = ~24.1 acres w/ 35 SFDs, 16 senior adult housing units, ~25% of site (6 acres) on-site roads, & balance (~3.54 ac) landscaping, retention basins etc.

Construction Phase - Construction anticipated to begin early June 2023 and be completed by early January 2025.

Off-road Equipment -

Grading - 179,000 CY export during grading.

Vehicle Trips - 11th ed ITE => SFDs = 9.43 trips/DU weekday, 9.48 trips/DU Sat, 8.48 trips/DU Sun; Senior Adult Housing = 4.31 trips/DU weekdays, 2.84 trips/DU Sat, 2.49 trips/DU Sun

Woodstoves - Per SCAQMD Rule 445, no woodburning stoves or fireplaces.

Sequestration - ~275 new trees to be planted.

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Construction Off-road Equipment Mitigation -

Mobile Land Use Mitigation - Site is ~2.7 miles NE of downtown Yucaipa.

Water Mitigation - ~20% indoor water reduction per CalGreen Standards. Water-efficient irrigation systems.

Waste Mitigation - AB 341 requires each jurisdiction in CA to divert at least 75% of their waste away from landfills by 2020.

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	35.00	45.00
tblConstructionPhase	NumDays	370.00	355.00
tblFireplaces	NumberGas	13.60	14.40
tblFireplaces	NumberGas	29.75	31.50
tblFireplaces	NumberWood	0.80	0.00
tblFireplaces	NumberWood	1.75	0.00
tblGrading	MaterialExported	0.00	179,000.00
tblSequestration	NumberOfNewTrees	0.00	275.00
tblVehicleTrips	ST_TR	2.03	2.84
tblVehicleTrips	ST_TR	9.54	9.48
tblVehicleTrips	SU_TR	1.95	2.49
tblVehicleTrips	SU_TR	8.55	8.48
tblVehicleTrips	WD_TR	2.40	4.31
tblVehicleTrips	WD_TR	9.44	9.43
tblWoodstoves	NumberCatalytic	0.80	0.00
tblWoodstoves	NumberCatalytic	1.75	0.00
tblWoodstoves	NumberNoncatalytic	0.80	0.00
tblWoodstoves	NumberNoncatalytic	1.75	0.00

**2.0 Emissions Summary**



19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2023	4.5979	89.2489	45.4622	0.3434	19.8582	2.0008	21.1252	10.1558	1.8618	11.3215	0.0000	36,654.3563	36,654.3563	3.2478	4.8295	38,174.7371
2024	34.9284	27.3379	42.5937	0.0904	3.3132	1.1754	4.4887	0.8895	1.0996	1.9891	0.0000	8,984.6888	8,984.6888	1.4262	0.2634	9,098.8304
2025	32.5526	9.8300	18.1800	0.0309	0.6148	0.4728	1.0876	0.1630	0.4391	0.6021	0.0000	3,024.4778	3,024.4778	0.7400	0.0114	3,046.3749
<b>Maximum</b>	<b>34.9284</b>	<b>89.2489</b>	<b>45.4622</b>	<b>0.3434</b>	<b>19.8582</b>	<b>2.0008</b>	<b>21.1252</b>	<b>10.1558</b>	<b>1.8618</b>	<b>11.3215</b>	<b>0.0000</b>	<b>36,654.3563</b>	<b>36,654.3563</b>	<b>3.2478</b>	<b>4.8295</b>	<b>38,174.7371</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2023	4.5979	89.2489	45.4622	0.3434	12.6957	2.0008	14.6965	3.9933	1.8618	5.7603	0.0000	36,654.3563	36,654.3563	3.2478	4.8295	38,174.7371
2024	34.9284	27.3379	42.5937	0.0904	3.3132	1.1754	4.4887	0.8895	1.0996	1.9891	0.0000	8,984.6888	8,984.6888	1.4262	0.2634	9,098.8304
2025	32.5526	9.8300	18.1800	0.0309	0.6148	0.4728	1.0876	0.1630	0.4391	0.6021	0.0000	3,024.4778	3,024.4778	0.7400	0.0114	3,046.3749
<b>Maximum</b>	<b>34.9284</b>	<b>89.2489</b>	<b>45.4622</b>	<b>0.3434</b>	<b>12.6957</b>	<b>2.0008</b>	<b>14.6965</b>	<b>3.9933</b>	<b>1.8618</b>	<b>5.7603</b>	<b>0.0000</b>	<b>36,654.3563</b>	<b>36,654.3563</b>	<b>3.2478</b>	<b>4.8295</b>	<b>38,174.7371</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	30.11	0.00	24.08	54.98	0.00	39.97	0.00	0.00	0.00	0.00	0.00	0.00

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	2.0939	0.8098	4.5286	5.0800e-003		0.0849	0.0849		0.0849	0.0849	0.0000	979.5783	979.5783	0.0259	0.0178	985.5359
Energy	0.0364	0.3111	0.1324	1.9900e-003		0.0252	0.0252		0.0252	0.0252		397.1176	397.1176	7.6100e-003	7.2800e-003	399.4775
Mobile	1.2658	1.6005	12.3245	0.0279	2.8915	0.0210	2.9125	0.7712	0.0196	0.7908		2,909.8419	2,909.8419	0.1456	0.1292	2,951.9910
<b>Total</b>	<b>3.3961</b>	<b>2.7214</b>	<b>16.9854</b>	<b>0.0349</b>	<b>2.8915</b>	<b>0.1310</b>	<b>3.0225</b>	<b>0.7712</b>	<b>0.1296</b>	<b>0.9008</b>	<b>0.0000</b>	<b>4,286.5378</b>	<b>4,286.5378</b>	<b>0.1791</b>	<b>0.1543</b>	<b>4,337.0043</b>

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	2.0939	0.8098	4.5286	5.0800e-003		0.0849	0.0849		0.0849	0.0849	0.0000	979.5783	979.5783	0.0259	0.0178	985.5359
Energy	0.0364	0.3111	0.1324	1.9900e-003		0.0252	0.0252		0.0252	0.0252		397.1176	397.1176	7.6100e-003	7.2800e-003	399.4775
Mobile	1.1813	1.4032	10.6962	0.0236	2.4433	0.0179	2.4613	0.6516	0.0168	0.6684		2,469.6820	2,469.6820	0.1292	0.1129	2,506.5565
<b>Total</b>	<b>3.3116</b>	<b>2.5241</b>	<b>15.3571</b>	<b>0.0307</b>	<b>2.4433</b>	<b>0.1280</b>	<b>2.5713</b>	<b>0.6516</b>	<b>0.1268</b>	<b>0.7785</b>	<b>0.0000</b>	<b>3,846.3779</b>	<b>3,846.3779</b>	<b>0.1627</b>	<b>0.1380</b>	<b>3,891.5699</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	2.49	7.25	9.59	12.08	15.50	2.30	14.93	15.50	2.18	13.58	0.00	10.27	10.27	9.14	10.58	10.27

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	6/1/2023	6/14/2023	5	10	
2	Grading	Grading	6/15/2023	8/16/2023	5	45	
3	Building Construction	Building Construction	8/17/2023	12/25/2024	5	355	
4	Paving	Paving	12/5/2024	1/1/2025	5	20	
5	Architectural Coating	Architectural Coating	12/5/2024	1/1/2025	5	20	

**Acres of Grading (Site Preparation Phase): 15**

**Acres of Grading (Grading Phase): 135**

**Acres of Paving: 9.54**

**Residential Indoor: 159,975; Residential Outdoor: 53,325; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 24,934 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	158	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	2	8.00	367	0.48

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.36
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Site Preparation	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	22,375.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	199.00	74.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	40.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

Water Exposed Area

Reduce Vehicle Speed on Unpaved Roads

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Site Preparation - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					19.6570	0.0000	19.6570	10.1025	0.0000	10.1025			0.0000			0.0000
Off-Road	2.6595	27.5242	18.2443	0.0381		1.2660	1.2660		1.1647	1.1647		3,687.3081	3,687.3081	1.1926		3,717.1219
<b>Total</b>	<b>2.6595</b>	<b>27.5242</b>	<b>18.2443</b>	<b>0.0381</b>	<b>19.6570</b>	<b>1.2660</b>	<b>20.9230</b>	<b>10.1025</b>	<b>1.1647</b>	<b>11.2672</b>		<b>3,687.3081</b>	<b>3,687.3081</b>	<b>1.1926</b>		<b>3,717.1219</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0704	0.0425	0.6788	1.8000e-003	0.2012	9.9000e-004	0.2022	0.0534	9.1000e-004	0.0543		183.9003	183.9003	4.3900e-003	4.3200e-003	185.2988
<b>Total</b>	<b>0.0704</b>	<b>0.0425</b>	<b>0.6788</b>	<b>1.8000e-003</b>	<b>0.2012</b>	<b>9.9000e-004</b>	<b>0.2022</b>	<b>0.0534</b>	<b>9.1000e-004</b>	<b>0.0543</b>		<b>183.9003</b>	<b>183.9003</b>	<b>4.3900e-003</b>	<b>4.3200e-003</b>	<b>185.2988</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Site Preparation - 2023**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.6662	0.0000	7.6662	3.9400	0.0000	3.9400			0.0000			0.0000
Off-Road	2.6595	27.5242	18.2443	0.0381		1.2660	1.2660		1.1647	1.1647	0.0000	3,687.308 1	3,687.308 1	1.1926		3,717.121 9
<b>Total</b>	<b>2.6595</b>	<b>27.5242</b>	<b>18.2443</b>	<b>0.0381</b>	<b>7.6662</b>	<b>1.2660</b>	<b>8.9323</b>	<b>3.9400</b>	<b>1.1647</b>	<b>5.1047</b>	<b>0.0000</b>	<b>3,687.308 1</b>	<b>3,687.308 1</b>	<b>1.1926</b>		<b>3,717.121 9</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0704	0.0425	0.6788	1.8000e-003	0.2012	9.9000e-004	0.2022	0.0534	9.1000e-004	0.0543		183.9003	183.9003	4.3900e-003	4.3200e-003	185.2988
<b>Total</b>	<b>0.0704</b>	<b>0.0425</b>	<b>0.6788</b>	<b>1.8000e-003</b>	<b>0.2012</b>	<b>9.9000e-004</b>	<b>0.2022</b>	<b>0.0534</b>	<b>9.1000e-004</b>	<b>0.0543</b>		<b>183.9003</b>	<b>183.9003</b>	<b>4.3900e-003</b>	<b>4.3200e-003</b>	<b>185.2988</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Grading - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					9.6534	0.0000	9.6534	3.7219	0.0000	3.7219			0.0000			0.0000
Off-Road	3.3217	34.5156	28.0512	0.0621		1.4245	1.4245		1.3105	1.3105		6,011.4777	6,011.4777	1.9442		6,060.0836
<b>Total</b>	<b>3.3217</b>	<b>34.5156</b>	<b>28.0512</b>	<b>0.0621</b>	<b>9.6534</b>	<b>1.4245</b>	<b>11.0779</b>	<b>3.7219</b>	<b>1.3105</b>	<b>5.0324</b>		<b>6,011.4777</b>	<b>6,011.4777</b>	<b>1.9442</b>		<b>6,060.0836</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	1.1980	54.6861	16.6569	0.2793	8.7073	0.5752	9.2825	2.3876	0.5503	2.9379		30,438.5449	30,438.5449	1.2987	4.8247	31,908.7660
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0782	0.0472	0.7542	2.0000e-003	0.2236	1.1000e-003	0.2247	0.0593	1.0200e-003	0.0603		204.3337	204.3337	4.8800e-003	4.8000e-003	205.8876
<b>Total</b>	<b>1.2762</b>	<b>54.7333</b>	<b>17.4111</b>	<b>0.2813</b>	<b>8.9309</b>	<b>0.5763</b>	<b>9.5072</b>	<b>2.4469</b>	<b>0.5513</b>	<b>2.9982</b>		<b>30,642.8786</b>	<b>30,642.8786</b>	<b>1.3036</b>	<b>4.8295</b>	<b>32,114.6536</b>



19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Grading - 2023**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					3.7648	0.0000	3.7648	1.4515	0.0000	1.4515			0.0000			0.0000
Off-Road	3.3217	34.5156	28.0512	0.0621		1.4245	1.4245		1.3105	1.3105	0.0000	6,011.4777	6,011.4777	1.9442		6,060.0836
<b>Total</b>	<b>3.3217</b>	<b>34.5156</b>	<b>28.0512</b>	<b>0.0621</b>	<b>3.7648</b>	<b>1.4245</b>	<b>5.1893</b>	<b>1.4515</b>	<b>1.3105</b>	<b>2.7621</b>	<b>0.0000</b>	<b>6,011.4777</b>	<b>6,011.4777</b>	<b>1.9442</b>		<b>6,060.0836</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	1.1980	54.6861	16.6569	0.2793	8.7073	0.5752	9.2825	2.3876	0.5503	2.9379		30,438.5449	30,438.5449	1.2987	4.8247	31,908.7660
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0782	0.0472	0.7542	2.0000e-003	0.2236	1.1000e-003	0.2247	0.0593	1.0200e-003	0.0603		204.3337	204.3337	4.8800e-003	4.8000e-003	205.8876
<b>Total</b>	<b>1.2762</b>	<b>54.7333</b>	<b>17.4111</b>	<b>0.2813</b>	<b>8.9309</b>	<b>0.5763</b>	<b>9.5072</b>	<b>2.4469</b>	<b>0.5513</b>	<b>2.9982</b>		<b>30,642.8786</b>	<b>30,642.8786</b>	<b>1.3036</b>	<b>4.8295</b>	<b>32,114.6536</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Building Construction - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.5728	14.3849	16.2440	0.0269		0.6997	0.6997		0.6584	0.6584		2,555.2099	2,555.2099	0.6079		2,570.4061
<b>Total</b>	<b>1.5728</b>	<b>14.3849</b>	<b>16.2440</b>	<b>0.0269</b>		<b>0.6997</b>	<b>0.6997</b>		<b>0.6584</b>	<b>0.6584</b>		<b>2,555.2099</b>	<b>2,555.2099</b>	<b>0.6079</b>		<b>2,570.4061</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0866	2.5956	1.0892	0.0132	0.4741	0.0195	0.4936	0.1365	0.0187	0.1552		1,420.1945	1,420.1945	0.0371	0.2097	1,483.6202
Worker	0.7781	0.4695	7.5045	0.0199	2.2244	0.0110	2.2353	0.5899	0.0101	0.6000		2,033.1204	2,033.1204	0.0486	0.0478	2,048.5815
<b>Total</b>	<b>0.8648</b>	<b>3.0651</b>	<b>8.5936</b>	<b>0.0331</b>	<b>2.6985</b>	<b>0.0305</b>	<b>2.7290</b>	<b>0.7264</b>	<b>0.0288</b>	<b>0.7552</b>		<b>3,453.3149</b>	<b>3,453.3149</b>	<b>0.0857</b>	<b>0.2575</b>	<b>3,532.2016</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Building Construction - 2023**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.5728	14.3849	16.2440	0.0269		0.6997	0.6997		0.6584	0.6584	0.0000	2,555.2099	2,555.2099	0.6079		2,570.4061
<b>Total</b>	<b>1.5728</b>	<b>14.3849</b>	<b>16.2440</b>	<b>0.0269</b>		<b>0.6997</b>	<b>0.6997</b>		<b>0.6584</b>	<b>0.6584</b>	<b>0.0000</b>	<b>2,555.2099</b>	<b>2,555.2099</b>	<b>0.6079</b>		<b>2,570.4061</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0866	2.5956	1.0892	0.0132	0.4741	0.0195	0.4936	0.1365	0.0187	0.1552		1,420.1945	1,420.1945	0.0371	0.2097	1,483.6202
Worker	0.7781	0.4695	7.5045	0.0199	2.2244	0.0110	2.2353	0.5899	0.0101	0.6000		2,033.1204	2,033.1204	0.0486	0.0478	2,048.5815
<b>Total</b>	<b>0.8648</b>	<b>3.0651</b>	<b>8.5936</b>	<b>0.0331</b>	<b>2.6985</b>	<b>0.0305</b>	<b>2.7290</b>	<b>0.7264</b>	<b>0.0288</b>	<b>0.7552</b>		<b>3,453.3149</b>	<b>3,453.3149</b>	<b>0.0857</b>	<b>0.2575</b>	<b>3,532.2016</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Building Construction - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4716	13.4438	16.1668	0.0270		0.6133	0.6133		0.5769	0.5769		2,555.6989	2,555.6989	0.6044		2,570.8077
<b>Total</b>	<b>1.4716</b>	<b>13.4438</b>	<b>16.1668</b>	<b>0.0270</b>		<b>0.6133</b>	<b>0.6133</b>		<b>0.5769</b>	<b>0.5769</b>		<b>2,555.6989</b>	<b>2,555.6989</b>	<b>0.6044</b>		<b>2,570.8077</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0846	2.6187	1.0710	0.0131	0.4741	0.0192	0.4933	0.1365	0.0184	0.1549		1,400.6304	1,400.6304	0.0360	0.2068	1,463.1588
Worker	0.7229	0.4168	6.9885	0.0193	2.2244	0.0106	2.2349	0.5899	9.7200e-003	0.5996		1,989.5020	1,989.5020	0.0439	0.0443	2,003.8073
<b>Total</b>	<b>0.8075</b>	<b>3.0355</b>	<b>8.0595</b>	<b>0.0324</b>	<b>2.6985</b>	<b>0.0298</b>	<b>2.7282</b>	<b>0.7264</b>	<b>0.0281</b>	<b>0.7545</b>		<b>3,390.1323</b>	<b>3,390.1323</b>	<b>0.0799</b>	<b>0.2511</b>	<b>3,466.9661</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Building Construction - 2024**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4716	13.4438	16.1668	0.0270		0.6133	0.6133		0.5769	0.5769	0.0000	2,555.6989	2,555.6989	0.6044		2,570.8077
<b>Total</b>	<b>1.4716</b>	<b>13.4438</b>	<b>16.1668</b>	<b>0.0270</b>		<b>0.6133</b>	<b>0.6133</b>		<b>0.5769</b>	<b>0.5769</b>	<b>0.0000</b>	<b>2,555.6989</b>	<b>2,555.6989</b>	<b>0.6044</b>		<b>2,570.8077</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0846	2.6187	1.0710	0.0131	0.4741	0.0192	0.4933	0.1365	0.0184	0.1549		1,400.6304	1,400.6304	0.0360	0.2068	1,463.1588
Worker	0.7229	0.4168	6.9885	0.0193	2.2244	0.0106	2.2349	0.5899	9.7200e-003	0.5996		1,989.5020	1,989.5020	0.0439	0.0443	2,003.8073
<b>Total</b>	<b>0.8075</b>	<b>3.0355</b>	<b>8.0595</b>	<b>0.0324</b>	<b>2.6985</b>	<b>0.0298</b>	<b>2.7282</b>	<b>0.7264</b>	<b>0.0281</b>	<b>0.7545</b>		<b>3,390.1323</b>	<b>3,390.1323</b>	<b>0.0799</b>	<b>0.2511</b>	<b>3,466.9661</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Paving - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9882	9.5246	14.6258	0.0228		0.4685	0.4685		0.4310	0.4310		2,207.547 2	2,207.547 2	0.7140		2,225.396 3
Paving	0.7860					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.7742</b>	<b>9.5246</b>	<b>14.6258</b>	<b>0.0228</b>		<b>0.4685</b>	<b>0.4685</b>		<b>0.4310</b>	<b>0.4310</b>		<b>2,207.547 2</b>	<b>2,207.547 2</b>	<b>0.7140</b>		<b>2,225.396 3</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0545	0.0314	0.5268	1.4500e-003	0.1677	8.0000e-004	0.1685	0.0445	7.3000e-004	0.0452		149.9625	149.9625	3.3100e-003	3.3400e-003	151.0408
<b>Total</b>	<b>0.0545</b>	<b>0.0314</b>	<b>0.5268</b>	<b>1.4500e-003</b>	<b>0.1677</b>	<b>8.0000e-004</b>	<b>0.1685</b>	<b>0.0445</b>	<b>7.3000e-004</b>	<b>0.0452</b>		<b>149.9625</b>	<b>149.9625</b>	<b>3.3100e-003</b>	<b>3.3400e-003</b>	<b>151.0408</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Paving - 2024**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9882	9.5246	14.6258	0.0228		0.4685	0.4685		0.4310	0.4310	0.0000	2,207.547 2	2,207.547 2	0.7140		2,225.396 3
Paving	0.7860					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.7742</b>	<b>9.5246</b>	<b>14.6258</b>	<b>0.0228</b>		<b>0.4685</b>	<b>0.4685</b>		<b>0.4310</b>	<b>0.4310</b>	<b>0.0000</b>	<b>2,207.547 2</b>	<b>2,207.547 2</b>	<b>0.7140</b>		<b>2,225.396 3</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0545	0.0314	0.5268	1.4500e-003	0.1677	8.0000e-004	0.1685	0.0445	7.3000e-004	0.0452		149.9625	149.9625	3.3100e-003	3.3400e-003	151.0408
<b>Total</b>	<b>0.0545</b>	<b>0.0314</b>	<b>0.5268</b>	<b>1.4500e-003</b>	<b>0.1677</b>	<b>8.0000e-004</b>	<b>0.1685</b>	<b>0.0445</b>	<b>7.3000e-004</b>	<b>0.0452</b>		<b>149.9625</b>	<b>149.9625</b>	<b>3.3100e-003</b>	<b>3.3400e-003</b>	<b>151.0408</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Paving - 2025**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9152	8.5816	14.5780	0.0228		0.4185	0.4185		0.3850	0.3850		2,206.745 2	2,206.745 2	0.7137		2,224.587 8
Paving	0.7860					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.7012</b>	<b>8.5816</b>	<b>14.5780</b>	<b>0.0228</b>		<b>0.4185</b>	<b>0.4185</b>		<b>0.3850</b>	<b>0.3850</b>		<b>2,206.745 2</b>	<b>2,206.745 2</b>	<b>0.7137</b>		<b>2,224.587 8</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0507	0.0281	0.4890	1.4000e-003	0.1677	7.6000e-004	0.1684	0.0445	7.0000e-004	0.0452		146.2594	146.2594	2.9800e-003	3.1100e-003	147.2605
<b>Total</b>	<b>0.0507</b>	<b>0.0281</b>	<b>0.4890</b>	<b>1.4000e-003</b>	<b>0.1677</b>	<b>7.6000e-004</b>	<b>0.1684</b>	<b>0.0445</b>	<b>7.0000e-004</b>	<b>0.0452</b>		<b>146.2594</b>	<b>146.2594</b>	<b>2.9800e-003</b>	<b>3.1100e-003</b>	<b>147.2605</b>



19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Paving - 2025**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9152	8.5816	14.5780	0.0228		0.4185	0.4185		0.3850	0.3850	0.0000	2,206.745 2	2,206.745 2	0.7137		2,224.587 8
Paving	0.7860					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.7012</b>	<b>8.5816</b>	<b>14.5780</b>	<b>0.0228</b>		<b>0.4185</b>	<b>0.4185</b>		<b>0.3850</b>	<b>0.3850</b>	<b>0.0000</b>	<b>2,206.745 2</b>	<b>2,206.745 2</b>	<b>0.7137</b>		<b>2,224.587 8</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0507	0.0281	0.4890	1.4000e-003	0.1677	7.6000e-004	0.1684	0.0445	7.0000e-004	0.0452		146.2594	146.2594	2.9800e-003	3.1100e-003	147.2605
<b>Total</b>	<b>0.0507</b>	<b>0.0281</b>	<b>0.4890</b>	<b>1.4000e-003</b>	<b>0.1677</b>	<b>7.6000e-004</b>	<b>0.1684</b>	<b>0.0445</b>	<b>7.0000e-004</b>	<b>0.0452</b>		<b>146.2594</b>	<b>146.2594</b>	<b>2.9800e-003</b>	<b>3.1100e-003</b>	<b>147.2605</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Architectural Coating - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	30.4946					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609		281.4481	281.4481	0.0159		281.8443
<b>Total</b>	<b>30.6754</b>	<b>1.2188</b>	<b>1.8101</b>	<b>2.9700e-003</b>		<b>0.0609</b>	<b>0.0609</b>		<b>0.0609</b>	<b>0.0609</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0159</b>		<b>281.8443</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1453	0.0838	1.4047	3.8800e-003	0.4471	2.1200e-003	0.4492	0.1186	1.9500e-003	0.1205		399.8999	399.8999	8.8300e-003	8.9100e-003	402.7753
<b>Total</b>	<b>0.1453</b>	<b>0.0838</b>	<b>1.4047</b>	<b>3.8800e-003</b>	<b>0.4471</b>	<b>2.1200e-003</b>	<b>0.4492</b>	<b>0.1186</b>	<b>1.9500e-003</b>	<b>0.1205</b>		<b>399.8999</b>	<b>399.8999</b>	<b>8.8300e-003</b>	<b>8.9100e-003</b>	<b>402.7753</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Architectural Coating - 2024**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	30.4946					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609	0.0000	281.4481	281.4481	0.0159		281.8443
<b>Total</b>	<b>30.6754</b>	<b>1.2188</b>	<b>1.8101</b>	<b>2.9700e-003</b>		<b>0.0609</b>	<b>0.0609</b>		<b>0.0609</b>	<b>0.0609</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0159</b>		<b>281.8443</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1453	0.0838	1.4047	3.8800e-003	0.4471	2.1200e-003	0.4492	0.1186	1.9500e-003	0.1205		399.8999	399.8999	8.8300e-003	8.9100e-003	402.7753
<b>Total</b>	<b>0.1453</b>	<b>0.0838</b>	<b>1.4047</b>	<b>3.8800e-003</b>	<b>0.4471</b>	<b>2.1200e-003</b>	<b>0.4492</b>	<b>0.1186</b>	<b>1.9500e-003</b>	<b>0.1205</b>		<b>399.8999</b>	<b>399.8999</b>	<b>8.8300e-003</b>	<b>8.9100e-003</b>	<b>402.7753</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Architectural Coating - 2025**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	30.4946					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1709	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515		281.4481	281.4481	0.0154		281.8319
<b>Total</b>	<b>30.6655</b>	<b>1.1455</b>	<b>1.8091</b>	<b>2.9700e-003</b>		<b>0.0515</b>	<b>0.0515</b>		<b>0.0515</b>	<b>0.0515</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0154</b>		<b>281.8319</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1353	0.0748	1.3040	3.7400e-003	0.4471	2.0200e-003	0.4491	0.1186	1.8600e-003	0.1204		390.0252	390.0252	7.9400e-003	8.2900e-003	392.6947
<b>Total</b>	<b>0.1353</b>	<b>0.0748</b>	<b>1.3040</b>	<b>3.7400e-003</b>	<b>0.4471</b>	<b>2.0200e-003</b>	<b>0.4491</b>	<b>0.1186</b>	<b>1.8600e-003</b>	<b>0.1204</b>		<b>390.0252</b>	<b>390.0252</b>	<b>7.9400e-003</b>	<b>8.2900e-003</b>	<b>392.6947</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Architectural Coating - 2025**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	30.4946					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1709	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515	0.0000	281.4481	281.4481	0.0154		281.8319
<b>Total</b>	<b>30.6655</b>	<b>1.1455</b>	<b>1.8091</b>	<b>2.9700e-003</b>		<b>0.0515</b>	<b>0.0515</b>		<b>0.0515</b>	<b>0.0515</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0154</b>		<b>281.8319</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1353	0.0748	1.3040	3.7400e-003	0.4471	2.0200e-003	0.4491	0.1186	1.8600e-003	0.1204		390.0252	390.0252	7.9400e-003	8.2900e-003	392.6947
<b>Total</b>	<b>0.1353</b>	<b>0.0748</b>	<b>1.3040</b>	<b>3.7400e-003</b>	<b>0.4471</b>	<b>2.0200e-003</b>	<b>0.4491</b>	<b>0.1186</b>	<b>1.8600e-003</b>	<b>0.1204</b>		<b>390.0252</b>	<b>390.0252</b>	<b>7.9400e-003</b>	<b>8.2900e-003</b>	<b>392.6947</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

Improve Destination Accessibility

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	1.1813	1.4032	10.6962	0.0236	2.4433	0.0179	2.4613	0.6516	0.0168	0.6684		2,469,682 0	2,469,682 0	0.1292	0.1129	2,506,556 5
Unmitigated	1.2658	1.6005	12.3245	0.0279	2.8915	0.0210	2.9125	0.7712	0.0196	0.7908		2,909,841 9	2,909,841 9	0.1456	0.1292	2,951,991 0

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Other Asphalt Surfaces	0.00	0.00	0.00		
Other Non-Asphalt Surfaces	0.00	0.00	0.00		
Retirement Community	68.96	45.44	39.84	209,950	177,408
Single Family Housing	330.05	331.80	296.80	1,112,454	940,023
<b>Total</b>	<b>399.01</b>	<b>377.24</b>	<b>336.64</b>	<b>1,322,404</b>	<b>1,117,431</b>

**4.3 Trip Type Information**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Other Asphalt Surfaces	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0
Other Non-Asphalt Surfaces	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Retirement Community	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Single Family Housing	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Other Asphalt Surfaces	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Other Non-Asphalt Surfaces	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Retirement Community	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Single Family Housing	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
NaturalGas Mitigated	0.0364	0.3111	0.1324	1.9900e-003		0.0252	0.0252		0.0252	0.0252		397.1176	397.1176	7.6100e-003	7.2800e-003	399.4775
NaturalGas Unmitigated	0.0364	0.3111	0.1324	1.9900e-003		0.0252	0.0252		0.0252	0.0252		397.1176	397.1176	7.6100e-003	7.2800e-003	399.4775

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Land Use	kBTU/yr	lb/day										lb/day						
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Retirement Community	663.054	7.1500e-003	0.0611	0.0260	3.9000e-004		4.9400e-003	4.9400e-003		4.9400e-003	4.9400e-003		78.0063	78.0063	1.5000e-003	1.4300e-003	78.4699	
Single Family Housing	2712.45	0.0293	0.2500	0.1064	1.6000e-003		0.0202	0.0202		0.0202	0.0202		319.1113	319.1113	6.1200e-003	5.8500e-003	321.0077	
<b>Total</b>		<b>0.0364</b>	<b>0.3111</b>	<b>0.1324</b>	<b>1.9900e-003</b>		<b>0.0252</b>	<b>0.0252</b>		<b>0.0252</b>	<b>0.0252</b>		<b>397.1176</b>	<b>397.1176</b>	<b>7.6200e-003</b>	<b>7.2800e-003</b>	<b>399.4775</b>	



19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Retirement Community	0.663054	7.1500e-003	0.0611	0.0260	3.9000e-004		4.9400e-003	4.9400e-003		4.9400e-003	4.9400e-003		78.0063	78.0063	1.5000e-003	1.4300e-003	78.4699
Single Family Housing	2.71245	0.0293	0.2500	0.1064	1.6000e-003		0.0202	0.0202		0.0202	0.0202		319.1113	319.1113	6.1200e-003	5.8500e-003	321.0077
<b>Total</b>		<b>0.0364</b>	<b>0.3111</b>	<b>0.1324</b>	<b>1.9900e-003</b>		<b>0.0252</b>	<b>0.0252</b>		<b>0.0252</b>	<b>0.0252</b>		<b>397.1176</b>	<b>397.1176</b>	<b>7.6200e-003</b>	<b>7.2800e-003</b>	<b>399.4775</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	2.0939	0.8098	4.5286	5.0800e-003		0.0849	0.0849		0.0849	0.0849	0.0000	979.5783	979.5783	0.0259	0.0178	985.5359
Unmitigated	2.0939	0.8098	4.5286	5.0800e-003		0.0849	0.0849		0.0849	0.0849	0.0000	979.5783	979.5783	0.0259	0.0178	985.5359

**6.2 Area by SubCategory**

**Unmitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1671					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	1.7114					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0891	0.7614	0.3240	4.8600e-003		0.0616	0.0616		0.0616	0.0616	0.0000	972.0000	972.0000	0.0186	0.0178	977.7761
Landscaping	0.1263	0.0484	4.2046	2.2000e-004		0.0233	0.0233		0.0233	0.0233		7.5783	7.5783	7.2600e-003		7.7598
<b>Total</b>	<b>2.0939</b>	<b>0.8098</b>	<b>4.5286</b>	<b>5.0800e-003</b>		<b>0.0849</b>	<b>0.0849</b>		<b>0.0849</b>	<b>0.0849</b>	<b>0.0000</b>	<b>979.5783</b>	<b>979.5783</b>	<b>0.0259</b>	<b>0.0178</b>	<b>985.5359</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**6.2 Area by SubCategory**

**Mitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1671					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	1.7114					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0891	0.7614	0.3240	4.8600e-003		0.0616	0.0616		0.0616	0.0616	0.0000	972.0000	972.0000	0.0186	0.0178	977.7761
Landscaping	0.1263	0.0484	4.2046	2.2000e-004		0.0233	0.0233		0.0233	0.0233		7.5783	7.5783	7.2600e-003		7.7598
<b>Total</b>	<b>2.0939</b>	<b>0.8098</b>	<b>4.5286</b>	<b>5.0800e-003</b>		<b>0.0849</b>	<b>0.0849</b>		<b>0.0849</b>	<b>0.0849</b>	<b>0.0000</b>	<b>979.5783</b>	<b>979.5783</b>	<b>0.0259</b>	<b>0.0178</b>	<b>985.5359</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

- Apply Water Conservation Strategy
- Use Water Efficient Irrigation System

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Summer

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

Institute Recycling and Composting Services

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**19521 Serrano Estates (TTM 20375)  
San Bernardino-South Coast County, Winter**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Other Asphalt Surfaces	6.00	Acre	6.00	261,360.00	0
Other Non-Asphalt Surfaces	3.54	Acre	3.54	154,202.40	0
Retirement Community	16.00	Dwelling Unit	3.20	16,000.00	46
Single Family Housing	35.00	Dwelling Unit	11.36	63,000.00	100

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	32
<b>Climate Zone</b>	10			<b>Operational Year</b>	2025
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MWhr)</b>	390.98	<b>CH4 Intensity (lb/MWhr)</b>	0.033	<b>N2O Intensity (lb/MWhr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics -

Land Use - Improved area = ~24.1 acres w/ 35 SFDs, 16 senior adult housing units, ~25% of site (6 acres) on-site roads, & balance (~3.54 ac) landscaping, retention basins etc.

Construction Phase - Construction anticipated to begin early June 2023 and be completed by early January 2025.

Off-road Equipment -

Grading - 179,000 CY export during grading.

Vehicle Trips - 11th ed ITE => SFDs = 9.43 trips/DU weekday, 9.48 trips/DU Sat, 8.48 trips/DU Sun; Senior Adult Housing = 4.31 trips/DU weekdays, 2.84 trips/DU Sat, 2.49 trips/DU Sun

Woodstoves - Per SCAQMD Rule 445, no woodburning stoves or fireplaces.

Sequestration - ~275 new trees to be planted.

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Construction Off-road Equipment Mitigation -

Mobile Land Use Mitigation - Site is ~2.7 miles NE of downtown Yucaipa.

Water Mitigation - ~20% indoor water reduction per CalGreen Standards. Water-efficient irrigation systems.

Waste Mitigation - AB 341 requires each jurisdiction in CA to divert at least 75% of their waste away from landfills by 2020.

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	35.00	45.00
tblConstructionPhase	NumDays	370.00	355.00
tblFireplaces	NumberGas	13.60	14.40
tblFireplaces	NumberGas	29.75	31.50
tblFireplaces	NumberWood	0.80	0.00
tblFireplaces	NumberWood	1.75	0.00
tblGrading	MaterialExported	0.00	179,000.00
tblSequestration	NumberOfNewTrees	0.00	275.00
tblVehicleTrips	ST_TR	2.03	2.84
tblVehicleTrips	ST_TR	9.54	9.48
tblVehicleTrips	SU_TR	1.95	2.49
tblVehicleTrips	SU_TR	8.55	8.48
tblVehicleTrips	WD_TR	2.40	4.31
tblVehicleTrips	WD_TR	9.44	9.43
tblWoodstoves	NumberCatalytic	0.80	0.00
tblWoodstoves	NumberCatalytic	1.75	0.00
tblWoodstoves	NumberNoncatalytic	0.80	0.00
tblWoodstoves	NumberNoncatalytic	1.75	0.00

**2.0 Emissions Summary**

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2023	4.5048	92.2137	45.6295	0.3436	19.8582	2.0017	21.1252	10.1558	1.8627	11.3215	0.0000	36,681.07 38	36,681.07 38	3.2433	4.8369	38,203.55 26
2024	34.8906	27.5120	41.0569	0.0881	3.3132	1.1755	4.4887	0.8895	1.0997	1.9892	0.0000	8,749.848 7	8,749.848 7	1.4261	0.2658	8,864.713 3
2025	32.5466	9.8352	17.8664	0.0304	0.6148	0.4728	1.0876	0.1630	0.4391	0.6021	0.0000	2,974.276 2	2,974.276 2	0.7401	0.0118	2,996.282 1
<b>Maximum</b>	<b>34.8906</b>	<b>92.2137</b>	<b>45.6295</b>	<b>0.3436</b>	<b>19.8582</b>	<b>2.0017</b>	<b>21.1252</b>	<b>10.1558</b>	<b>1.8627</b>	<b>11.3215</b>	<b>0.0000</b>	<b>36,681.07 38</b>	<b>36,681.07 38</b>	<b>3.2433</b>	<b>4.8369</b>	<b>38,203.55 26</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2023	4.5048	92.2137	45.6295	0.3436	12.6957	2.0017	14.6974	3.9933	1.8627	5.7612	0.0000	36,681.07 38	36,681.07 38	3.2433	4.8369	38,203.55 26
2024	34.8906	27.5120	41.0569	0.0881	3.3132	1.1755	4.4887	0.8895	1.0997	1.9892	0.0000	8,749.848 7	8,749.848 7	1.4261	0.2658	8,864.713 2
2025	32.5466	9.8352	17.8664	0.0304	0.6148	0.4728	1.0876	0.1630	0.4391	0.6021	0.0000	2,974.276 2	2,974.276 2	0.7401	0.0118	2,996.282 1
<b>Maximum</b>	<b>34.8906</b>	<b>92.2137</b>	<b>45.6295</b>	<b>0.3436</b>	<b>12.6957</b>	<b>2.0017</b>	<b>14.6974</b>	<b>3.9933</b>	<b>1.8627</b>	<b>5.7612</b>	<b>0.0000</b>	<b>36,681.07 38</b>	<b>36,681.07 38</b>	<b>3.2433</b>	<b>4.8369</b>	<b>38,203.55 26</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	30.11	0.00	24.07	54.98	0.00	39.97	0.00	0.00	0.00	0.00	0.00	0.00



19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	2.0939	0.8098	4.5286	5.0800e-003		0.0849	0.0849		0.0849	0.0849	0.0000	979.5783	979.5783	0.0259	0.0178	985.5359
Energy	0.0364	0.3111	0.1324	1.9900e-003		0.0252	0.0252		0.0252	0.0252		397.1176	397.1176	7.6100e-003	7.2800e-003	399.4775
Mobile	1.1025	1.7007	11.0260	0.0258	2.8915	0.0210	2.9125	0.7712	0.0196	0.7908		2,700.2573	2,700.2573	0.1489	0.1324	2,743.4327
<b>Total</b>	<b>3.2328</b>	<b>2.8216</b>	<b>15.6870</b>	<b>0.0329</b>	<b>2.8915</b>	<b>0.1310</b>	<b>3.0225</b>	<b>0.7712</b>	<b>0.1297</b>	<b>0.9008</b>	<b>0.0000</b>	<b>4,076.9532</b>	<b>4,076.9532</b>	<b>0.1824</b>	<b>0.1575</b>	<b>4,128.4461</b>

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	2.0939	0.8098	4.5286	5.0800e-003		0.0849	0.0849		0.0849	0.0849	0.0000	979.5783	979.5783	0.0259	0.0178	985.5359
Energy	0.0364	0.3111	0.1324	1.9900e-003		0.0252	0.0252		0.0252	0.0252		397.1176	397.1176	7.6100e-003	7.2800e-003	399.4775
Mobile	1.0193	1.4913	9.6437	0.0219	2.4433	0.0180	2.4613	0.6516	0.0168	0.6684		2,292.7682	2,292.7682	0.1330	0.1157	2,330.5784
<b>Total</b>	<b>3.1496</b>	<b>2.6122</b>	<b>14.3046</b>	<b>0.0290</b>	<b>2.4433</b>	<b>0.1280</b>	<b>2.5713</b>	<b>0.6516</b>	<b>0.1268</b>	<b>0.7785</b>	<b>0.0000</b>	<b>3,669.4641</b>	<b>3,669.4641</b>	<b>0.1665</b>	<b>0.1408</b>	<b>3,715.5918</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	2.57	7.42	8.81	11.85	15.50	2.30	14.93	15.50	2.17	13.58	0.00	9.99	9.99	8.73	10.58	10.00

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	6/1/2023	6/14/2023	5	10	
2	Grading	Grading	6/15/2023	8/16/2023	5	45	
3	Building Construction	Building Construction	8/17/2023	12/25/2024	5	355	
4	Paving	Paving	12/5/2024	1/1/2025	5	20	
5	Architectural Coating	Architectural Coating	12/5/2024	1/1/2025	5	20	

Acres of Grading (Site Preparation Phase): 15

Acres of Grading (Grading Phase): 135

Acres of Paving: 9.54

Residential Indoor: 159,975; Residential Outdoor: 53,325; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 24,934 (Architectural Coating – sqft)

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	158	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	2	8.00	367	0.48

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.36
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Site Preparation	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	22,375.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	199.00	74.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	40.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

Water Exposed Area

Reduce Vehicle Speed on Unpaved Roads

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Site Preparation - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					19.6570	0.0000	19.6570	10.1025	0.0000	10.1025			0.0000			0.0000
Off-Road	2.6595	27.5242	18.2443	0.0381		1.2660	1.2660		1.1647	1.1647		3,687.308 1	3,687.308 1	1.1926		3,717.121 9
<b>Total</b>	<b>2.6595</b>	<b>27.5242</b>	<b>18.2443</b>	<b>0.0381</b>	<b>19.6570</b>	<b>1.2660</b>	<b>20.9230</b>	<b>10.1025</b>	<b>1.1647</b>	<b>11.2672</b>		<b>3,687.308 1</b>	<b>3,687.308 1</b>	<b>1.1926</b>		<b>3,717.121 9</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0678	0.0447	0.5587	1.6300e-003	0.2012	9.9000e-004	0.2022	0.0534	9.1000e-004	0.0543		166.6090	166.6090	4.4000e-003	4.4600e-003	168.0491
<b>Total</b>	<b>0.0678</b>	<b>0.0447</b>	<b>0.5587</b>	<b>1.6300e-003</b>	<b>0.2012</b>	<b>9.9000e-004</b>	<b>0.2022</b>	<b>0.0534</b>	<b>9.1000e-004</b>	<b>0.0543</b>		<b>166.6090</b>	<b>166.6090</b>	<b>4.4000e-003</b>	<b>4.4600e-003</b>	<b>168.0491</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Site Preparation - 2023**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.6662	0.0000	7.6662	3.9400	0.0000	3.9400			0.0000			0.0000
Off-Road	2.6595	27.5242	18.2443	0.0381		1.2660	1.2660		1.1647	1.1647	0.0000	3,687.308 1	3,687.308 1	1.1926		3,717.121 9
<b>Total</b>	<b>2.6595</b>	<b>27.5242</b>	<b>18.2443</b>	<b>0.0381</b>	<b>7.6662</b>	<b>1.2660</b>	<b>8.9323</b>	<b>3.9400</b>	<b>1.1647</b>	<b>5.1047</b>	<b>0.0000</b>	<b>3,687.308 1</b>	<b>3,687.308 1</b>	<b>1.1926</b>		<b>3,717.121 9</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0678	0.0447	0.5587	1.6300e-003	0.2012	9.9000e-004	0.2022	0.0534	9.1000e-004	0.0543		166.6090	166.6090	4.4000e-003	4.4600e-003	168.0491
<b>Total</b>	<b>0.0678</b>	<b>0.0447</b>	<b>0.5587</b>	<b>1.6300e-003</b>	<b>0.2012</b>	<b>9.9000e-004</b>	<b>0.2022</b>	<b>0.0534</b>	<b>9.1000e-004</b>	<b>0.0543</b>		<b>166.6090</b>	<b>166.6090</b>	<b>4.4000e-003</b>	<b>4.4600e-003</b>	<b>168.0491</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Grading - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					9.6534	0.0000	9.6534	3.7219	0.0000	3.7219			0.0000			0.0000
Off-Road	3.3217	34.5156	28.0512	0.0621		1.4245	1.4245		1.3105	1.3105		6,011.4777	6,011.4777	1.9442		6,060.0836
<b>Total</b>	<b>3.3217</b>	<b>34.5156</b>	<b>28.0512</b>	<b>0.0621</b>	<b>9.6534</b>	<b>1.4245</b>	<b>11.0779</b>	<b>3.7219</b>	<b>1.3105</b>	<b>5.0324</b>		<b>6,011.4777</b>	<b>6,011.4777</b>	<b>1.9442</b>		<b>6,060.0836</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	1.1077	57.6484	16.9576	0.2797	8.7073	0.5761	9.2834	2.3876	0.5512	2.9388		30,484.4749	30,484.4749	1.2942	4.8319	31,956.7478
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0753	0.0496	0.6208	1.8100e-003	0.2236	1.1000e-003	0.2247	0.0593	1.0200e-003	0.0603		185.1212	185.1212	4.8900e-003	4.9600e-003	186.7212
<b>Total</b>	<b>1.1831</b>	<b>57.6981</b>	<b>17.5784</b>	<b>0.2815</b>	<b>8.9309</b>	<b>0.5772</b>	<b>9.5081</b>	<b>2.4469</b>	<b>0.5522</b>	<b>2.9991</b>		<b>30,669.5961</b>	<b>30,669.5961</b>	<b>1.2991</b>	<b>4.8369</b>	<b>32,143.4690</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Grading - 2023**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					3.7648	0.0000	3.7648	1.4515	0.0000	1.4515			0.0000			0.0000
Off-Road	3.3217	34.5156	28.0512	0.0621		1.4245	1.4245		1.3105	1.3105	0.0000	6,011.4777	6,011.4777	1.9442		6,060.0836
<b>Total</b>	<b>3.3217</b>	<b>34.5156</b>	<b>28.0512</b>	<b>0.0621</b>	<b>3.7648</b>	<b>1.4245</b>	<b>5.1893</b>	<b>1.4515</b>	<b>1.3105</b>	<b>2.7621</b>	<b>0.0000</b>	<b>6,011.4777</b>	<b>6,011.4777</b>	<b>1.9442</b>		<b>6,060.0836</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	1.1077	57.6484	16.9576	0.2797	8.7073	0.5761	9.2834	2.3876	0.5512	2.9388		30,484.4749	30,484.4749	1.2942	4.8319	31,956.7478
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0753	0.0496	0.6208	1.8100e-003	0.2236	1.1000e-003	0.2247	0.0593	1.0200e-003	0.0603		185.1212	185.1212	4.8900e-003	4.9600e-003	186.7212
<b>Total</b>	<b>1.1831</b>	<b>57.6981</b>	<b>17.5784</b>	<b>0.2815</b>	<b>8.9309</b>	<b>0.5772</b>	<b>9.5081</b>	<b>2.4469</b>	<b>0.5522</b>	<b>2.9991</b>		<b>30,669.5961</b>	<b>30,669.5961</b>	<b>1.2991</b>	<b>4.8369</b>	<b>32,143.4690</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Building Construction - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.5728	14.3849	16.2440	0.0269		0.6997	0.6997		0.6584	0.6584		2,555.2099	2,555.2099	0.6079		2,570.4061
<b>Total</b>	<b>1.5728</b>	<b>14.3849</b>	<b>16.2440</b>	<b>0.0269</b>		<b>0.6997</b>	<b>0.6997</b>		<b>0.6584</b>	<b>0.6584</b>		<b>2,555.2099</b>	<b>2,555.2099</b>	<b>0.6079</b>		<b>2,570.4061</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0806	2.7416	1.1228	0.0133	0.4741	0.0196	0.4937	0.1365	0.0187	0.1553		1,423.6387	1,423.6387	0.0368	0.2104	1,487.2511
Worker	0.7496	0.4937	6.1766	0.0180	2.2244	0.0110	2.2353	0.5899	0.0101	0.6000		1,841.9554	1,841.9554	0.0486	0.0494	1,857.8760
<b>Total</b>	<b>0.8301</b>	<b>3.2353</b>	<b>7.2993</b>	<b>0.0313</b>	<b>2.6985</b>	<b>0.0306</b>	<b>2.7290</b>	<b>0.7264</b>	<b>0.0289</b>	<b>0.7553</b>		<b>3,265.5941</b>	<b>3,265.5941</b>	<b>0.0854</b>	<b>0.2597</b>	<b>3,345.1270</b>



19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Building Construction - 2023**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.5728	14.3849	16.2440	0.0269		0.6997	0.6997		0.6584	0.6584	0.0000	2,555,209 9	2,555,209 9	0.6079		2,570,406 1
<b>Total</b>	<b>1.5728</b>	<b>14.3849</b>	<b>16.2440</b>	<b>0.0269</b>		<b>0.6997</b>	<b>0.6997</b>		<b>0.6584</b>	<b>0.6584</b>	<b>0.0000</b>	<b>2,555,209 9</b>	<b>2,555,209 9</b>	<b>0.6079</b>		<b>2,570,406 1</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0806	2.7416	1.1228	0.0133	0.4741	0.0196	0.4937	0.1365	0.0187	0.1553		1,423,638 7	1,423,638 7	0.0368	0.2104	1,487,251 1
Worker	0.7496	0.4937	6.1766	0.0180	2.2244	0.0110	2.2353	0.5899	0.0101	0.6000		1,841,955 4	1,841,955 4	0.0486	0.0494	1,857,876 0
<b>Total</b>	<b>0.8301</b>	<b>3.2353</b>	<b>7.2993</b>	<b>0.0313</b>	<b>2.6985</b>	<b>0.0306</b>	<b>2.7290</b>	<b>0.7264</b>	<b>0.0289</b>	<b>0.7553</b>		<b>3,265,594 1</b>	<b>3,265,594 1</b>	<b>0.0854</b>	<b>0.2597</b>	<b>3,345,127 0</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Building Construction - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4716	13.4438	16.1668	0.0270		0.6133	0.6133		0.5769	0.5769		2,555.6989	2,555.6989	0.6044		2,570.8077
<b>Total</b>	<b>1.4716</b>	<b>13.4438</b>	<b>16.1668</b>	<b>0.0270</b>		<b>0.6133</b>	<b>0.6133</b>		<b>0.5769</b>	<b>0.5769</b>		<b>2,555.6989</b>	<b>2,555.6989</b>	<b>0.6044</b>		<b>2,570.8077</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0786	2.7657	1.1044	0.0131	0.4741	0.0193	0.4934	0.1365	0.0184	0.1550		1,404.0536	1,404.0536	0.0357	0.2074	1,466.7644
Worker	0.6980	0.4381	5.7583	0.0175	2.2244	0.0106	2.2349	0.5899	9.7200e-003	0.5996		1,802.8311	1,802.8311	0.0441	0.0457	1,817.5599
<b>Total</b>	<b>0.7766</b>	<b>3.2038</b>	<b>6.8627</b>	<b>0.0306</b>	<b>2.6985</b>	<b>0.0298</b>	<b>2.7283</b>	<b>0.7264</b>	<b>0.0282</b>	<b>0.7546</b>		<b>3,206.8847</b>	<b>3,206.8847</b>	<b>0.0798</b>	<b>0.2532</b>	<b>3,284.3243</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.4 Building Construction - 2024**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4716	13.4438	16.1668	0.0270		0.6133	0.6133		0.5769	0.5769	0.0000	2,555.6989	2,555.6989	0.6044		2,570.8077
<b>Total</b>	<b>1.4716</b>	<b>13.4438</b>	<b>16.1668</b>	<b>0.0270</b>		<b>0.6133</b>	<b>0.6133</b>		<b>0.5769</b>	<b>0.5769</b>	<b>0.0000</b>	<b>2,555.6989</b>	<b>2,555.6989</b>	<b>0.6044</b>		<b>2,570.8077</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0786	2.7657	1.1044	0.0131	0.4741	0.0193	0.4934	0.1365	0.0184	0.1550		1,404.0536	1,404.0536	0.0357	0.2074	1,466.7644
Worker	0.6980	0.4381	5.7583	0.0175	2.2244	0.0106	2.2349	0.5899	9.7200e-003	0.5996		1,802.8311	1,802.8311	0.0441	0.0457	1,817.5599
<b>Total</b>	<b>0.7766</b>	<b>3.2038</b>	<b>6.8627</b>	<b>0.0306</b>	<b>2.6985</b>	<b>0.0298</b>	<b>2.7283</b>	<b>0.7264</b>	<b>0.0282</b>	<b>0.7546</b>		<b>3,206.8847</b>	<b>3,206.8847</b>	<b>0.0798</b>	<b>0.2532</b>	<b>3,284.3243</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Paving - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9882	9.5246	14.6258	0.0228		0.4685	0.4685		0.4310	0.4310		2,207.547 2	2,207.547 2	0.7140		2,225.396 3
Paving	0.7860					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.7742</b>	<b>9.5246</b>	<b>14.6258</b>	<b>0.0228</b>		<b>0.4685</b>	<b>0.4685</b>		<b>0.4310</b>	<b>0.4310</b>		<b>2,207.547 2</b>	<b>2,207.547 2</b>	<b>0.7140</b>		<b>2,225.396 3</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0526	0.0330	0.4340	1.3200e-003	0.1677	8.0000e-004	0.1685	0.0445	7.3000e-004	0.0452		135.8918	135.8918	3.3200e-003	3.4500e-003	137.0020
<b>Total</b>	<b>0.0526</b>	<b>0.0330</b>	<b>0.4340</b>	<b>1.3200e-003</b>	<b>0.1677</b>	<b>8.0000e-004</b>	<b>0.1685</b>	<b>0.0445</b>	<b>7.3000e-004</b>	<b>0.0452</b>		<b>135.8918</b>	<b>135.8918</b>	<b>3.3200e-003</b>	<b>3.4500e-003</b>	<b>137.0020</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Paving - 2024**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9882	9.5246	14.6258	0.0228		0.4685	0.4685		0.4310	0.4310	0.0000	2,207.547 2	2,207.547 2	0.7140		2,225.396 3
Paving	0.7860					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.7742</b>	<b>9.5246</b>	<b>14.6258</b>	<b>0.0228</b>		<b>0.4685</b>	<b>0.4685</b>		<b>0.4310</b>	<b>0.4310</b>	<b>0.0000</b>	<b>2,207.547 2</b>	<b>2,207.547 2</b>	<b>0.7140</b>		<b>2,225.396 3</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0526	0.0330	0.4340	1.3200e-003	0.1677	8.0000e-004	0.1685	0.0445	7.3000e-004	0.0452		135.8918	135.8918	3.3200e-003	3.4500e-003	137.0020
<b>Total</b>	<b>0.0526</b>	<b>0.0330</b>	<b>0.4340</b>	<b>1.3200e-003</b>	<b>0.1677</b>	<b>8.0000e-004</b>	<b>0.1685</b>	<b>0.0445</b>	<b>7.3000e-004</b>	<b>0.0452</b>		<b>135.8918</b>	<b>135.8918</b>	<b>3.3200e-003</b>	<b>3.4500e-003</b>	<b>137.0020</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Paving - 2025**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9152	8.5816	14.5780	0.0228		0.4185	0.4185		0.3850	0.3850		2,206.745 2	2,206.745 2	0.7137		2,224.587 8
Paving	0.7860					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.7012</b>	<b>8.5816</b>	<b>14.5780</b>	<b>0.0228</b>		<b>0.4185</b>	<b>0.4185</b>		<b>0.3850</b>	<b>0.3850</b>		<b>2,206.745 2</b>	<b>2,206.745 2</b>	<b>0.7137</b>		<b>2,224.587 8</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0491	0.0295	0.4034	1.2700e-003	0.1677	7.6000e-004	0.1684	0.0445	7.0000e-004	0.0452		132.5681	132.5681	3.0000e-003	3.2100e-003	133.5988
<b>Total</b>	<b>0.0491</b>	<b>0.0295</b>	<b>0.4034</b>	<b>1.2700e-003</b>	<b>0.1677</b>	<b>7.6000e-004</b>	<b>0.1684</b>	<b>0.0445</b>	<b>7.0000e-004</b>	<b>0.0452</b>		<b>132.5681</b>	<b>132.5681</b>	<b>3.0000e-003</b>	<b>3.2100e-003</b>	<b>133.5988</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.5 Paving - 2025**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.9152	8.5816	14.5780	0.0228		0.4185	0.4185		0.3850	0.3850	0.0000	2,206.745 2	2,206.745 2	0.7137		2,224.587 8
Paving	0.7860					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.7012</b>	<b>8.5816</b>	<b>14.5780</b>	<b>0.0228</b>		<b>0.4185</b>	<b>0.4185</b>		<b>0.3850</b>	<b>0.3850</b>	<b>0.0000</b>	<b>2,206.745 2</b>	<b>2,206.745 2</b>	<b>0.7137</b>		<b>2,224.587 8</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0491	0.0295	0.4034	1.2700e-003	0.1677	7.6000e-004	0.1684	0.0445	7.0000e-004	0.0452		132.5681	132.5681	3.0000e-003	3.2100e-003	133.5988
<b>Total</b>	<b>0.0491</b>	<b>0.0295</b>	<b>0.4034</b>	<b>1.2700e-003</b>	<b>0.1677</b>	<b>7.6000e-004</b>	<b>0.1684</b>	<b>0.0445</b>	<b>7.0000e-004</b>	<b>0.0452</b>		<b>132.5681</b>	<b>132.5681</b>	<b>3.0000e-003</b>	<b>3.2100e-003</b>	<b>133.5988</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Architectural Coating - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	30.4946					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609		281.4481	281.4481	0.0159		281.8443
<b>Total</b>	<b>30.6754</b>	<b>1.2188</b>	<b>1.8101</b>	<b>2.9700e-003</b>		<b>0.0609</b>	<b>0.0609</b>		<b>0.0609</b>	<b>0.0609</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0159</b>		<b>281.8443</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1403	0.0881	1.1575	3.5100e-003	0.4471	2.1200e-003	0.4492	0.1186	1.9500e-003	0.1205		362.3781	362.3781	8.8600e-003	9.1900e-003	365.3387
<b>Total</b>	<b>0.1403</b>	<b>0.0881</b>	<b>1.1575</b>	<b>3.5100e-003</b>	<b>0.4471</b>	<b>2.1200e-003</b>	<b>0.4492</b>	<b>0.1186</b>	<b>1.9500e-003</b>	<b>0.1205</b>		<b>362.3781</b>	<b>362.3781</b>	<b>8.8600e-003</b>	<b>9.1900e-003</b>	<b>365.3387</b>



19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Architectural Coating - 2024**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	30.4946					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609	0.0000	281.4481	281.4481	0.0159		281.8443
<b>Total</b>	<b>30.6754</b>	<b>1.2188</b>	<b>1.8101</b>	<b>2.9700e-003</b>		<b>0.0609</b>	<b>0.0609</b>		<b>0.0609</b>	<b>0.0609</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0159</b>		<b>281.8443</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1403	0.0881	1.1575	3.5100e-003	0.4471	2.1200e-003	0.4492	0.1186	1.9500e-003	0.1205		362.3781	362.3781	8.8600e-003	9.1900e-003	365.3387
<b>Total</b>	<b>0.1403</b>	<b>0.0881</b>	<b>1.1575</b>	<b>3.5100e-003</b>	<b>0.4471</b>	<b>2.1200e-003</b>	<b>0.4492</b>	<b>0.1186</b>	<b>1.9500e-003</b>	<b>0.1205</b>		<b>362.3781</b>	<b>362.3781</b>	<b>8.8600e-003</b>	<b>9.1900e-003</b>	<b>365.3387</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Architectural Coating - 2025**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	30.4946					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1709	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515		281.4481	281.4481	0.0154		281.8319
<b>Total</b>	<b>30.6655</b>	<b>1.1455</b>	<b>1.8091</b>	<b>2.9700e-003</b>		<b>0.0515</b>	<b>0.0515</b>		<b>0.0515</b>	<b>0.0515</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0154</b>		<b>281.8319</b>

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1309	0.0786	1.0758	3.3900e-003	0.4471	2.0200e-003	0.4491	0.1186	1.8600e-003	0.1204		353.5149	353.5149	7.9900e-003	8.5500e-003	356.2636
<b>Total</b>	<b>0.1309</b>	<b>0.0786</b>	<b>1.0758</b>	<b>3.3900e-003</b>	<b>0.4471</b>	<b>2.0200e-003</b>	<b>0.4491</b>	<b>0.1186</b>	<b>1.8600e-003</b>	<b>0.1204</b>		<b>353.5149</b>	<b>353.5149</b>	<b>7.9900e-003</b>	<b>8.5500e-003</b>	<b>356.2636</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.6 Architectural Coating - 2025**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	30.4946					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1709	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515	0.0000	281.4481	281.4481	0.0154		281.8319
<b>Total</b>	<b>30.6655</b>	<b>1.1455</b>	<b>1.8091</b>	<b>2.9700e-003</b>		<b>0.0515</b>	<b>0.0515</b>		<b>0.0515</b>	<b>0.0515</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0154</b>		<b>281.8319</b>

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.1309	0.0786	1.0758	3.3900e-003	0.4471	2.0200e-003	0.4491	0.1186	1.8600e-003	0.1204		353.5149	353.5149	7.9900e-003	8.5500e-003	356.2636
<b>Total</b>	<b>0.1309</b>	<b>0.0786</b>	<b>1.0758</b>	<b>3.3900e-003</b>	<b>0.4471</b>	<b>2.0200e-003</b>	<b>0.4491</b>	<b>0.1186</b>	<b>1.8600e-003</b>	<b>0.1204</b>		<b>353.5149</b>	<b>353.5149</b>	<b>7.9900e-003</b>	<b>8.5500e-003</b>	<b>356.2636</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

Improve Destination Accessibility

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	1.0193	1.4913	9.6437	0.0219	2.4433	0.0180	2.4613	0.6516	0.0168	0.6684		2,292.768 2	2,292.768 2	0.1330	0.1157	2,330.578 4
Unmitigated	1.1025	1.7007	11.0260	0.0258	2.8915	0.0210	2.9125	0.7712	0.0196	0.7908		2,700.257 3	2,700.257 3	0.1489	0.1324	2,743.432 7

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Other Asphalt Surfaces	0.00	0.00	0.00		
Other Non-Asphalt Surfaces	0.00	0.00	0.00		
Retirement Community	68.96	45.44	39.84	209,950	177,408
Single Family Housing	330.05	331.80	296.80	1,112,454	940,023
<b>Total</b>	<b>399.01</b>	<b>377.24</b>	<b>336.64</b>	<b>1,322,404</b>	<b>1,117,431</b>

**4.3 Trip Type Information**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Other Asphalt Surfaces	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0
Other Non-Asphalt Surfaces	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Retirement Community	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Single Family Housing	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

**4.4 Fleet Mix**

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Other Asphalt Surfaces	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Other Non-Asphalt Surfaces	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Retirement Community	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Single Family Housing	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Natural Gas Mitigated	0.0364	0.3111	0.1324	1.9900e-003		0.0252	0.0252		0.0252	0.0252		397.1176	397.1176	7.6100e-003	7.2800e-003	399.4775
Natural Gas Unmitigated	0.0364	0.3111	0.1324	1.9900e-003		0.0252	0.0252		0.0252	0.0252		397.1176	397.1176	7.6100e-003	7.2800e-003	399.4775

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas s Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Retirement Community	663.054	7.1500e-003	0.0611	0.0260	3.9000e-004		4.9400e-003	4.9400e-003		4.9400e-003	4.9400e-003		78.0063	78.0063	1.5000e-003	1.4300e-003	78.4699
Single Family Housing	2712.45	0.0293	0.2500	0.1064	1.6000e-003		0.0202	0.0202		0.0202	0.0202		319.1113	319.1113	6.1200e-003	5.8500e-003	321.0077
<b>Total</b>		<b>0.0364</b>	<b>0.3111</b>	<b>0.1324</b>	<b>1.9900e-003</b>		<b>0.0252</b>	<b>0.0252</b>		<b>0.0252</b>	<b>0.0252</b>		<b>397.1176</b>	<b>397.1176</b>	<b>7.6200e-003</b>	<b>7.2800e-003</b>	<b>399.4775</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Retirement Community	0.663054	7.1500e-003	0.0611	0.0260	3.9000e-004		4.9400e-003	4.9400e-003		4.9400e-003	4.9400e-003		78.0063	78.0063	1.5000e-003	1.4300e-003	78.4699
Single Family Housing	2.71245	0.0293	0.2500	0.1064	1.6000e-003		0.0202	0.0202		0.0202	0.0202		319.1113	319.1113	6.1200e-003	5.8500e-003	321.0077
<b>Total</b>		<b>0.0364</b>	<b>0.3111</b>	<b>0.1324</b>	<b>1.9900e-003</b>		<b>0.0252</b>	<b>0.0252</b>		<b>0.0252</b>	<b>0.0252</b>		<b>397.1176</b>	<b>397.1176</b>	<b>7.6200e-003</b>	<b>7.2800e-003</b>	<b>399.4775</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	2.0939	0.8098	4.5286	5.0800e-003		0.0849	0.0849		0.0849	0.0849	0.0000	979.5783	979.5783	0.0259	0.0178	985.5359
Unmitigated	2.0939	0.8098	4.5286	5.0800e-003		0.0849	0.0849		0.0849	0.0849	0.0000	979.5783	979.5783	0.0259	0.0178	985.5359

**6.2 Area by SubCategory**

**Unmitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1671					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	1.7114					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0891	0.7614	0.3240	4.8600e-003		0.0616	0.0616		0.0616	0.0616	0.0000	972.0000	972.0000	0.0186	0.0178	977.7761
Landscaping	0.1263	0.0484	4.2046	2.2000e-004		0.0233	0.0233		0.0233	0.0233		7.5783	7.5783	7.2600e-003		7.7598
<b>Total</b>	<b>2.0939</b>	<b>0.8098</b>	<b>4.5286</b>	<b>5.0800e-003</b>		<b>0.0849</b>	<b>0.0849</b>		<b>0.0849</b>	<b>0.0849</b>	<b>0.0000</b>	<b>979.5783</b>	<b>979.5783</b>	<b>0.0259</b>	<b>0.0178</b>	<b>985.5359</b>



19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**6.2 Area by SubCategory**

**Mitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
SubCategory	lb/day										lb/day						
Architectural Coating	0.1671					0.0000	0.0000		0.0000	0.0000			0.0000				0.0000
Consumer Products	1.7114					0.0000	0.0000		0.0000	0.0000			0.0000				0.0000
Hearth	0.0891	0.7614	0.3240	4.8600e-003		0.0616	0.0616		0.0616	0.0616	0.0000	972.0000	972.0000	0.0186	0.0178		977.7761
Landscaping	0.1263	0.0484	4.2046	2.2000e-004		0.0233	0.0233		0.0233	0.0233		7.5783	7.5783	7.2600e-003			7.7598
<b>Total</b>	<b>2.0939</b>	<b>0.8098</b>	<b>4.5286</b>	<b>5.0800e-003</b>		<b>0.0849</b>	<b>0.0849</b>		<b>0.0849</b>	<b>0.0849</b>	<b>0.0000</b>	<b>979.5783</b>	<b>979.5783</b>	<b>0.0259</b>	<b>0.0178</b>		<b>985.5359</b>

**7.0 Water Detail**

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**7.1 Mitigation Measures Water**

Apply Water Conservation Strategy

Use Water Efficient Irrigation System

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Winter

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

Institute Recycling and Composting Services

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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## APPENDIX C

### CALEEMOD MODEL ANNUAL EMISSIONS PRINTOUTS AND EMFAC DATA

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Annual

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**19521 Serrano Estates (TTM 20375)  
San Bernardino-South Coast County, Annual**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Other Asphalt Surfaces	6.00	Acre	6.00	261,360.00	0
Other Non-Asphalt Surfaces	3.54	Acre	3.54	154,202.40	0
Retirement Community	16.00	Dwelling Unit	3.20	16,000.00	46
Single Family Housing	35.00	Dwelling Unit	11.36	63,000.00	100

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.2	<b>Precipitation Freq (Days)</b>	32
<b>Climate Zone</b>	10			<b>Operational Year</b>	2025
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MW/hr)</b>	390.98	<b>CH4 Intensity (lb/MW/hr)</b>	0.033	<b>N2O Intensity (lb/MW/hr)</b>	0.004

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics -

Land Use - Improved area = ~24.1 acres w/ 35 SFDs, 16 senior adult housing units, ~25% of site (6 acres) on-site roads, & balance (~3.54 ac) landscaping, retention basins etc.

Construction Phase - Construction anticipated to begin early June 2023 and be completed by early January 2025.

Off-road Equipment -

Grading - 179,000 CY export during grading.

Vehicle Trips - 11th ed ITE => SFDs = 9.43 trips/DU weekday, 9.48 trips/DU Sat, 8.48 trips/DU Sun; Senior Adult Housing = 4.31 trips/DU weekdays, 2.84 trips/DU Sat, 2.49 trips/DU Sun

Woodstoves - Per SCAQMD Rule 445, no woodburning stoves or fireplaces.

Sequestration - ~275 new trees to be planted.

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Annual

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Construction Off-road Equipment Mitigation -

Mobile Land Use Mitigation - Site is ~2.7 miles NE of downtown Yucaipa.

Water Mitigation - ~20% indoor water reduction per CalGreen Standards. Water-efficient irrigation systems.

Waste Mitigation - AB 341 requires each jurisdiction in CA to divert at least 75% of their waste away from landfills by 2020.

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	35.00	45.00
tblConstructionPhase	NumDays	370.00	355.00
tblFireplaces	NumberGas	13.60	14.40
tblFireplaces	NumberGas	29.75	31.50
tblFireplaces	NumberWood	0.80	0.00
tblFireplaces	NumberWood	1.75	0.00
tblGrading	MaterialExported	0.00	179,000.00
tblSequestration	NumberOfNewTrees	0.00	275.00
tblVehicleTrips	ST_TR	2.03	2.84
tblVehicleTrips	ST_TR	9.54	9.48
tblVehicleTrips	SU_TR	1.95	2.49
tblVehicleTrips	SU_TR	8.55	8.48
tblVehicleTrips	WD_TR	2.40	4.31
tblVehicleTrips	WD_TR	9.44	9.43
tblWoodstoves	NumberCatalytic	0.80	0.00
tblWoodstoves	NumberCatalytic	1.75	0.00
tblWoodstoves	NumberNoncatalytic	0.80	0.00
tblWoodstoves	NumberNoncatalytic	1.75	0.00

**2.0 Emissions Summary**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.1 Overall Construction**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2023	0.2300	3.0720	2.2730	0.0108	0.6425	0.0868	0.7293	0.2234	0.0811	0.3045	0.0000	1,023.3756	1,023.3756	0.1022	0.1102	1,058.7573
2024	0.5935	2.2521	3.1764	7.7500e-003	0.3474	0.0880	0.4354	0.0937	0.0828	0.1764	0.0000	704.1507	704.1507	0.0866	0.0299	715.2192
2025	0.0163	4.9200e-003	8.9700e-003	2.0000e-005	3.0000e-004	2.4000e-004	5.4000e-004	8.0000e-005	2.2000e-004	3.0000e-004	0.0000	1.3535	1.3535	3.4000e-004	1.0000e-005	1.3635
<b>Maximum</b>	<b>0.5935</b>	<b>3.0720</b>	<b>3.1764</b>	<b>0.0108</b>	<b>0.6425</b>	<b>0.0880</b>	<b>0.7293</b>	<b>0.2234</b>	<b>0.0828</b>	<b>0.3045</b>	<b>0.0000</b>	<b>1,023.3756</b>	<b>1,023.3756</b>	<b>0.1022</b>	<b>0.1102</b>	<b>1,058.7573</b>

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2023	0.2300	3.0720	2.2730	0.0108	0.4501	0.0868	0.5369	0.1415	0.0811	0.2226	0.0000	1,023.3753	1,023.3753	0.1022	0.1102	1,058.7570
2024	0.5935	2.2521	3.1764	7.7500e-003	0.3474	0.0880	0.4354	0.0937	0.0828	0.1764	0.0000	704.1503	704.1503	0.0866	0.0299	715.2188
2025	0.0163	4.9200e-003	8.9700e-003	2.0000e-005	3.0000e-004	2.4000e-004	5.4000e-004	8.0000e-005	2.2000e-004	3.0000e-004	0.0000	1.3535	1.3535	3.4000e-004	1.0000e-005	1.3635
<b>Maximum</b>	<b>0.5935</b>	<b>3.0720</b>	<b>3.1764</b>	<b>0.0108</b>	<b>0.4501</b>	<b>0.0880</b>	<b>0.5369</b>	<b>0.1415</b>	<b>0.0828</b>	<b>0.2226</b>	<b>0.0000</b>	<b>1,023.3753</b>	<b>1,023.3753</b>	<b>0.1022</b>	<b>0.1102</b>	<b>1,058.7570</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	19.43	0.00	16.52	25.82	0.00	17.02	0.00	0.00	0.00	0.00	0.00	0.00

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
1	6-1-2023	8-31-2023	2.3696	2.3696
2	9-1-2023	11-30-2023	0.6493	0.6493
3	12-1-2023	2-29-2024	0.6266	0.6266
4	3-1-2024	5-31-2024	0.6179	0.6179
5	6-1-2024	8-31-2024	0.6163	0.6163
6	9-1-2024	11-30-2024	0.6126	0.6126
7	12-1-2024	2-28-2025	0.6034	0.6034
		Highest	2.3696	2.3696

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.3597	0.0156	0.5296	9.0000e-005		3.6900e-003	3.6900e-003		3.6900e-003	3.6900e-003	0.0000	11.8817	11.8817	1.0300e-003	2.0000e-004	11.9677
Energy	6.6400e-003	0.0568	0.0242	3.6000e-004		4.5900e-003	4.5900e-003		4.5900e-003	4.5900e-003	0.0000	127.5583	127.5583	6.4800e-003	1.8400e-003	128.2678
Mobile	0.1924	0.3047	2.0180	4.6000e-003	0.4986	3.6800e-003	0.5023	0.1332	3.4400e-003	0.1366	0.0000	436.3892	436.3892	0.0240	0.0214	443.3620
Waste						0.0000	0.0000		0.0000	0.0000	9.8166	0.0000	9.8166	0.5802	0.0000	24.3203
Water						0.0000	0.0000		0.0000	0.0000	1.0542	11.8007	12.8549	0.1093	2.6800e-003	16.3845
<b>Total</b>	<b>0.5587</b>	<b>0.3770</b>	<b>2.5718</b>	<b>5.0500e-003</b>	<b>0.4986</b>	<b>0.0120</b>	<b>0.5106</b>	<b>0.1332</b>	<b>0.0117</b>	<b>0.1449</b>	<b>10.8708</b>	<b>587.6298</b>	<b>598.5006</b>	<b>0.7209</b>	<b>0.0261</b>	<b>624.3024</b>



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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.2 Overall Operational**

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.3597	0.0156	0.5296	9.0000e-005		3.6900e-003	3.6900e-003		3.6900e-003	3.6900e-003	0.0000	11.8817	11.8817	1.0300e-003	2.0000e-004	11.9677
Energy	6.6400e-003	0.0568	0.0242	3.6000e-004		4.5900e-003	4.5900e-003		4.5900e-003	4.5900e-003	0.0000	127.5583	127.5583	6.4800e-003	1.8400e-003	128.2678
Mobile	0.1775	0.2668	1.7635	3.9100e-003	0.4213	3.1500e-003	0.4245	0.1125	2.9500e-003	0.1155	0.0000	370.5013	370.5013	0.0214	0.0187	376.6050
Waste						0.0000	0.0000		0.0000	0.0000	2.4542	0.0000	2.4542	0.1450	0.0000	6.0801
Water						0.0000	0.0000		0.0000	0.0000	0.8434	10.2660	11.1094	0.0875	2.1500e-003	13.9374
<b>Total</b>	<b>0.5438</b>	<b>0.3392</b>	<b>2.3172</b>	<b>4.3600e-003</b>	<b>0.4213</b>	<b>0.0114</b>	<b>0.4327</b>	<b>0.1125</b>	<b>0.0112</b>	<b>0.1238</b>	<b>3.2975</b>	<b>520.2073</b>	<b>523.5048</b>	<b>0.2615</b>	<b>0.0229</b>	<b>536.8580</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>2.66</b>	<b>10.04</b>	<b>9.90</b>	<b>13.66</b>	<b>15.50</b>	<b>4.43</b>	<b>15.24</b>	<b>15.51</b>	<b>4.18</b>	<b>14.59</b>	<b>69.67</b>	<b>11.47</b>	<b>12.53</b>	<b>63.73</b>	<b>12.41</b>	<b>14.01</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**2.3 Vegetation**

Vegetation

	CO2e
Category	MT
New Trees	194.7000
Total	194.7000

**3.0 Construction Detail**

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	6/1/2023	6/14/2023	5	10	
2	Grading	Grading	6/15/2023	8/16/2023	5	45	
3	Building Construction	Building Construction	8/17/2023	12/25/2024	5	355	
4	Paving	Paving	12/5/2024	1/1/2025	5	20	
5	Architectural Coating	Architectural Coating	12/5/2024	1/1/2025	5	20	

**Acres of Grading (Site Preparation Phase): 15**

**Acres of Grading (Grading Phase): 135**

**Acres of Paving: 9.54**

**Residential Indoor: 159,975; Residential Outdoor: 53,325; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 24,934 (Architectural Coating – sqft)**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	158	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	2	8.00	367	0.48
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.36
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Site Preparation	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	22,375.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	199.00	74.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	40.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Water Exposed Area

Reduce Vehicle Speed on Unpaved Roads

**3.2 Site Preparation - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0983	0.0000	0.0983	0.0505	0.0000	0.0505	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0133	0.1376	0.0912	1.9000e-004		6.3300e-003	6.3300e-003		5.8200e-003	5.8200e-003	0.0000	16.7254	16.7254	5.4100e-003	0.0000	16.8606
<b>Total</b>	<b>0.0133</b>	<b>0.1376</b>	<b>0.0912</b>	<b>1.9000e-004</b>	<b>0.0983</b>	<b>6.3300e-003</b>	<b>0.1046</b>	<b>0.0505</b>	<b>5.8200e-003</b>	<b>0.0563</b>	<b>0.0000</b>	<b>16.7254</b>	<b>16.7254</b>	<b>5.4100e-003</b>	<b>0.0000</b>	<b>16.8606</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Site Preparation - 2023**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.1000e-004	2.3000e-004	2.9300e-003	1.0000e-005	9.9000e-004	0.0000	9.9000e-004	2.6000e-004	0.0000	2.7000e-004	0.0000	0.7707	0.7707	2.0000e-005	2.0000e-005	0.7775
<b>Total</b>	<b>3.1000e-004</b>	<b>2.3000e-004</b>	<b>2.9300e-003</b>	<b>1.0000e-005</b>	<b>9.9000e-004</b>	<b>0.0000</b>	<b>9.9000e-004</b>	<b>2.6000e-004</b>	<b>0.0000</b>	<b>2.7000e-004</b>	<b>0.0000</b>	<b>0.7707</b>	<b>0.7707</b>	<b>2.0000e-005</b>	<b>2.0000e-005</b>	<b>0.7775</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0383	0.0000	0.0383	0.0197	0.0000	0.0197	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0133	0.1376	0.0912	1.9000e-004		6.3300e-003	6.3300e-003		5.8200e-003	5.8200e-003	0.0000	16.7253	16.7253	5.4100e-003	0.0000	16.8606
<b>Total</b>	<b>0.0133</b>	<b>0.1376</b>	<b>0.0912</b>	<b>1.9000e-004</b>	<b>0.0383</b>	<b>6.3300e-003</b>	<b>0.0447</b>	<b>0.0197</b>	<b>5.8200e-003</b>	<b>0.0255</b>	<b>0.0000</b>	<b>16.7253</b>	<b>16.7253</b>	<b>5.4100e-003</b>	<b>0.0000</b>	<b>16.8606</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.2 Site Preparation - 2023**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.1000e-004	2.3000e-004	2.9300e-003	1.0000e-005	9.9000e-004	0.0000	9.9000e-004	2.6000e-004	0.0000	2.7000e-004	0.0000	0.7707	0.7707	2.0000e-005	2.0000e-005	0.7775
<b>Total</b>	<b>3.1000e-004</b>	<b>2.3000e-004</b>	<b>2.9300e-003</b>	<b>1.0000e-005</b>	<b>9.9000e-004</b>	<b>0.0000</b>	<b>9.9000e-004</b>	<b>2.6000e-004</b>	<b>0.0000</b>	<b>2.7000e-004</b>	<b>0.0000</b>	<b>0.7707</b>	<b>0.7707</b>	<b>2.0000e-005</b>	<b>2.0000e-005</b>	<b>0.7775</b>

**3.3 Grading - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.2172	0.0000	0.2172	0.0837	0.0000	0.0837	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0747	0.7766	0.6312	1.4000e-003		0.0321	0.0321		0.0295	0.0295	0.0000	122.7042	122.7042	0.0397	0.0000	123.6964
<b>Total</b>	<b>0.0747</b>	<b>0.7766</b>	<b>0.6312</b>	<b>1.4000e-003</b>	<b>0.2172</b>	<b>0.0321</b>	<b>0.2493</b>	<b>0.0837</b>	<b>0.0295</b>	<b>0.1132</b>	<b>0.0000</b>	<b>122.7042</b>	<b>122.7042</b>	<b>0.0397</b>	<b>0.0000</b>	<b>123.6964</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Grading - 2023**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0261	1.3012	0.3775	6.2900e-003	0.1927	0.0130	0.2056	0.0529	0.0124	0.0653	0.0000	621.6947	621.6947	0.0265	0.0985	651.7223
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.5700e-003	1.1700e-003	0.0146	4.0000e-005	4.9300e-003	2.0000e-005	4.9600e-003	1.3100e-003	2.0000e-005	1.3300e-003	0.0000	3.8536	3.8536	1.0000e-004	1.0000e-004	3.8873
<b>Total</b>	<b>0.0277</b>	<b>1.3023</b>	<b>0.3922</b>	<b>6.3300e-003</b>	<b>0.1976</b>	<b>0.0130</b>	<b>0.2106</b>	<b>0.0542</b>	<b>0.0124</b>	<b>0.0667</b>	<b>0.0000</b>	<b>625.5484</b>	<b>625.5484</b>	<b>0.0266</b>	<b>0.0986</b>	<b>655.6096</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0847	0.0000	0.0847	0.0327	0.0000	0.0327	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0747	0.7766	0.6312	1.4000e-003		0.0321	0.0321		0.0295	0.0295	0.0000	122.7041	122.7041	0.0397	0.0000	123.6962
<b>Total</b>	<b>0.0747</b>	<b>0.7766</b>	<b>0.6312</b>	<b>1.4000e-003</b>	<b>0.0847</b>	<b>0.0321</b>	<b>0.1168</b>	<b>0.0327</b>	<b>0.0295</b>	<b>0.0622</b>	<b>0.0000</b>	<b>122.7041</b>	<b>122.7041</b>	<b>0.0397</b>	<b>0.0000</b>	<b>123.6962</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**3.3 Grading - 2023**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0261	1.3012	0.3775	6.2900e-003	0.1927	0.0130	0.2056	0.0529	0.0124	0.0653	0.0000	621.6947	621.6947	0.0265	0.0985	651.7223
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.5700e-003	1.1700e-003	0.0146	4.0000e-005	4.9300e-003	2.0000e-005	4.9600e-003	1.3100e-003	2.0000e-005	1.3300e-003	0.0000	3.8536	3.8536	1.0000e-004	1.0000e-004	3.8873
<b>Total</b>	<b>0.0277</b>	<b>1.3023</b>	<b>0.3922</b>	<b>6.3300e-003</b>	<b>0.1976</b>	<b>0.0130</b>	<b>0.2106</b>	<b>0.0542</b>	<b>0.0124</b>	<b>0.0667</b>	<b>0.0000</b>	<b>625.5484</b>	<b>625.5484</b>	<b>0.0266</b>	<b>0.0986</b>	<b>655.6096</b>

**3.4 Building Construction - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0763	0.6977	0.7878	1.3100e-003		0.0339	0.0339		0.0319	0.0319	0.0000	112.4253	112.4253	0.0267	0.0000	113.0939
<b>Total</b>	<b>0.0763</b>	<b>0.6977</b>	<b>0.7878</b>	<b>1.3100e-003</b>		<b>0.0339</b>	<b>0.0339</b>		<b>0.0319</b>	<b>0.0319</b>	<b>0.0000</b>	<b>112.4253</b>	<b>112.4253</b>	<b>0.0267</b>	<b>0.0000</b>	<b>113.0939</b>



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**3.4 Building Construction - 2023**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	4.0500e-003	0.1324	0.0536	6.4000e-004	0.0226	9.5000e-004	0.0236	6.5300e-003	9.1000e-004	7.4400e-003	0.0000	62.5502	62.5502	1.6300e-003	9.2400e-003	65.3455
Worker	0.0336	0.0251	0.3140	8.9000e-004	0.1058	5.3000e-004	0.1064	0.0281	4.9000e-004	0.0286	0.0000	82.6515	82.6515	2.1700e-003	2.2400e-003	83.3740
<b>Total</b>	<b>0.0377</b>	<b>0.1575</b>	<b>0.3677</b>	<b>1.5300e-003</b>	<b>0.1285</b>	<b>1.4800e-003</b>	<b>0.1299</b>	<b>0.0346</b>	<b>1.4000e-003</b>	<b>0.0360</b>	<b>0.0000</b>	<b>145.2016</b>	<b>145.2016</b>	<b>3.8000e-003</b>	<b>0.0115</b>	<b>148.7195</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0763	0.6977	0.7878	1.3100e-003		0.0339	0.0339		0.0319	0.0319	0.0000	112.4252	112.4252	0.0267	0.0000	113.0938
<b>Total</b>	<b>0.0763</b>	<b>0.6977</b>	<b>0.7878</b>	<b>1.3100e-003</b>		<b>0.0339</b>	<b>0.0339</b>		<b>0.0319</b>	<b>0.0319</b>	<b>0.0000</b>	<b>112.4252</b>	<b>112.4252</b>	<b>0.0267</b>	<b>0.0000</b>	<b>113.0938</b>

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**3.4 Building Construction - 2023**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	4.0500e-003	0.1324	0.0536	6.4000e-004	0.0226	9.5000e-004	0.0236	6.5300e-003	9.1000e-004	7.4400e-003	0.0000	62.5502	62.5502	1.6300e-003	9.2400e-003	65.3455
Worker	0.0336	0.0251	0.3140	8.9000e-004	0.1058	5.3000e-004	0.1064	0.0281	4.9000e-004	0.0286	0.0000	82.6515	82.6515	2.1700e-003	2.2400e-003	83.3740
<b>Total</b>	<b>0.0377</b>	<b>0.1575</b>	<b>0.3677</b>	<b>1.5300e-003</b>	<b>0.1285</b>	<b>1.4800e-003</b>	<b>0.1299</b>	<b>0.0346</b>	<b>1.4000e-003</b>	<b>0.0360</b>	<b>0.0000</b>	<b>145.2016</b>	<b>145.2016</b>	<b>3.8000e-003</b>	<b>0.0115</b>	<b>148.7195</b>

**3.4 Building Construction - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1898	1.7343	2.0855	3.4800e-003		0.0791	0.0791		0.0744	0.0744	0.0000	299.0853	299.0853	0.0707	0.0000	300.8535
<b>Total</b>	<b>0.1898</b>	<b>1.7343</b>	<b>2.0855</b>	<b>3.4800e-003</b>		<b>0.0791</b>	<b>0.0791</b>		<b>0.0744</b>	<b>0.0744</b>	<b>0.0000</b>	<b>299.0853</b>	<b>299.0853</b>	<b>0.0707</b>	<b>0.0000</b>	<b>300.8535</b>

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**3.4 Building Construction - 2024**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0105	0.3554	0.1402	1.6900e-003	0.0602	2.4800e-003	0.0627	0.0174	2.3700e-003	0.0198	0.0000	164.0800	164.0800	4.2000e-003	0.0242	171.4095
Worker	0.0832	0.0592	0.7786	2.3000e-003	0.2815	1.3600e-003	0.2828	0.0748	1.2500e-003	0.0760	0.0000	215.1553	215.1553	5.2300e-003	5.5300e-003	216.9328
<b>Total</b>	<b>0.0937</b>	<b>0.4146</b>	<b>0.9188</b>	<b>3.9900e-003</b>	<b>0.3417</b>	<b>3.8400e-003</b>	<b>0.3455</b>	<b>0.0921</b>	<b>3.6200e-003</b>	<b>0.0958</b>	<b>0.0000</b>	<b>379.2353</b>	<b>379.2353</b>	<b>9.4300e-003</b>	<b>0.0298</b>	<b>388.3423</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1898	1.7342	2.0855	3.4800e-003		0.0791	0.0791		0.0744	0.0744	0.0000	299.0850	299.0850	0.0707	0.0000	300.8531
<b>Total</b>	<b>0.1898</b>	<b>1.7342</b>	<b>2.0855</b>	<b>3.4800e-003</b>		<b>0.0791</b>	<b>0.0791</b>		<b>0.0744</b>	<b>0.0744</b>	<b>0.0000</b>	<b>299.0850</b>	<b>299.0850</b>	<b>0.0707</b>	<b>0.0000</b>	<b>300.8531</b>

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**3.4 Building Construction - 2024**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0105	0.3554	0.1402	1.6900e-003	0.0602	2.4800e-003	0.0627	0.0174	2.3700e-003	0.0198	0.0000	164.0800	164.0800	4.2000e-003	0.0242	171.4095
Worker	0.0832	0.0592	0.7786	2.3000e-003	0.2815	1.3600e-003	0.2828	0.0748	1.2500e-003	0.0760	0.0000	215.1553	215.1553	5.2300e-003	5.5300e-003	216.9328
<b>Total</b>	<b>0.0937</b>	<b>0.4146</b>	<b>0.9188</b>	<b>3.9900e-003</b>	<b>0.3417</b>	<b>3.8400e-003</b>	<b>0.3455</b>	<b>0.0921</b>	<b>3.6200e-003</b>	<b>0.0958</b>	<b>0.0000</b>	<b>379.2353</b>	<b>379.2353</b>	<b>9.4300e-003</b>	<b>0.0298</b>	<b>388.3423</b>

**3.5 Paving - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	9.3900e-003	0.0905	0.1389	2.2000e-004		4.4500e-003	4.4500e-003		4.0900e-003	4.0900e-003	0.0000	19.0252	19.0252	6.1500e-003	0.0000	19.1790
Paving	7.4700e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>0.0169</b>	<b>0.0905</b>	<b>0.1389</b>	<b>2.2000e-004</b>		<b>4.4500e-003</b>	<b>4.4500e-003</b>		<b>4.0900e-003</b>	<b>4.0900e-003</b>	<b>0.0000</b>	<b>19.0252</b>	<b>19.0252</b>	<b>6.1500e-003</b>	<b>0.0000</b>	<b>19.1790</b>

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**3.5 Paving - 2024**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.6000e-004	3.3000e-004	4.3200e-003	1.0000e-005	1.5600e-003	1.0000e-005	1.5700e-003	4.1000e-004	1.0000e-005	4.2000e-004	0.0000	1.1943	1.1943	3.0000e-005	3.0000e-005	1.2042
<b>Total</b>	<b>4.6000e-004</b>	<b>3.3000e-004</b>	<b>4.3200e-003</b>	<b>1.0000e-005</b>	<b>1.5600e-003</b>	<b>1.0000e-005</b>	<b>1.5700e-003</b>	<b>4.1000e-004</b>	<b>1.0000e-005</b>	<b>4.2000e-004</b>	<b>0.0000</b>	<b>1.1943</b>	<b>1.1943</b>	<b>3.0000e-005</b>	<b>3.0000e-005</b>	<b>1.2042</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	9.3900e-003	0.0905	0.1389	2.2000e-004		4.4500e-003	4.4500e-003		4.0900e-003	4.0900e-003	0.0000	19.0252	19.0252	6.1500e-003	0.0000	19.1790
Paving	7.4700e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>0.0169</b>	<b>0.0905</b>	<b>0.1389</b>	<b>2.2000e-004</b>		<b>4.4500e-003</b>	<b>4.4500e-003</b>		<b>4.0900e-003</b>	<b>4.0900e-003</b>	<b>0.0000</b>	<b>19.0252</b>	<b>19.0252</b>	<b>6.1500e-003</b>	<b>0.0000</b>	<b>19.1790</b>

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**3.5 Paving - 2024**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.6000e-004	3.3000e-004	4.3200e-003	1.0000e-005	1.5600e-003	1.0000e-005	1.5700e-003	4.1000e-004	1.0000e-005	4.2000e-004	0.0000	1.1943	1.1943	3.0000e-005	3.0000e-005	1.2042
<b>Total</b>	<b>4.6000e-004</b>	<b>3.3000e-004</b>	<b>4.3200e-003</b>	<b>1.0000e-005</b>	<b>1.5600e-003</b>	<b>1.0000e-005</b>	<b>1.5700e-003</b>	<b>4.1000e-004</b>	<b>1.0000e-005</b>	<b>4.2000e-004</b>	<b>0.0000</b>	<b>1.1943</b>	<b>1.1943</b>	<b>3.0000e-005</b>	<b>3.0000e-005</b>	<b>1.2042</b>

**3.5 Paving - 2025**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	4.6000e-004	4.2900e-003	7.2900e-003	1.0000e-005		2.1000e-004	2.1000e-004		1.9000e-004	1.9000e-004	0.0000	1.0010	1.0010	3.2000e-004	0.0000	1.0091
Paving	3.9000e-004					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>8.5000e-004</b>	<b>4.2900e-003</b>	<b>7.2900e-003</b>	<b>1.0000e-005</b>		<b>2.1000e-004</b>	<b>2.1000e-004</b>		<b>1.9000e-004</b>	<b>1.9000e-004</b>	<b>0.0000</b>	<b>1.0010</b>	<b>1.0010</b>	<b>3.2000e-004</b>	<b>0.0000</b>	<b>1.0091</b>

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**3.5 Paving - 2025**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.0000e-005	2.0000e-005	2.1000e-004	0.0000	8.0000e-005	0.0000	8.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0613	0.0613	0.0000	0.0000	0.0618
<b>Total</b>	<b>2.0000e-005</b>	<b>2.0000e-005</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>8.0000e-005</b>	<b>0.0000</b>	<b>8.0000e-005</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.0613</b>	<b>0.0613</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0618</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	4.6000e-004	4.2900e-003	7.2900e-003	1.0000e-005		2.1000e-004	2.1000e-004		1.9000e-004	1.9000e-004	0.0000	1.0010	1.0010	3.2000e-004	0.0000	1.0091
Paving	3.9000e-004					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>8.5000e-004</b>	<b>4.2900e-003</b>	<b>7.2900e-003</b>	<b>1.0000e-005</b>		<b>2.1000e-004</b>	<b>2.1000e-004</b>		<b>1.9000e-004</b>	<b>1.9000e-004</b>	<b>0.0000</b>	<b>1.0010</b>	<b>1.0010</b>	<b>3.2000e-004</b>	<b>0.0000</b>	<b>1.0091</b>

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**3.5 Paving - 2025**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.0000e-005	2.0000e-005	2.1000e-004	0.0000	8.0000e-005	0.0000	8.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0613	0.0613	0.0000	0.0000	0.0618
<b>Total</b>	<b>2.0000e-005</b>	<b>2.0000e-005</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>8.0000e-005</b>	<b>0.0000</b>	<b>8.0000e-005</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.0613</b>	<b>0.0613</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0618</b>

**3.6 Architectural Coating - 2024**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.2897					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.7200e-003	0.0116	0.0172	3.0000e-005		5.8000e-004	5.8000e-004		5.8000e-004	5.8000e-004	0.0000	2.4256	2.4256	1.4000e-004	0.0000	2.4290
<b>Total</b>	<b>0.2914</b>	<b>0.0116</b>	<b>0.0172</b>	<b>3.0000e-005</b>		<b>5.8000e-004</b>	<b>5.8000e-004</b>		<b>5.8000e-004</b>	<b>5.8000e-004</b>	<b>0.0000</b>	<b>2.4256</b>	<b>2.4256</b>	<b>1.4000e-004</b>	<b>0.0000</b>	<b>2.4290</b>



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**3.6 Architectural Coating - 2024**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.2300e-003	8.8000e-004	0.0115	3.0000e-005	4.1700e-003	2.0000e-005	4.1900e-003	1.1100e-003	2.0000e-005	1.1300e-003	0.0000	3.1849	3.1849	8.0000e-005	8.0000e-005	3.2112
<b>Total</b>	<b>1.2300e-003</b>	<b>8.8000e-004</b>	<b>0.0115</b>	<b>3.0000e-005</b>	<b>4.1700e-003</b>	<b>2.0000e-005</b>	<b>4.1900e-003</b>	<b>1.1100e-003</b>	<b>2.0000e-005</b>	<b>1.1300e-003</b>	<b>0.0000</b>	<b>3.1849</b>	<b>3.1849</b>	<b>8.0000e-005</b>	<b>8.0000e-005</b>	<b>3.2112</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.2897					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.7200e-003	0.0116	0.0172	3.0000e-005		5.8000e-004	5.8000e-004		5.8000e-004	5.8000e-004	0.0000	2.4256	2.4256	1.4000e-004	0.0000	2.4290
<b>Total</b>	<b>0.2914</b>	<b>0.0116</b>	<b>0.0172</b>	<b>3.0000e-005</b>		<b>5.8000e-004</b>	<b>5.8000e-004</b>		<b>5.8000e-004</b>	<b>5.8000e-004</b>	<b>0.0000</b>	<b>2.4256</b>	<b>2.4256</b>	<b>1.4000e-004</b>	<b>0.0000</b>	<b>2.4290</b>

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**3.6 Architectural Coating - 2024**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.2300e-003	8.8000e-004	0.0115	3.0000e-005	4.1700e-003	2.0000e-005	4.1900e-003	1.1100e-003	2.0000e-005	1.1300e-003	0.0000	3.1849	3.1849	8.0000e-005	8.0000e-005	3.2112
<b>Total</b>	<b>1.2300e-003</b>	<b>8.8000e-004</b>	<b>0.0115</b>	<b>3.0000e-005</b>	<b>4.1700e-003</b>	<b>2.0000e-005</b>	<b>4.1900e-003</b>	<b>1.1100e-003</b>	<b>2.0000e-005</b>	<b>1.1300e-003</b>	<b>0.0000</b>	<b>3.1849</b>	<b>3.1849</b>	<b>8.0000e-005</b>	<b>8.0000e-005</b>	<b>3.2112</b>

**3.6 Architectural Coating - 2025**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.0153					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	9.0000e-005	5.7000e-004	9.0000e-004	0.0000		3.0000e-005	3.0000e-005		3.0000e-005	3.0000e-005	0.0000	0.1277	0.1277	1.0000e-005	0.0000	0.1278
<b>Total</b>	<b>0.0153</b>	<b>5.7000e-004</b>	<b>9.0000e-004</b>	<b>0.0000</b>		<b>3.0000e-005</b>	<b>3.0000e-005</b>		<b>3.0000e-005</b>	<b>3.0000e-005</b>	<b>0.0000</b>	<b>0.1277</b>	<b>0.1277</b>	<b>1.0000e-005</b>	<b>0.0000</b>	<b>0.1278</b>

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**3.6 Architectural Coating - 2025**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.0000e-005	4.0000e-005	5.6000e-004	0.0000	2.2000e-004	0.0000	2.2000e-004	6.0000e-005	0.0000	6.0000e-005	0.0000	0.1635	0.1635	0.0000	0.0000	0.1648
<b>Total</b>	<b>6.0000e-005</b>	<b>4.0000e-005</b>	<b>5.6000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>0.1635</b>	<b>0.1635</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.1648</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.0153					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	9.0000e-005	5.7000e-004	9.0000e-004	0.0000		3.0000e-005	3.0000e-005		3.0000e-005	3.0000e-005	0.0000	0.1277	0.1277	1.0000e-005	0.0000	0.1278
<b>Total</b>	<b>0.0153</b>	<b>5.7000e-004</b>	<b>9.0000e-004</b>	<b>0.0000</b>		<b>3.0000e-005</b>	<b>3.0000e-005</b>		<b>3.0000e-005</b>	<b>3.0000e-005</b>	<b>0.0000</b>	<b>0.1277</b>	<b>0.1277</b>	<b>1.0000e-005</b>	<b>0.0000</b>	<b>0.1278</b>

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**3.6 Architectural Coating - 2025**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.0000e-005	4.0000e-005	5.6000e-004	0.0000	2.2000e-004	0.0000	2.2000e-004	6.0000e-005	0.0000	6.0000e-005	0.0000	0.1635	0.1635	0.0000	0.0000	0.1648
<b>Total</b>	<b>6.0000e-005</b>	<b>4.0000e-005</b>	<b>5.6000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>0.0000</b>	<b>2.2000e-004</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>6.0000e-005</b>	<b>0.0000</b>	<b>0.1635</b>	<b>0.1635</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.1648</b>

**4.0 Operational Detail - Mobile**

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**4.1 Mitigation Measures Mobile**

Improve Destination Accessibility

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	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.1775	0.2668	1.7635	3.9100e-003	0.4213	3.1500e-003	0.4245	0.1125	2.9500e-003	0.1155	0.0000	370.5013	370.5013	0.0214	0.0187	376.6050
Unmitigated	0.1924	0.3047	2.0180	4.6000e-003	0.4986	3.6800e-003	0.5023	0.1332	3.4400e-003	0.1366	0.0000	436.3892	436.3892	0.0240	0.0214	443.3620

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Other Asphalt Surfaces	0.00	0.00	0.00		
Other Non-Asphalt Surfaces	0.00	0.00	0.00		
Retirement Community	68.96	45.44	39.84	209,950	177,408
Single Family Housing	330.05	331.80	296.80	1,112,454	940,023
<b>Total</b>	<b>399.01</b>	<b>377.24</b>	<b>336.64</b>	<b>1,322,404</b>	<b>1,117,431</b>

**4.3 Trip Type Information**

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Other Asphalt Surfaces	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0
Other Non-Asphalt Surfaces	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0
Retirement Community	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Single Family Housing	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

**4.4 Fleet Mix**

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Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Other Asphalt Surfaces	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Other Non-Asphalt Surfaces	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Retirement Community	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606
Single Family Housing	0.543085	0.056300	0.173085	0.134258	0.025645	0.007009	0.011926	0.017481	0.000552	0.000248	0.024848	0.000956	0.004606

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	61.8110	61.8110	5.2200e-003	6.3000e-004	62.1299
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	61.8110	61.8110	5.2200e-003	6.3000e-004	62.1299
NaturalGas Mitigated	6.6400e-003	0.0568	0.0242	3.6000e-004		4.5900e-003	4.5900e-003		4.5900e-003	4.5900e-003	0.0000	65.7473	65.7473	1.2600e-003	1.2100e-003	66.1380
NaturalGas Unmitigated	6.6400e-003	0.0568	0.0242	3.6000e-004		4.5900e-003	4.5900e-003		4.5900e-003	4.5900e-003	0.0000	65.7473	65.7473	1.2600e-003	1.2100e-003	66.1380

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**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Retirement Community	242015	1.3000e-003	0.0112	4.7500e-003	7.0000e-005		9.0000e-004	9.0000e-004		9.0000e-004	9.0000e-004	0.0000	12.9148	12.9148	2.5000e-004	2.4000e-004	12.9916
Single Family Housing	990043	5.3400e-003	0.0456	0.0194	2.9000e-004		3.6900e-003	3.6900e-003		3.6900e-003	3.6900e-003	0.0000	52.8325	52.8325	1.0100e-003	9.7000e-004	53.1464
<b>Total</b>		<b>6.6400e-003</b>	<b>0.0568</b>	<b>0.0242</b>	<b>3.6000e-004</b>		<b>4.5900e-003</b>	<b>4.5900e-003</b>		<b>4.5900e-003</b>	<b>4.5900e-003</b>	<b>0.0000</b>	<b>65.7473</b>	<b>65.7473</b>	<b>1.2600e-003</b>	<b>1.2100e-003</b>	<b>66.1380</b>

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**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Retirement Community	242015	1.3000e-003	0.0112	4.7500e-003	7.0000e-005		9.0000e-004	9.0000e-004		9.0000e-004	9.0000e-004	0.0000	12.9148	12.9148	2.5000e-004	2.4000e-004	12.9916
Single Family Housing	990043	5.3400e-003	0.0456	0.0194	2.9000e-004		3.6900e-003	3.6900e-003		3.6900e-003	3.6900e-003	0.0000	52.8325	52.8325	1.0100e-003	9.7000e-004	53.1464
<b>Total</b>		<b>6.6400e-003</b>	<b>0.0568</b>	<b>0.0242</b>	<b>3.6000e-004</b>		<b>4.5900e-003</b>	<b>4.5900e-003</b>		<b>4.5900e-003</b>	<b>4.5900e-003</b>	<b>0.0000</b>	<b>65.7473</b>	<b>65.7473</b>	<b>1.2600e-003</b>	<b>1.2100e-003</b>	<b>66.1380</b>



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**5.3 Energy by Land Use - Electricity**

**Unmitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Retirement Community	69771	12.3736	1.0400e-003	1.3000e-004	12.4374
Single Family Housing	278763	49.4374	4.1700e-003	5.1000e-004	49.6924
<b>Total</b>		<b>61.8110</b>	<b>5.2100e-003</b>	<b>6.4000e-004</b>	<b>62.1299</b>

19521 Serrano Estates (TTM 20375) - San Bernardino-South Coast County, Annual

**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**5.3 Energy by Land Use - Electricity**

**Mitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Retirement Community	69771	12.3736	1.0400e-003	1.3000e-004	12.4374
Single Family Housing	278763	49.4374	4.1700e-003	5.1000e-004	49.6924
<b>Total</b>		<b>61.8110</b>	<b>5.2100e-003</b>	<b>6.4000e-004</b>	<b>62.1299</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.3597	0.0156	0.5296	9.0000e-005		3.6900e-003	3.6900e-003		3.6900e-003	3.6900e-003	0.0000	11.8817	11.8817	1.0300e-003	2.0000e-004	11.9677
Unmitigated	0.3597	0.0156	0.5296	9.0000e-005		3.6900e-003	3.6900e-003		3.6900e-003	3.6900e-003	0.0000	11.8817	11.8817	1.0300e-003	2.0000e-004	11.9677

**6.2 Area by SubCategory**

**Unmitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0305					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.3123					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	1.1100e-003	9.5200e-003	4.0500e-003	6.0000e-005		7.7000e-004	7.7000e-004		7.7000e-004	7.7000e-004	0.0000	11.0223	11.0223	2.1000e-004	2.0000e-004	11.0878
Landscaping	0.0158	6.0500e-003	0.5256	3.0000e-005		2.9200e-003	2.9200e-003		2.9200e-003	2.9200e-003	0.0000	0.8594	0.8594	8.2000e-004	0.0000	0.8799
<b>Total</b>	<b>0.3597</b>	<b>0.0156</b>	<b>0.5296</b>	<b>9.0000e-005</b>		<b>3.6900e-003</b>	<b>3.6900e-003</b>		<b>3.6900e-003</b>	<b>3.6900e-003</b>	<b>0.0000</b>	<b>11.8817</b>	<b>11.8817</b>	<b>1.0300e-003</b>	<b>2.0000e-004</b>	<b>11.9677</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**6.2 Area by SubCategory**

**Mitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0305					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.3123					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	1.1100e-003	9.5200e-003	4.0500e-003	6.0000e-005		7.7000e-004	7.7000e-004		7.7000e-004	7.7000e-004	0.0000	11.0223	11.0223	2.1000e-004	2.0000e-004	11.0878
Landscaping	0.0158	6.0500e-003	0.5256	3.0000e-005		2.9200e-003	2.9200e-003		2.9200e-003	2.9200e-003	0.0000	0.8594	0.8594	8.2000e-004	0.0000	0.8799
<b>Total</b>	<b>0.3597</b>	<b>0.0156</b>	<b>0.5296</b>	<b>9.0000e-005</b>		<b>3.6900e-003</b>	<b>3.6900e-003</b>		<b>3.6900e-003</b>	<b>3.6900e-003</b>	<b>0.0000</b>	<b>11.8817</b>	<b>11.8817</b>	<b>1.0300e-003</b>	<b>2.0000e-004</b>	<b>11.9677</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

- Apply Water Conservation Strategy
- Use Water Efficient Irrigation System

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	11.1094	0.0875	2.1500e-003	13.9374
Unmitigated	12.8549	0.1093	2.6800e-003	16.3845

**7.2 Water by Land Use**

**Unmitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Other Asphalt Surfaces	0 / 0	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0 / 0	0.0000	0.0000	0.0000	0.0000
Retirement Community	1.04246 / 0.657206	4.0329	0.0343	8.4000e-004	5.1402
Single Family Housing	2.28039 / 1.43764	8.8220	0.0750	1.8400e-003	11.2443
<b>Total</b>		<b>12.8549</b>	<b>0.1093</b>	<b>2.6800e-003</b>	<b>16.3845</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**7.2 Water by Land Use**

**Mitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Other Asphalt Surfaces	0 / 0	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0 / 0	0.0000	0.0000	0.0000	0.0000
Retirement Community	0.833972 / 0.657206	3.4853	0.0275	6.7000e-004	4.3725
Single Family Housing	1.82431 / 1.43764	7.6241	0.0600	1.4800e-003	9.5649
<b>Total</b>		<b>11.1094</b>	<b>0.0875</b>	<b>2.1500e-003</b>	<b>13.9374</b>

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

Institute Recycling and Composting Services

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	2.4542	0.1450	0.0000	6.0801
Unmitigated	9.8166	0.5802	0.0000	24.3203

**8.2 Waste by Land Use**

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Retirement Community	7.36	1.4940	0.0883	0.0000	3.7014
Single Family Housing	41	8.3226	0.4919	0.0000	20.6190
<b>Total</b>		<b>9.8166</b>	<b>0.5801</b>	<b>0.0000</b>	<b>24.3203</b>

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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

**8.2 Waste by Land Use**

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Other Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Retirement Community	1.84	0.3735	0.0221	0.0000	0.9253
Single Family Housing	10.25	2.0807	0.1230	0.0000	5.1547
<b>Total</b>		<b>2.4542</b>	<b>0.1450</b>	<b>0.0000</b>	<b>6.0801</b>

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment



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**EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied**

Equipment Type	Number
----------------	--------

**11.0 Vegetation**

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	Total CO2	CH4	N2O	CO2e
Category	MT			
Unmitigated	194.7000	0.0000	0.0000	194.7000

**11.2 Net New Trees**

Species Class

	Number of Trees	Total CO2	CH4	N2O	CO2e
		MT			
Miscellaneous	275	194.7000	0.0000	0.0000	194.7000
<b>Total</b>		<b>194.7000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>194.7000</b>

Source: EMFAC2021 (v1.0.1) Emissions Inventory

Region Type: Air Basin

Region: South Coast

Calendar Year: 2025

Season: Annual

Vehicle Classification: EMFAC2007 Categories

Units: miles/day for CVMT and EVMT, trips/day for Trips, kWh/day for Energy Consumption, tons/day for Emissions, 1000 gallons/day for Fuel Consumption

Region	Calendar Year	Vehicle Category	Model Year	Speed	Fuel	Population	Trips	Energy Consumption	Fuel Consumption	Fuel Consumption	Total Fuel Consumption	Total VMT	Total VMT	Miles Per Gallon	Vehicle Class
South Coast	2025	HHDT	Aggregate	Aggregate	Gasoline	54.83401411	1097.118954	0	0.915660885	915.6608849	2033428.223	3783.739566	12499201.56	6.15	HHDT
South Coast	2025	HHDT	Aggregate	Aggregate	Diesel	95337.36817	1459640.636	0	1919.938673	1919938.673		11745346.31			
South Coast	2025	HHDT	Aggregate	Aggregate	Electricity	647.565363	8586.113967	125035.0292	0	0		69780.1703			
South Coast	2025	HHDT	Aggregate	Aggregate	Natural Gas	10701.05249	68656.35135	0	112.5738892	112573.8892		680291.3416			
South Coast	2025	LDA	Aggregate	Aggregate	Gasoline	5244723.652	24385315.28	0	7108.358927	7108358.927	7245907.135	210339700.5	233546247.7	32.23	LDA
South Coast	2025	LDA	Aggregate	Aggregate	Diesel	13504.15254	56096.65324	0	9.832104986	9832.104986		408222.3366			
South Coast	2025	LDA	Aggregate	Aggregate	Electricity	314906.6469	1568075.372	5911352.826	0	0		15311111.74			
South Coast	2025	LDA	Aggregate	Aggregate	Plug-in Hybrid	159860.278	661022.2496	1174382.35	127.7161032	127716.1032		7487213.196			
South Coast	2025	LDT1	Aggregate	Aggregate	Gasoline	483367.514	2127610.282	0	708.9359688	708935.9688	709884.4736	17503198.77	17626287.18	24.83	LDT1
South Coast	2025	LDT1	Aggregate	Aggregate	Diesel	161.5260868	453.3891137	0	0.127085477	127.0854768		2967.035899			
South Coast	2025	LDT1	Aggregate	Aggregate	Electricity	1505.26458	7236.189381	25889.93818	0	0		67058.04036			
South Coast	2025	LDT1	Aggregate	Aggregate	Plug-in Hybrid	1033.948372	4275.376518	9086.363765	0.821419376	821.4193759		53063.32883			
South Coast	2025	LDT2	Aggregate	Aggregate	Gasoline	2528171.942	11891190.15	0	4341.426391	4341426.391	4373117.135	104543301.5	106927231	24.45	LDT2
South Coast	2025	LDT2	Aggregate	Aggregate	Diesel	8518.978579	40955.39339	0	11.53683826	11536.83826		366939.3838			
South Coast	2025	LDT2	Aggregate	Aggregate	Electricity	21565.05505	109850.7805	300027.449	0	0		777107.023			
South Coast	2025	LDT2	Aggregate	Aggregate	Plug-in Hybrid	25221.81395	104292.2007	204751.9727	20.15390552	20153.90552		1239883.058			
South Coast	2025	LHDT1	Aggregate	Aggregate	Gasoline	199655.4178	2974568.238	0	565.7929114	565792.9114	785253.6339	7899242.311	12579982.86	16.02	LHDT1
South Coast	2025	LHDT1	Aggregate	Aggregate	Diesel	107539.0383	1352705.817	0	219.4607225	219460.7225		4531936.528			
South Coast	2025	LHDT1	Aggregate	Aggregate	Electricity	2131.529069	29802.51665	83294.25907	0	0		148804.02			
South Coast	2025	LHDT2	Aggregate	Aggregate	Gasoline	30849.1838	459606.8733	0	93.96299335	93962.99335	208962.5987	1145449.689	3183322.084	15.23	LHDT2
South Coast	2025	LHDT2	Aggregate	Aggregate	Diesel	48016.98656	603993.2855	0	114.9996053	114999.6053		2001431.485			
South Coast	2025	LHDT2	Aggregate	Aggregate	Electricity	549.452873	7286.296511	20413.74678	0	0		36440.90994			
South Coast	2025	MCY	Aggregate	Aggregate	Gasoline	246317.3152	492634.6304	0	37.82728892	37827.28892	37827.28892	1575969.655	1575969.655	41.66	MCY
South Coast	2025	MDV	Aggregate	Aggregate	Gasoline	1582911.671	7327873.919	0	3124.528435	3124528.435	3169334.086	61244218.19	63579746.09	20.06	MDV
South Coast	2025	MDV	Aggregate	Aggregate	Diesel	19966.30161	93386.67778	0	32.96063764	32960.63764		783550.3632			
South Coast	2025	MDV	Aggregate	Aggregate	Electricity	23405.95686	119202.2123	325389.6809	0	0		842798.2408			
South Coast	2025	MDV	Aggregate	Aggregate	Plug-in Hybrid	15515.87163	64158.1292	115605.1765	11.8450132	11845.0132		709179.3041			
South Coast	2025	MH	Aggregate	Aggregate	Gasoline	28222.75742	2823.404652	0	55.89330175	55893.30175	67478.95091	271714.048	388622.5468	5.76	MH
South Coast	2025	MH	Aggregate	Aggregate	Diesel	11853.97154	1185.397154	0	11.58564916	11585.64916		116908.4988			
South Coast	2025	MHDT	Aggregate	Aggregate	Gasoline	24266.37368	485521.6046	0	246.6220886	246622.0886	803911.5702	1285729.87	6330495.207	7.87	MHDT
South Coast	2025	MHDT	Aggregate	Aggregate	Diesel	117076.634	1440705.231	0	548.3413637	548341.3637		4914316.485			
South Coast	2025	MHDT	Aggregate	Aggregate	Electricity	1030.710845	13697.48889	58527.95377	0	0		55891.50984			
South Coast	2025	MHDT	Aggregate	Aggregate	Natural Gas	1586.964447	14102.34275	0	8.94811801	8948.11801		74557.34189			
South Coast	2025	OBUS	Aggregate	Aggregate	Gasoline	5130.782804	102656.7023	0	38.98709136	38987.09136	75404.10956	199551.2481	465625.8692	6.18	OBUS
South Coast	2025	OBUS	Aggregate	Aggregate	Diesel	3078.572652	39272.27543	0	33.03961652	33039.61652		233905.0145			
South Coast	2025	OBUS	Aggregate	Aggregate	Electricity	29.09533983	582.1395594	2258.641236	0	0		2147.933443			
South Coast	2025	OBUS	Aggregate	Aggregate	Natural Gas	505.1478218	4495.815614	0	3.377401677	3377.401677		29991.67319			
South Coast	2025	SBUS	Aggregate	Aggregate	Gasoline	2812.998756	11251.99503	0	13.81627409	13816.27409	41147.02398	123623.802	268314.9981	6.52	SBUS
South Coast	2025	SBUS	Aggregate	Aggregate	Diesel	3181.542446	46068.73461	0	8.734797087	8734.797087		64276.54474			
South Coast	2025	SBUS	Aggregate	Aggregate	Electricity	47.38132065	537.5923668	1681.228052	0	0		1453.97051			
South Coast	2025	SBUS	Aggregate	Aggregate	Natural Gas	3209.535885	46474.07961	0	18.59595281	18595.95281		78960.68088			
South Coast	2025	UBUS	Aggregate	Aggregate	Gasoline	892.063682	3568.254728	0	13.80114714	13801.14714	198998.2045	96751.77026	697627.2588	3.51	UBUS
South Coast	2025	UBUS	Aggregate	Aggregate	Diesel	11.19759793	44.79039173	0	0.207460052	207.4600516		1417.05095			
South Coast	2025	UBUS	Aggregate	Aggregate	Electricity	163.9010308	655.6041234	34521.6162	0	0		16501.94536			
South Coast	2025	UBUS	Aggregate	Aggregate	Natural Gas	4881.393278	19525.57311	0	184.9895973	184989.5973		582956.4922			



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**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT  
IN YUCAIPA, CALIFORNIA**

*Prepared for:*

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*Prepared by:*



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**June 2022**

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

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**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

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**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

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**SECTION 1.0 - INTRODUCTION**

Jennings Environmental, LLC (Jennings) was retained by Tom Dodson & Associates to conduct a literature review and reconnaissance-level survey for the proposed Serrano Estates Development on APNs 0320-161-08, 09, & 28 (Project) in the city of Yucaipa, San Bernardino County, California. The survey identified vegetation communities, the potential for the occurrence of special status species, or habitats that could support special status wildlife species, and recorded all plants and animals observed or detected within the Project boundary. This biological resources assessment is designed to address the potential effects of the proposed project on designated critical habitats and/or any species currently listed or formally proposed for listing as endangered or threatened under the federal Endangered Species Act (ESA) and the California Endangered Species Act (CESA) or species designated as sensitive by the California Department of Fish and Wildlife (CDFW) or the California Native Plant Society (CNPS). Information contained in this document is in accordance with accepted scientific and technical standards that are consistent with the requirements of the United States Fish and Wildlife Service (USFWS) and (CDFW). Additionally, the site was surveyed for any drainage features that would meet the definition of the Waters of the US (WOUS), Waters of the State (WOS), or CDFW jurisdiction.

**1.1 PROJECT LOCATION**

The project is generally located on the western edge of Section 19, Township 1 South, Range 1 West, and is depicted on the *Yucaipa* U.S. Geological Survey's (USGS) 7.5-minute topographic map. More specifically the project is located within Assessor Parcel Numbers (APNs) 0320-161-08, 09, & 28, within the city of Yucaipa, San Bernardino County, California. The Project site is located on the northeast corner of the intersection of Crystal St. and Yucaipa Ridge Rd. The site is surrounded by vacant land to the east, residential parcels to the south and west, and vacant land and a vineyard to the north (Figures 1 and 2 in Appendix A).

**1.2 PROJECT DESCRIPTION**

The Developer is proposing to subdivide a portion of the 52.02 acres into 51 residential lots. The residential lots will range from 12,787 square feet to 23,759 square feet. Additional improvements include the necessary infrastructure to provide utilities to each residence, including, sewer lines, electrical lines, water lines, and communication lines. The Project also proposes the installation of two water quality basins and a multi-purpose trail surrounding the development. Figure 3 in Appendix A overlays the site plan onto a current aerial map.

**2.0 – METHODOLOGY**

**2.1 LITERATURE REVIEW**

Prior to performing the field survey, existing documentation relevant to the Project site was reviewed. The most recent records were reviewed for the following quadrangle containing and surrounding the Project site: *Yucaipa* and *Forest Falls*, USGS 7.5-minute quadrangles. The *Forest Falls* quad was included in this search due to the site's proximity to its border. These databases contain records of reported occurrences of federal- or state-listed endangered or threatened species, California Species of Concern

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(SSC), or otherwise special status species or habitats that may occur within or in the immediate vicinity of the Project site. These sources include:

- California Natural Diversity Database (CNDDDB) managed by CDFW (CDFW 2021)
- USFWS Critical Habitat Mapper (USFWS 2022)
- California Native Plant Society's Electronic Inventory (CNPSEI) of Rare and Endangered Vascular Plants of California (CNPS 2022)
- U.S. Fish and Wildlife (USFWS) threatened and endangered species occurrence GIS overlay;
- USDA Natural Resources Conservation Service (NRCS) Web Soil Survey;
- USGS National Map;
- Calwater Watershed Maps
- USFWS Designated Critical Habitat Maps
- City of Yucaipa Development Code (Chapter 5 – Oak Tree Conservation)

## **2.2 SOILS**

Before conducting the surveys, soil maps for San Bernardino County were referenced online to determine the types of soil found within the Project site. Soils were determined in accordance with categories set forth by the United States Department of Agriculture (USDA) Soil Conservation Service and by referencing the USDA Natural Resources Conservation Service (NRCS) Web Soil Survey (USDA 2022).

## **2.3 BIOLOGICAL RECONNAISSANCE-LEVEL SURVEY**

Jennings biologist, Gene Jennings, conducted the general reconnaissance survey within the Project site to identify the potential for the occurrence of special status species, vegetation communities, or habitats that could support special status wildlife species. The surveys were conducted on foot, throughout the Project site between 1000 and 1145 hours on June 4, 2022. Weather conditions during the survey included temperatures ranging from 65.8 to 70.6 degrees Fahrenheit, with clear skies, no precipitation, and 2.2 to 7.4 mile per hour winds. Photographs of the Project site were taken to document existing conditions (Appendix B).

## **2.4 JURISDICTIONAL FEATURES**

A general assessment of jurisdictional waters regulated by the United States Army Corps of Engineers (USACE), Regional Water Quality Control Board (RWQCB), and CDFW was conducted for the proposed Project area. Pursuant to Section 404 of the Clean Water Act, USACE regulates the discharge of dredged and/or fill material into waters of the United States. The State of California (State) regulates the discharge of material into waters of the State pursuant to Section 401 of the Clean Water Act and the California Porter- Cologne Water Quality Control Act (California Water Code, Division 7, §13000 et seq.). Pursuant to Division 2, Chapter 6, Sections 1600-1602 of the California Fish and Game Code, CDFW regulates all diversions, obstructions, or changes to the natural flow or bed, channel, or bank of any river, stream, or lake, which supports fish or wildlife and its' associated riparian vegetation. The assessment was conducted by a desktop survey through the USGS National Hydrography Dataset for hydrological connectivity. Additional discussion of the regulatory framework is provided in Appendix C.



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**2.5 VEGETATION**

All plant species observed within the Project site were recorded. Vegetation communities within the Project site were identified and qualitatively described. Plant communities were determined in accordance with the *Manual of California Vegetation, Second Edition* (Sawyer et al. 2009). Plant nomenclature follows that of *The Jepson Manual, Second Edition* (Baldwin et al. 2012). A comprehensive list of the plant species observed during the survey is provided in Appendix D.

**2.6 WILDLIFE**

All wildlife and wildlife signs observed and detected, including tracks, scat, carcasses, burrows, excavations, and vocalizations, were recorded. Additional survey time was spent in those habitats most likely to be utilized by wildlife (native vegetation, wildlife trails, etc.) or in habitats with the potential to support state- and/or federally listed or otherwise special status species. Notes were made on the general habitat types, species observed, and the conditions of the Project site. A comprehensive list of the wildlife species observed during the survey is provided in Appendix D.

**2.7 WILDLIFE CORRIDORS AND HABITAT CONSERVATION PLAN**

According to the California Essential Habitat Connectivity Project, the Project site is not mapped within an area for wildlife movement. Additionally, the Project site is not within an adopted habitat conservation plan. Therefore, the proposed Project will not have an impact on any current wildlife corridors or habitat conservation plans.

**2.8 CITY OF YUCAIPA DEVELOPMENT CODE (CHAPTER 5 – OAK TREE CONSERVATION)**

The City of Yucaipa has a section of the development code that specifically addresses the protection of oak trees within the City. The development code was searched prior to the site visit and it states:

Further uncontrolled and indiscriminate destruction of oak trees would detrimentally affect the safety and welfare of the citizens of Yucaipa. The conservation program outlined in this chapter contributes to the welfare and aesthetics of the community and retains the great historical and environmental value of these trees. This chapter sets forth the policy of the City to require the conservation of all healthy oak trees unless reasonable and conforming use of the property justifies the removal, cutting, pruning and/or encroachment into the protected zone of an oak tree.

Any person who owns, controls, has custody or possession of any real property within the City that is improved or has been approved for development, or which is part of or associated with the City approved development of another piece of property, such as any parcel to be maintained as permanent open space or for recreational purposes, shall maintain all oak tree(s) located thereon in a state of good health pursuant to the Oak Tree Conservation and Protection Guidelines adopted by City Council resolution. Failure to do so will constitute a violation of this article.

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**SECTION 3.0 – RESULTS**

**3.1 LITERATURE REVIEW RESULTS**

According to the CNDDDB, CNPSEI, and other relevant literature and databases, 51 sensitive species, 9 of which are listed as threatened or endangered, and 8 sensitive habitats have been documented in the *Yucaipa* and *Forest Falls* quads. This list of sensitive species and habitats includes any State and/or federally listed threatened or endangered species, CDFW designated Species of Special Concern (SSC), and otherwise Special Animals. “Special Animals” is a general term that refers to all of the taxa the CNDDDB is interested in tracking, regardless of their legal or protection status. This list is also referred to as the list of “species at risk” or “special status species.” The CDFW considers the taxa on this list to be those of greatest conservation need.

An analysis of the likelihood for the occurrence of all CNDDDB sensitive species documented in the *Yucaipa* and *Forest Falls* quads is provided in Table 2, in Appendix D. This analysis takes into account species range as well as documentation within the vicinity of the project area and includes the habitat requirements for each species and the potential for their occurrence on the site, based on required habitat elements and range relative to the current site conditions. According to the databases, no sensitive habitat, including USFWS designated critical habitat, occurs within or adjacent to the project site.

**3.1.1 SOILS**

After a review of the USDA Soil Conservation Service and by referencing the USDA NRCS Web Soil Survey (USDA 2022), it was determined that the Project site is located within the San Bernardino County Southwestern Area (California area CA677). Based on the results of the database search, one (1) soil type is documented in the area:

Soboba stony loamy sand, 2 to 9 percent slopes (SpC). This soil is excessively drained with a high to very high capacity to transmit water. This soil consists of alluvium derived from granite, typically ranges in elevation from 960 to 3,690 feet above mean sea level (amsl) and is not considered prime farmland.

**3.1.2 SPECIAL STATUS SPECIES BACKGROUND**

Of the 51 species found within the *Yucaipa* and *Forest Falls* quads, 24 have a special designation of either: federally listed, state listed, or a species of special concern (SSC) under the California Fish and Game Code. However, the Project site is either outside the known range for the species or suitable habitat does not occur within the Project area. Therefore, no further discussion or recommendations are required for the following species:

- Southern California legless lizard
- California glossy snake
- Coastal whiptail
- Swainson’s hawk
- Northwestern San Diego pocket mouse
- Southern rubber boa
- Black swift
- San Bernardino kangaroo rat

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- Slender-horned spineflower
- Southwestern willow flycatcher
- Santa Ana River woollystar
- San Bernardino flying squirrel
- Western yellow bat
- Lesser long-nosed bat
- San Diego woodrat
- Steelhead
- Coast horned lizard
- Purple martin
- Santa Ana speckled dace
- Coast patched-nosed snake
- Western spadefoot
- American badger
- Two-striped gartersnake
- Least bell's vireo

### **3.1.3 DESIGNATED CRITICAL HABITAT**

The site is not located within or adjacent to any USFWS designated Critical Habitat. No further action is required.

### **3.1.4 JURISDICTIONAL WATERS**

Aerial imagery of the site was examined and compared with the surrounding USGS 7.5-minute topographic quadrangle maps to identify drainage features within the survey area as indicated from topographic changes, blue-line features, or visible drainage patterns. The U.S. Fish and Wildlife Service National Wetland Inventory and Environmental Protection Agency (EPA) Water Program "My Waters" data layers were also reviewed to determine whether any hydrologic features and wetland areas had been documented within the vicinity of the site. Similarly, the Soil maps from the U.S. Department of Agriculture (USDA) - Natural Resources Conservation Service (NRCS) Web Soil Survey (USDA 2022) were reviewed to identify the soil series on-site and to check if they have been identified regionally as hydric soils. Upstream and downstream connectivity of waterways (if present) was reviewed in the field, on aerial imagery, and topographic maps to determine jurisdictional status. After review of the aerials, it appeared that there was a jurisdictional feature on the western edge of the parcel.

### **3.1.5 HYDROLOGY AND HYDROLOGIC CONNECTIVITY**

Hydrologically, the project site is located within the Crafton Hydrologic Sub-Area (HSA 801.56), as identified on the Calwater Watershed maps. This Crafton HSA area comprises a 2,697-acre drainage area within the larger Upper Santa Ana River Watershed Area (Hydrologic Unit Code [HUC10] 1807020305, US Watershed Maps) (CalTrans, 2022). The Upper Santa Ana River watershed in the Yucaipa area is bordered to the north by the Lytle Creek, West Fork Mojave River, Deep Cree, Bear Creek, and Headwaters Santa Ana River watersheds, to the east by the Headwaters Whitewater River watershed, to the south by the San Timoteo Wash watershed, and to the west by Middle Santa Ana River watershed. (Figure 4 in Appendix A).

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**3.1.6 CITY OF YUCAIPA DEVELOPMENT CODE (CHAPTER 5 – OAK TREE CONSERVATION, SECTION 89.0515)**

The City of Yucaipa Municipal Code, Chapter 5, Section 88.0515 provides the following definition of which plants are covered under the Development Code:

89.0515 – Permit Required.

(a) Permit required. No person shall cut, remove, encroach into the protected zone, or relocate any oak tree on any public or private property within the City unless a valid oak tree permit has been issued by the City pursuant to the provisions of this chapter and the Oak Tree Conservation and Protection Guidelines. The status of limbs or trees as deadwood or dead trees must be confirmed by an Oak Tree Conservation Consultant.

(b) Exemptions. A permit is not required to cut or remove a tree(s) under the following circumstances:

- (1) Trees that do not exceed two inches (2") in diameter when measured at a point four and half feet (4 1/2') above the tree's natural grade.
- (2) Trees damaged by thunderstorms, windstorms, floods, earthquakes, fires or other natural disasters and determined to be dangerous by the Planning Agency. The Department of Community Development shall be promptly notified of the nature of the emergency and action taken.
- (3) When removal is determined necessary by fire department.
- (4) Trees planted, grown and/or held for sale as part of a licensed nursery business.

(c) Use of explosives. All tree fellers, tree surgeons, or anyone using explosives within the City limits in connection with the cutting down or removal of any oak tree shall first apply to the City Manager for a permit to do so and shall furnish such bond or insurance as the City Manager shall deem necessary for the protection of the property owner or any other person from any possible damage as a result of such work.

**3.2 FIELD STUDY RESULTS**

**3.2.1 VEGETATION**

The vegetation on-site consists of a mixture of *Eriogonum fasciculatum* Shrubland Alliance (California buckwheat scrub), *Amsinckia (menziesii, tessellata) - Phacelia* spp. Herbaceous Alliance (Fiddleneck – Phacelia Fields), *Brassica nigra - Centaurea (solstitialis, melitensis)* Herbaceous Semi-Natural Alliance (Upland mustards or star-thistle fields), and ruderal/disturbed vegetation. {Figure 5 in Appendix A}. The site is relatively undisturbed with the exception of a portion of the site, on the western edge, that is maintained for weed abatement. The site also contains a few dirt roads that transverse the property from west to east and north to south. A complete list of all plants observed is provided in Table 1 of Appendix D and Figure 5 in Appendix A details the vegetation found on-site.

**3.2.2 WILDLIFE**

Multiple birds and two mammals were seen or heard during the survey. Species observed or otherwise detected on or in the vicinity of the project site during the surveys included; house finch (*Haemorhous*

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*mexicanus*) and California ground squirrel (*Otospermophilus beecheyi*). A complete list of all species observed is provided in Table 1 of Appendix D.

The project site is located within a partially developed area of Yucaipa. Portions of the site showed signs of past mowing activities and foot traffic was also evident. There is no habitat within the proposed project footprint, as well as the immediate surrounding area, that is suitable for the sensitive species identified in the CNDDDB search (Table 2 in Appendix D).

**3.2.3 SPECIAL STATUS SPECIES**

No State and/or federally listed threatened or endangered species or other sensitive species were observed on-site during surveys.

**3.2.4 NESTING BIRDS**

The Project site and immediate surrounding area do contain habitat suitable for nesting birds. As such the Project is subject to the following nesting bird regulations. Recommendations for avoidance and minimization are in section 4.

*Migratory Bird Treaty Act*

The Migratory Bird Treaty Act of 1918. This Act implements four international conservation treaties that the U.S. entered into with Canada in 1916, Mexico in 1936, Japan in 1972, and Russia in 1976. It is intended to ensure the sustainability of populations of all protected migratory bird species. The Act has been amended with the signing of each treaty, as well as when any of the treaties were amended, such as with Mexico in 1976 and Canada in 1995. The Act prohibits the take (including killing, capturing, selling, trading, and transport) of protected migratory bird species without prior authorization by the Department of Interior U.S. Fish and Wildlife Service.

*California Fish and Game Code*

The Project site is also subject to Sections 3503 and 3503.5 of the Fish and Game Code. Section 3503 states, "It is unlawful to take, possess, or needlessly destroy the nest or eggs of any bird, except as otherwise provided by this code or any regulation made pursuant thereto". And Section 3503.5 states, "It is unlawful to take, possess, or destroy any birds in the orders Falconiformes or Strigiformes (birds-of-prey) or to take, possess, or destroy the nest or eggs of any such bird except as otherwise provided by this code or any regulation adopted pursuant thereto".

**3.2.4 JURISDICTIONAL WATERS**

*Waters of the United States and Waters of the State*

The USACE has the authority to permit the discharge of dredged or fill material in Waters of the U.S. (WOUS) under Section 404 CWA. While the Regional Water Quality Board has authority over the discharge of dredged or fill material in Waters of the State under Section 401 CWA as well as the Porter-Cologne Water Quality Control Act. The Project area was surveyed with 100 percent visual coverage and no drainage features were present on site that met the definition for WOUS. As such, the subject parcel does not contain any wetlands, Waters of the U.S., or Waters of the State.

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Fish and Game Code Section 1602 - State Lake and/or Streambed

The CDFW asserts jurisdiction over any drainage feature that contains a definable bed and bank or associated riparian vegetation. The Project area was surveyed with 100 percent visual coverage and the Project Site does contain a drainage feature that is considered jurisdictional. Table 1 below describes the limits of CDFW jurisdiction within the Project site.

**Table 1 – CDFW Jurisdiction**

Feature	Bank-Full width (feet)	Length (feet)	Max Channel Depth (feet)	WoUS Corps jurisdiction (acres)	FGC 1600 CDFW jurisdiction (acres)
Drainage A	5	741	6	N/A	0.40 (Actual Impacts: 0.00 acres)

Although Drainage A is jurisdictional under the Fish and Game Code, the project has been designed to avoid this area. Figure 6 in Appendix A shows the site plan in relation to the jurisdictional feature.

**3.2.5 CITY OF YUCAIPA DEVELOPMENT CODE (CHAPTER 5 – OAK TREE CONSERVATION)**

The site does not contain any oak trees as described in Section 89.0505 of the City’s Development Code as detailed above. Therefore, the proposed Project does not have any impacts on any oak trees. No further studies or surveys are recommended.

**Section 4.0 - CONCLUSIONS AND RECOMMENDATIONS**

Based on the literature review and personal observations made in the immediate vicinity, no State and/or federally listed threatened or endangered species are documented/or expected to occur within the Project site. Additionally, no plant species with the California Rare Plant Rank (CRPR) of 1 or 2 were observed on-site or documented to occur on-site in the relevant databases. No other sensitive species were observed within the project area or buffer area.

Jurisdictional Features

The Project Site does contain a jurisdictional feature, Drainage A. However, the Proposed Project does not include any modifications or alterations to this drainage. As such the Project will not need to obtain a 404 permit from the US Army Corps of Engineers, a 401 Water Quality Certification from the Santa Ana Regional Water Quality Board, or a 1602 Agreement from the California Department of Fish and Wildlife. Should the scope of the Project change and modifications or alterations to Drainage A become necessary, the District will need to obtain the necessary approvals from CDFW prior to disturbing the drainage.

Nesting Birds

Since there is some habitat within the project site and adjacent area that is suitable for nesting birds in general, the following mitigation measure should be implemented.

Nesting bird nesting season generally extends from February 1 through September 15 in southern California and specifically, March 15 through August 31 for migratory passerine birds. To avoid impacts to nesting birds (common and special status) during the nesting

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season, a qualified Avian Biologist will conduct pre-construction Nesting Bird Surveys (NBS) prior to project-related disturbance to nestable vegetation to identify any active nests. If no active nests are found, no further action will be required. If an active nest is found, the biologist will set appropriate no-work buffers around the nest which will be based upon the nesting species, its sensitivity to disturbance, nesting stage, and expected types, intensity, and duration of the disturbance. The nests and buffer zones shall be field-checked weekly by a qualified biological monitor. The approved no-work buffer zone shall be clearly marked in the field, within which no disturbance activity shall commence until the qualified biologist has determined the young birds have successfully fledged and the nest is inactive.

City of Yucaipa Development Code (Chapter 5 – Oak Tree Conservation)

The Project site does not contain any of the species that are covered under the Development Code. Therefore, the Project is consistent with Chapter 5 of the City of Yucaipa’s Development Code.

Certification

I hereby certify that the statements furnished herein, and in the attached exhibits present data and information required for this analysis to the best of my ability, and the facts, statements, and information presented are true and correct to the best of my knowledge and belief. This report was prepared in accordance with professional requirements and standards. Fieldwork conducted for this assessment was performed by me. I certify that I have not signed a non-disclosure or consultant confidentiality agreement with the project proponent and that I have no financial interest in the project.

Please do not hesitate to contact me at 909-534-4547 should you have any questions or require further information.

Sincerely,



Gene Jennings  
Principal/Regulatory Specialist

Appendices:

- Appendix A – Figures
- Appendix B – Site Photos
- Appendix C – Regulatory Framework
- Appendix D – Tables

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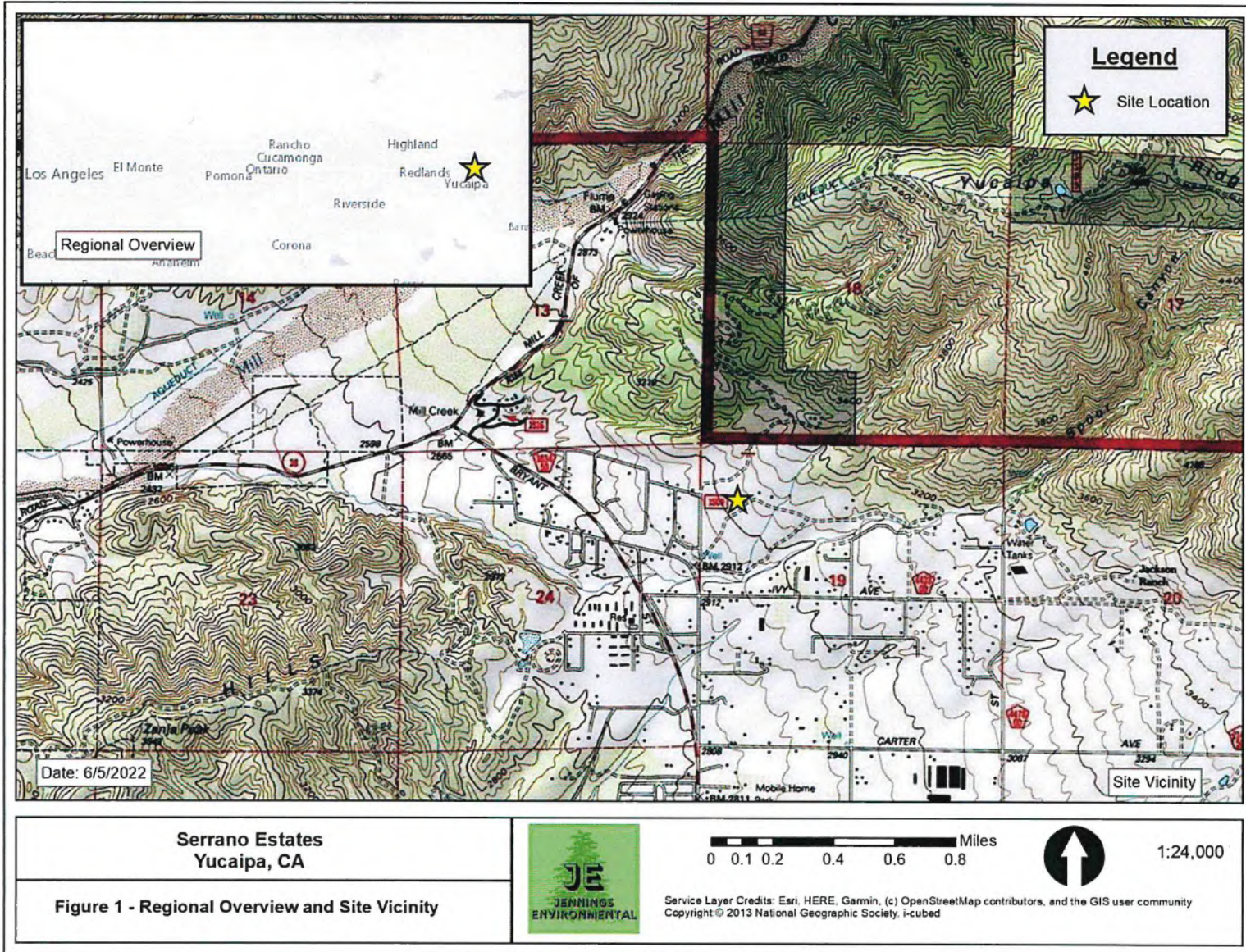
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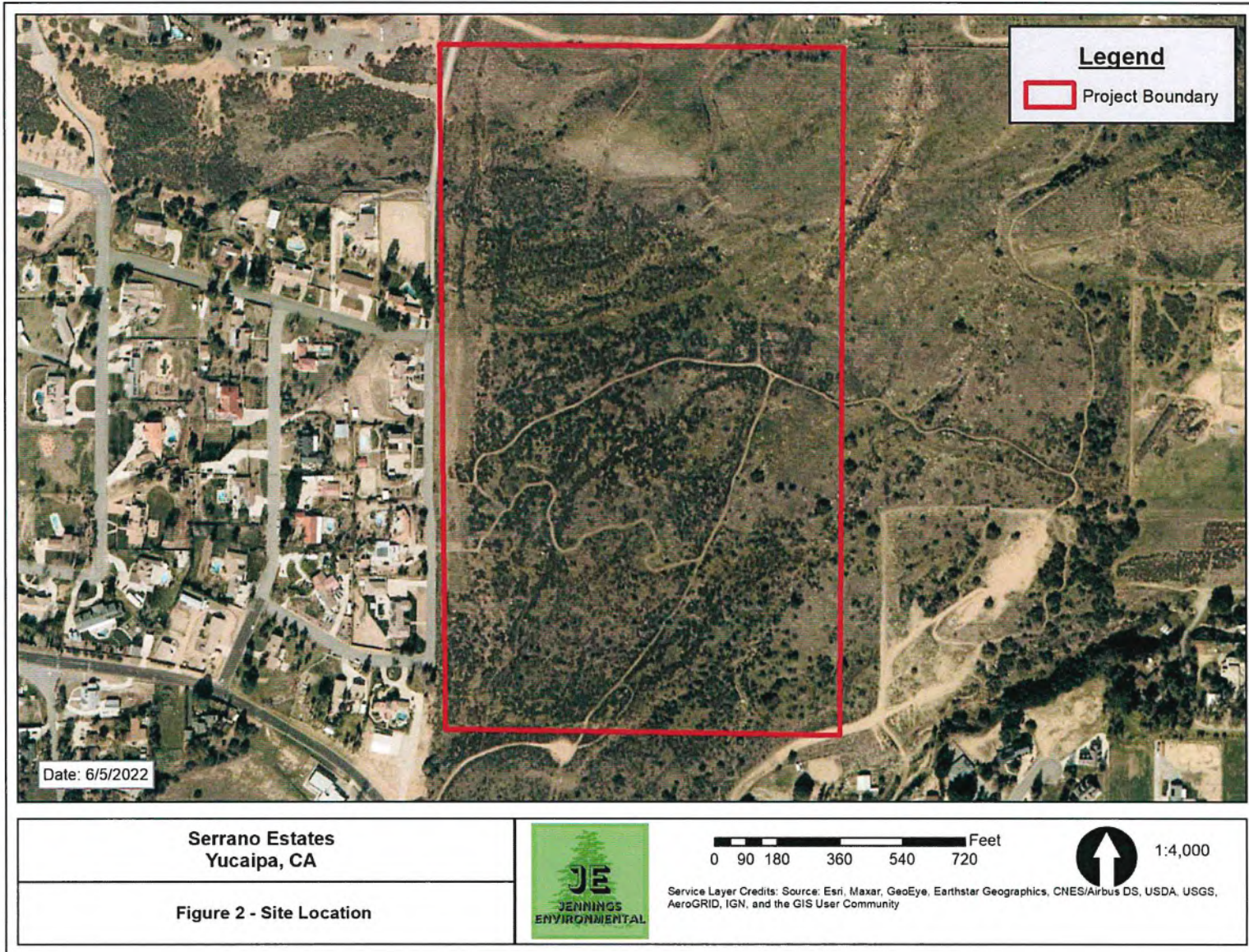
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## Appendix A - Figures

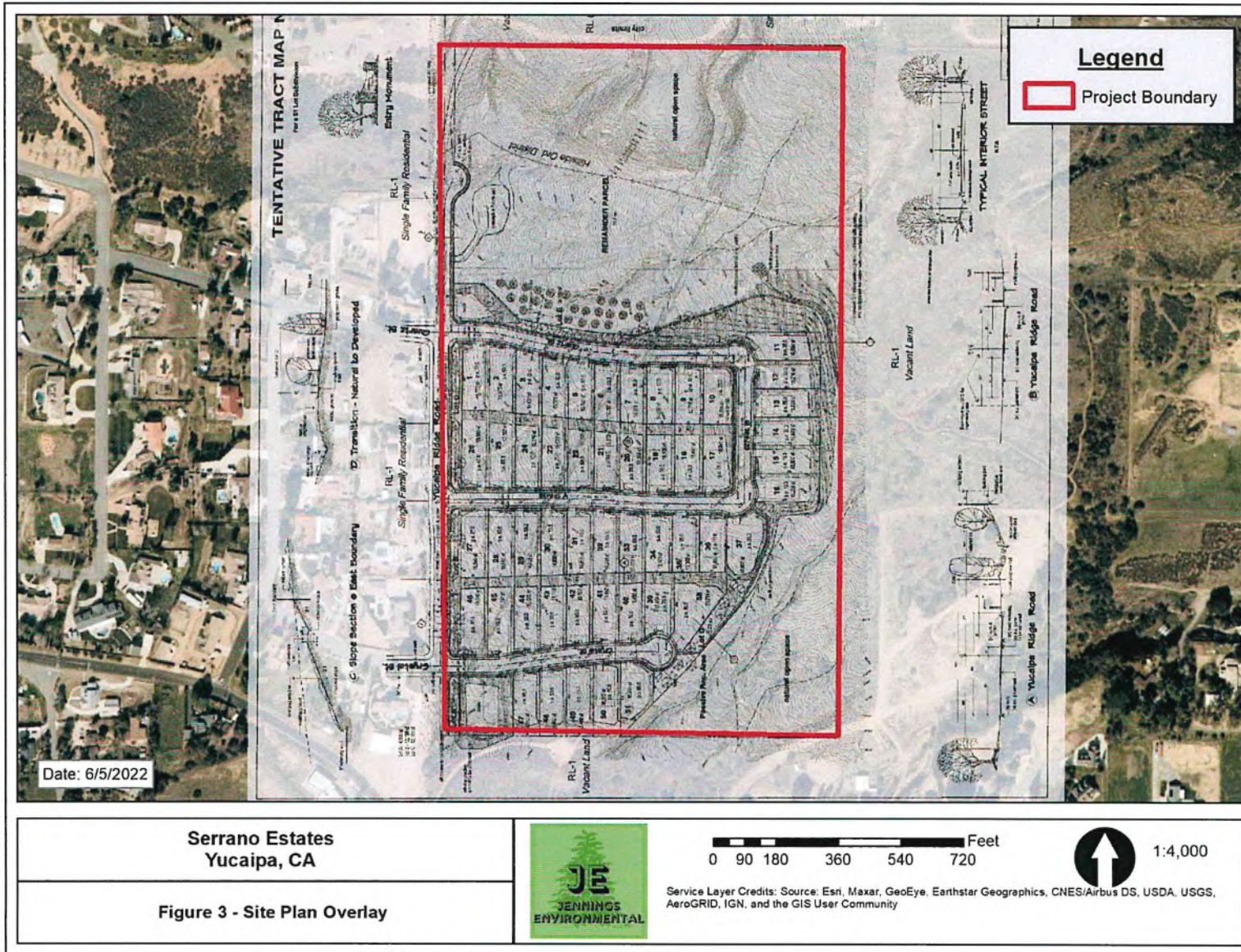
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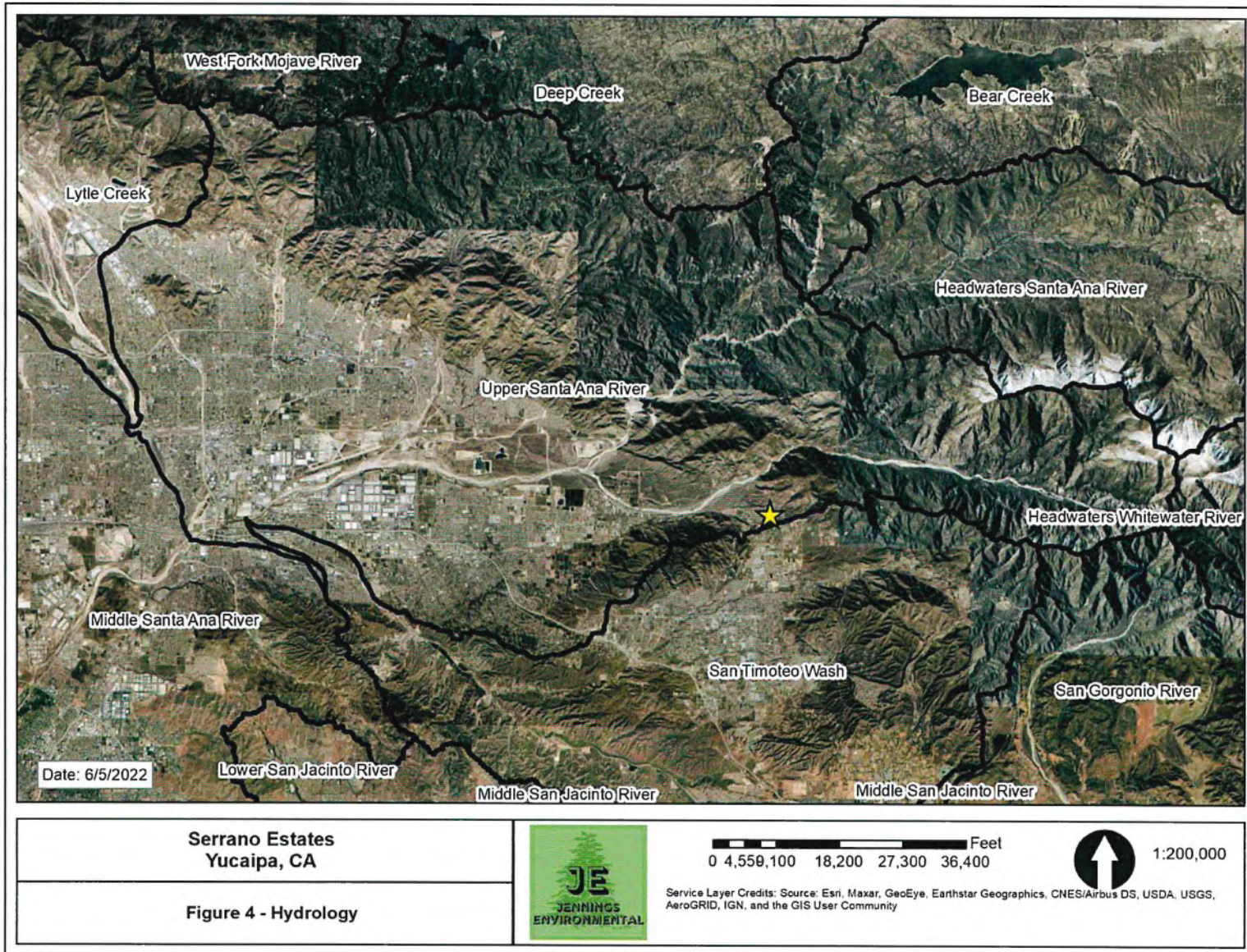
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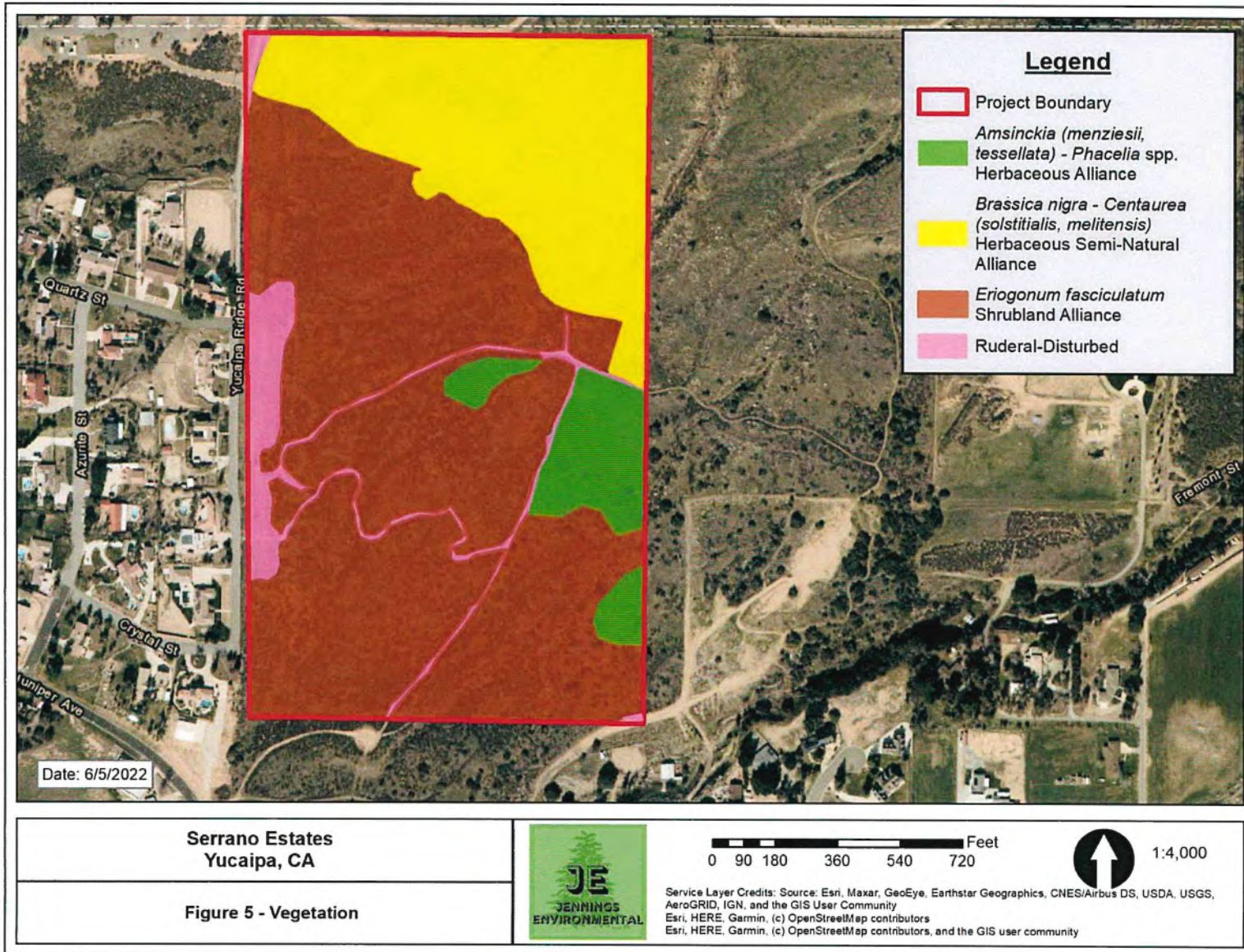
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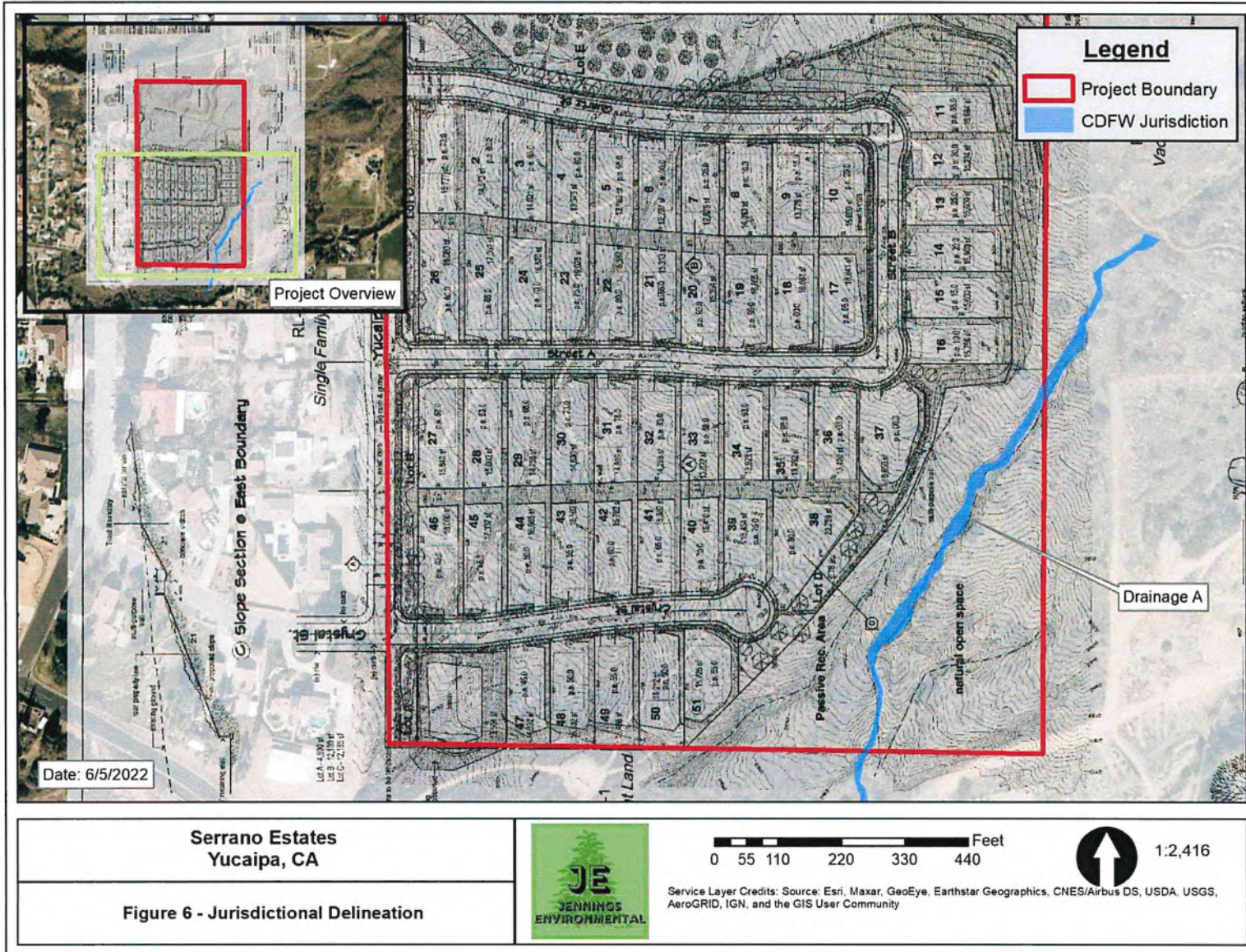
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## Appendix B - Photos

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Photo 1 –  
Western edge of  
the parcel, facing  
east. Showing  
ruderal  
vegetation.



Photo 2 – Center  
of the parcel,  
facing south.  
Showing the  
*Amsinckia*  
(*menziesii*,  
*tessellata*) -  
*Phacelia* spp.  
Herbaceous  
Alliance.

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Photo 3 – Center of the parcel, facing west. Showing the *Amsinckia (menziesii, tessellata)* - *Phacelia* spp. Herbaceous Alliance.



Photo 4 – Center of the parcel, facing north. Showing the *Amsinckia (menziesii, tessellata)* - *Phacelia* spp. Herbaceous Alliance.

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Photo 5 – Center of the parcel, facing east. Showing the *Amsinckia (menziesii, tessellata)* - *Phacelia* spp. Herbaceous Alliance.



Photo 6 – Northern portion of the parcel, facing north. Showing *Brassica nigra* - *Centaurea (solstitialis, melitensis)* Herbaceous Semi-Natural Alliance.

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Photo 7 –  
Southern portion  
of the parcel,  
facing northwest.  
Showing  
*Eriogonum  
fasciculatum*  
Shrubland  
Alliance.



Photo 8 –  
Southern portion  
of the parcel,  
facing north.  
Showing  
*Eriogonum  
fasciculatum*  
Shrubland  
Alliance.

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Photo 9 –  
Representative  
photo of  
Drainage A.



Photo 10 –  
Northwest  
corner of the  
parcel, facing  
southeast.

## Appendix C – Regulatory Framework

## 1.1 FEDERAL JURISDICTION

### 1.1.1 United States Army Corps of Engineers

Activities within inland streams, wetlands, and riparian areas in California are regulated by agencies at the federal, state, and regional levels. At the federal level, the U.S. Army Corps of Engineers (USACE) Regulatory Program regulates activities within wetlands and waters of the US pursuant to Section 404 of the Federal Clean Water Act (CWA).

At the state level, the California Department of Fish and Wildlife (CDFW) regulates activities within the bed, bank, and associated habitat of a stream under the Fish and Game Code §§ 1600–1616. The California State Water Resources Board (SWRB) delegates authority at the regional level to Regional Water Quality Control Boards (RWQCB) that are responsible for regulating discharge into waters of the US under Section 401 of the federal CWA and waters of the State under the California Porter-Cologne Water Quality Act.

The CWA was implemented to maintain and restore the chemical, physical, and biological integrity of the Waters of the United States (33 Code of Federal Regulations [CFR] Part 328 Section 328.3). “Waters of the US” are defined as follows:

(a) *Jurisdictional waters*. For purposes of the Clean Water Act, 33 U.S.C. 1251 *et seq.* and its implementing regulations, subject to the exclusions in paragraph (b) of this section, the term “waters of the United States” means:

- (1) The territorial seas, and waters which are currently used, or were used in the past, or may be susceptible to use in interstate or foreign commerce, including waters which are subject to the ebb and flow of the tide;
- (2) Tributaries;
- (3) Lakes and ponds, and impoundments of jurisdictional waters; and
- (4) Adjacent wetlands.

(b) *Non-jurisdictional waters*. The following are not “waters of the United States”:

- (1) Waters or water features that are not identified in paragraph (a)(1), (2), (3), or (4) of this section;
- (2) Groundwater, including groundwater drained through subsurface drainage systems;
- (3) Ephemeral features, including ephemeral streams, swales, gullies, rills, and pools;
- (4) Diffuse stormwater run-off and directional sheet flow over upland;
- (5) Ditches that are not waters identified in paragraph (a)(1) or (2) of this section, and those portions of ditches constructed in waters identified in paragraph (a)(4) of this section that do not satisfy the conditions of paragraph (c)(1) of this section;
- (6) Prior converted cropland;
- (7) Artificially irrigated areas, including fields flooded for agricultural production, that would revert to upland should application of irrigation water to that area cease; Artificial lakes and ponds, including water storage reservoirs and farm, irrigation, stock watering, and log cleaning ponds, constructed or excavated in upland or in nonjurisdictional waters, so long as those artificial lakes and ponds



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are not impoundments of jurisdictional waters that meet the conditions of paragraph (c)(6) of this section;

(8) Water-filled depressions constructed or excavated in upland or in non-jurisdictional waters incidental to mining or construction activity, and pits excavated in upland or in nonjurisdictional waters for the purpose of obtaining fill, sand, or gravel;

(9) Stormwater control features constructed or excavated in upland or in non-jurisdictional waters to convey, treat, infiltrate, or store stormwater runoff;

(10) Groundwater recharge, water reuse, and wastewater recycling structures, including detention, retention, and infiltration basins and ponds, constructed or excavated in upland or in non-jurisdictional waters; and

(11) Waste treatment systems.

(c) *Definitions.* In this section, the following definitions apply:

(1) *Adjacent wetlands.* The term *adjacent wetlands* means wetlands that:

(i) Abut, meaning to touch at least at one point or side of, a water identified in paragraph (a)(1), (2), or (3) of this section;

(ii) Are inundated by flooding from a water identified in paragraph (a)(1), (2), or (3) of this section in a typical year;

(iii) Are physically separated from a water identified in paragraph (a)(1), (2), or (3) of this section only by a natural berm, bank, dune, or similar natural feature; or

(iv) Are physically separated from a water identified in paragraph (a)(1), (2), or (3) of this section only by an artificial dike, barrier, or similar artificial structure so long as that structure allows for a direct hydrologic surface connection between the wetlands and the water identified in paragraph (a)(1), (2), or (3) of this section in a typical year, such as through a culvert, flood or tide gate, pump, or similar artificial feature. An adjacent wetland is jurisdictional in its entirety when a road or similar artificial structure divides the wetland, as long as the structure allows for a direct hydrologic surface connection through or over that structure in a typical year.

(2) *Ditch.* The term *ditch* means a constructed or excavated channel used to convey water.

(3) *Ephemeral.* The term *ephemeral* means surface water flowing or pooling only in direct response to precipitation (e.g., rain or snow fall).

(4) *High tide line.* The term *high tide line* means the line of intersection of the land with the water's surface at the maximum height reached by a rising tide. The high tide line may be determined, in the absence of actual data, by a line of oil or scum along shore objects, a more or less continuous deposit of fine shell or debris on the foreshore or berm, other physical markings or characteristics, vegetation lines, tidal gages, or other suitable means that delineate the general height reached by a rising tide. The line encompasses spring high tides and other high tides that occur with periodic frequency but does not include storm surges in which there is a departure from the normal or predicted reach of the tide due to the piling up of

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water against a coast by strong winds, such as those accompanying a hurricane or other intense storm.

(5) *Intermittent*. The term *intermittent* means surface water flowing continuously during certain times of the year and more than in direct response to precipitation (e.g., seasonally when the groundwater table is elevated or when snowpack melts).

(6) *Lakes and ponds, and impoundments of jurisdictional waters*. The term *lakes and ponds, and impoundments of jurisdictional waters* means standing bodies of open water that contribute surface water flow to a water identified in paragraph (a)(1) of this section in a typical year either directly or through one or more waters identified in paragraph (a)(2), (3), or (4) of this section. A lake, pond, or impoundment of a jurisdictional water does not lose its jurisdictional status if it contributes surface water flow to a downstream jurisdictional water in a typical year through a channelized non-jurisdictional surface water feature, through a culvert, dike, spillway, or similar artificial feature, or through a debris pile, boulder field, or similar natural feature. A lake or pond, or impoundment of a jurisdictional water Start Printed Page 22339 is also jurisdictional if it is inundated by flooding from a water identified in paragraph (a)(1), (2), or (3) of this section in a typical year.

(7) *Ordinary high water mark*. The term *ordinary high water mark* means that line on the shore established by the fluctuations of water and indicated by physical characteristics such as a clear, natural line impressed on the bank, shelving, changes in the character of soil, destruction of terrestrial vegetation, the presence of litter and debris, or other appropriate means that consider the characteristics of the surrounding areas.

(8) *Perennial*. The term *perennial* means surface water flowing continuously year-round.

(9) *Prior converted cropland*. The term *prior converted cropland* means any area that, prior to December 23, 1985, was drained or otherwise manipulated for the purpose, or having the effect, of making production of an agricultural product possible. EPA and the Corps will recognize designations of prior converted cropland made by the Secretary of Agriculture. An area is no longer considered prior converted cropland for purposes of the Clean Water Act when the area is abandoned and has reverted to wetlands, as defined in paragraph (c)(16) of this section. Abandonment occurs when prior converted cropland is not used for, or in support of, agricultural purposes at least once in the immediately preceding five years. For the purposes of the Clean Water Act, the EPA Administrator shall have the final authority to determine whether prior converted cropland has been abandoned.

(10) *Snowpack*. The term *snowpack* means layers of snow that accumulate over extended periods of time in certain geographic regions or at high elevation (e.g., in northern climes or mountainous regions).

(11) *Tidal waters and waters subject to the ebb and flow of the tide*. The terms *tidal waters and waters subject to the ebb and flow of the tide* mean those

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waters that rise and fall in a predictable and measurable rhythm or cycle due to the gravitational pulls of the moon and sun. Tidal waters and waters subject to the ebb and flow of the tide end where the rise and fall of the water surface can no longer be practically measured in a predictable rhythm due to masking by hydrologic, wind, or other effects.

(12) *Tributary*. The term *tributary* means a river, stream, or similar naturally occurring surface water channel that contributes surface water flow to a water identified in paragraph (a)(1) of this section in a typical year either directly or through one or more waters identified in paragraph (a)(2), (3), or (4) of this section. A tributary must be perennial or intermittent in a typical year. The alteration or relocation of a tributary does not modify its jurisdictional status as long as it continues to satisfy the flow conditions of this definition. A tributary does not lose its jurisdictional status if it contributes surface water flow to a downstream jurisdictional water in a typical year through a channelized non-jurisdictional surface water feature, through a subterranean river, through a culvert, dam, tunnel, or similar artificial feature, or through a debris pile, boulder field, or similar natural feature. The term tributary includes a ditch that either relocates a tributary, is constructed in a tributary, or is constructed in an adjacent wetland as long as the ditch satisfies the flow conditions of this definition.

(13) *Typical year*. The term *typical year* means when precipitation and other climatic variables are within the normal periodic range (e.g., seasonally, annually) for the geographic area of the applicable aquatic resource based on a rolling thirty-year period.

(14) *Upland*. The term *upland* means any land area that under normal circumstances does not satisfy all three wetland factors (i.e., hydrology, hydrophytic vegetation, hydric soils) identified in paragraph (c)(16) of this section, and does not lie below the ordinary high water mark or the high tide line of a jurisdictional water.

(15) *Waste treatment system*. The term *waste treatment system* includes all components, including lagoons and treatment ponds (such as settling or cooling ponds), designed to either convey or retain, concentrate, settle, reduce, or remove pollutants, either actively or passively, from wastewater prior to discharge (or eliminating any such discharge).

(16) *Wetlands*. The term *wetlands* means areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.

Section 404 (b)(1) compliance must be demonstrated before a Section 404 permit can be issued. Guidelines for a Section 404(b)(1) analysis were developed by the EPA in conjunction with USACE (40 CFR Parts 230). The guidelines allow the discharge of dredged or fill material into the aquatic system only if there is no practicable alternative that would have less adverse impacts.

## **1.2 STATE JURISDICTION**

The State of California (State) regulates discharge of material into waters of the State pursuant to Section 401 of the CWA as well as the California Porter-Cologne Water Quality Control Act (Porter-Cologne; California Water Code, Division 7, §13000 et seq.). Waters of the State are defined by Porter-Cologne as “any surface water or groundwater, including saline waters, within the boundaries of the state” (Water Code Section 13050(e)). Waters of the State broadly includes all waters within the State’s boundaries (public or private), including waters in both natural and artificial channels.

### **1.2.1 Regional Water Quality Control Board**

Under Porter-Cologne, the State Water Resources Control Board (SWRCB) and the local Regional Water Quality Control Boards (RWQCB) regulate the discharge of waste into waters of the State. Discharges of waste include “fill, any material resulting from human activity, or any other ‘discharge’ that may directly or indirectly impact ‘waters of the state.’” Porter-Cologne reserves the right for the State to regulate activities that could affect the quantity and/or quality of surface and/or groundwaters, including isolated wetlands, within the State. Wetlands were defined as waters of the State if they demonstrated both wetland hydrology and hydric soils. Waters of the State determined to be jurisdictional for these purposes require, if impacted, waste discharge requirements (WDRs).

When an activity results in fill or discharge directly below the OHWM of jurisdictional waters of the United States (federal jurisdiction), including wetlands, a CWA Section 401 Water Quality Certification is required. If a proposed project is not subject to CWA Section 401 certification but involves activities that may result in a discharge to waters of the State, the project may still be regulated under Porter-Cologne and may be subject to waste discharge requirements. In cases where waters apply to both CWA and Porter-Cologne, RWQCB may consolidate permitting requirements to one permit.

### **1.2.2 California Department of Fish and Wildlife**

Pursuant to Division 2, Chapter 6, Sections 1600-1602 of the California Fish and Game Code, the California Department of Fish and Wildlife (CDFW) regulates all diversions, obstructions, or changes to the natural flow or bed, channel, or bank of any river, stream, or lake, which supports fish or wildlife.

CDFW defines a “stream” (including creeks and rivers) as “a body of water that flows at least periodically or intermittently through a bed or channel having banks and supports fish or other aquatic life. This includes watercourses having surface or subsurface flow that supports or has supported riparian vegetation” (California Code of Regulations, Title 14, Section 1.72). The jurisdiction of CDFW may include areas in or near intermittent streams, ephemeral streams, rivers, creeks, dry washes, sloughs, blue-line streams that are indicated on USGS maps, watercourses that may contain subsurface flows, or within the flood plain of a water body.

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CDFW's definition of "lake" includes "natural lakes or man-made reservoirs." CDFW limits of jurisdiction typically include the maximum extents of the uppermost bank-to-bank distance and/or the outermost extent of riparian vegetation dripline, whichever measurement is greater.

In a CDFW guidance of stream processes and forms in dryland watersheds (Vyverberg 2010), streams are identified as having one or more channels that may all be active or receive water only during some high flow event. Subordinate features, such as low flow channels, active channels, banks associated with secondary channels, floodplains, and stream-associated vegetation, may occur within the bounds of a single, larger channel. The water course is defined by the topography or elevations of land that confine a stream to a definite course when its waters rise to their highest level. A watercourse is defined as a stream with boundaries defined by the maximal extent or expression on the landscape even though flow may otherwise be intermittent or ephemeral.

Artificial waterways such as ditches (including roadside ditches), canals, aqueducts, irrigation ditches, and other artificially created water conveyance systems also may be under the jurisdiction of CDFW. CDFW may claim jurisdiction over these features based on the presence of habitat characteristics suitable to support aquatic life, riparian vegetation, and/or stream-dependent terrestrial wildlife. As with natural waterways, the limit of CDFW jurisdiction of artificial waterways includes the uppermost bank-to-bank distance and/or the outermost extent of riparian vegetation dripline, whichever measurement is greater.

CDFW does not have jurisdiction over wetlands but has jurisdiction to protect against a net loss of wetlands. CDFW supports the wetland criteria recognized by USFWS; one or more indicators of wetland conditions must exist for wetlands conditions to be considered present. The following is the USFWS accepted definition of a wetland:

Wetlands are lands transitional between terrestrial and aquatic systems where the water table is usually at or near the surface or the land is covered by shallow water. For purposes of this classification, wetlands must have one or more of the following three attributes: (1) at least periodically, the lands supports hydrophytes, (2) the substrate is predominantly undrained hydric soil; and (3) the substrate is nonsoil and is saturated with water or covered by shallow water at some time during the growing season of each year (Cowardin et al. 1979).

In A Clarification of the U.S. Fish and Wildlife Service's Wetland Definition (Tiner 1989), the USFWS definition was further clarified "that in order for any area to be classified as wetland by the Service, the area must be periodically saturated or covered by shallow water, whether wetland vegetation and/or hydric soils are present or not; this hydrologic requirement is addressed in the first sentence of the definition." When considering whether an action would result in a net loss of wetlands, CDFW will extend jurisdiction to USFWS-defined wetland conditions where such conditions exist within the riparian vegetation that is associated with a stream or lake and does not depend on whether those features meet the three-parameter USACE methodology of wetland determination. If impacts to wetlands under the jurisdiction of CDFW

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are unavoidable, a mitigation plan will be implemented in coordination with CDFW to support the CDFW policy of “no net loss” of wetland habitat.

## Appendix D – Tables

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**Table 1. Species Observed On-Site**

<b>Common Name</b>	<b>Scientific Name</b>
<b><u>Plants</u></b>	
Short-Pod mustard	<i>Hirschfeldia incana</i>
Common stork's bill	<i>Erodium cicutarium</i>
Foxtail brome	<i>Bromus madritensis L. ssp. Rubens</i>
California buckwheat	<i>Eriogonum fasciculatum</i>
Yellow star-thistle	<i>Centaurea solstitialis</i>
Common fiddleneck	<i>Amsinckia intermedia</i>
Rippgut brome	<i>Bromus diandrus</i>
California aster	<i>Symphotrichum chilense</i>
Deer weed	<i>Acmispon glaber</i>
Laural sumac	<i>Malosma laurina</i>
Brittlebush	<i>Encelia farinosa</i>
Tree of heaven	<i>Ailanthus altissima</i>
Rockspray cotoneaster	<i>Cotoneaster horizontalis</i>
White sage	<i>Salvia apiana</i>
Chaparral yucca	<i>Hesperoyucca whipplei</i>
Yerba santa	<i>Eriodictyon californicum</i>
California sagebrush	<i>Artemisia californica</i>
Cobwebby thistle	<i>Cirsium occidentale</i>
Prickly pear	<i>Opuntia basilaris</i>
Elder tree	<i>Sambucus nigra</i>
White horehound	<i>Marrubium vulgare</i>
<b><u>Mammals</u></b>	
California ground squirrel	<i>Otospermophilus beecheyi</i>
Desert cottontail	<i>Sylvilagus audubonii</i>
<b><u>Birds</u></b>	
American crow	<i>Corvus brachyrhynchos</i>
Wrentit	<i>Chamaea fasciata</i>
Spotted towhee	<i>Pipilo maculatus</i>
Mourning dove	<i>Zenaida macroura</i>
Northern mockingbird	<i>Mimus polyglottos</i>



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California towhee	<i>Toxostoma redivivum</i>
House finch	<i>Haemorhous mexicanus</i>
Phainopepla	<i>Phainopepla nitens</i>
Anna's hummingbird	<i>Calypte anna</i>
California thrasher	<i>Toxostoma redivivum</i>
Black-headed grosbeak	<i>Pheucticus melanocephalus</i>
House wren	<i>Troglodytes aedon</i>
Western kingbird	<i>Tyrannus verticalis</i>
California quail	<i>Callipepla californica</i>
<b>Reptiles</b>	
Western fence lizard	<i>Sceloporus occidentalis</i>
Woodland Alligator lizard	<i>Elgaria multicarinata webbii</i>

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**Table 2 – CNDDDB Potential to Occur for the *Yucaipa* and *Forest Falls* USGS 7.5-minute Quadrangle**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
<i>Aimophila ruficeps canescens</i>	southern California rufous-crowned sparrow	None, None	G5T3, S3, CDFW-WL	Resident in Southern California coastal sage scrub and sparse mixed chaparral. Frequents relatively steep, often rocky hillsides with grass and forb patches.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
<i>Allium marvinii</i>	Yucaipa onion	None, None	G1, S1, 1B.2	Chaparral. In openings on clay soils. 850-1070 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
<i>Anniella stebbinsi</i>	Southern California legless lizard	None, None	G3, S3, CDFW-SSC	Generally south of the Transverse Range, extending to northwestern Baja California. Occurs in sandy or loose loamy soils under sparse vegetation. Disjunct populations in the Tehachapi and Piute Mountains in Kern County. Variety of habitats; generally in moist, loose soil. They prefer soils with a high moisture content.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

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<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Arenaria lanuginosa var. saxosa	rock sandwort	None, None	G5T5, S2, 2B.3	Subalpine coniferous forest, upper montane coniferous forest. Mesic, sandy sites. 1920-2935 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Arizona elegans occidentalis	California glossy snake	None, None	G5T2, S2, CDFW-SSC	Patchily distributed from the eastern portion of San Francisco Bay, southern San Joaquin Valley, and the Coast, Transverse, and Peninsular ranges, south to Baja California. Generalist reported from a range of scrub and grassland habitats, often with loose or sandy soils.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Aspidoscelis hyperythra	orange-throated whiptail	None, None	G5, S2S3, CDFW-WL	Inhabits low-elevation coastal scrub, chaparral, and valley-foothill hardwood habitats. Prefers washes and other sandy areas with patches of brush and rocks. Perennial plants necessary for its major food: termites.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

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<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Aspidoscelis tigris stejnegeri	coastal whiptail	None, None	G5T5, S3, CDFW-SSC	Found in deserts and semi-arid areas with sparse vegetation and open areas. Also found in woodland and riparian areas. Ground may be firm soil, sandy, or rocky.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Bombus crotchii	Crotch bumble bee	None, None	G2, S1S2	Coastal California east to the Sierra-Cascade crest and south into Mexico. Food plant genera include Antirrhinum, Phacelia, Clarkia, Dendromecon, Eschscholzia, and Eriogonum.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Botrychium crenulatum	scalloped moonwort	None, None	G4, S3, 2B.2	Bogs and fens, meadows and seeps, upper montane coniferous forest, lower montane coniferous forest, marshes and swamps. Moist meadows, freshwater marsh, and near creeks. 1185-3110 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

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<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Buteo swainsoni	Swainson's hawk	None, Threatened	G5, S3	Breeds in grasslands with scattered trees, juniper-sage flats, riparian areas, savannahs, and agricultural or ranch lands with groves or lines of trees. Requires adjacent suitable foraging areas such as grasslands, or alfalfa or grain fields supporting rodent populations.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Calochortus plummerae	Plummer's mariposa-lily	None, None	G4, S4, 4.2	Coastal scrub, chaparral, valley and foothill grassland, cismontane woodland, lower montane coniferous forest. Occurs on rocky and sandy sites, usually of granitic or alluvial material. Can be very common after fire. 60-2500 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Canyon Live Oak Ravine Forest	Canyon Live Oak Ravine Forest	None, None	G3, S3.3	Riparian forest	This habitat type is <b>absent</b> from the Project site.

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<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Castilleja lasiorhyncha	San Bernardino Mountains owl's-clover	None, None	G2?, S2?, 1B.2	Meadows and seeps, pebble plain, upper montane coniferous forest, chaparral, riparian woodland. Mesic to drying soils in open areas of stream and meadow margins or in vernal wet areas. 1140-2320 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Chaetodipus fallax fallax	northwestern San Diego pocket mouse	None, None	G5T3T4, S3S4, CDFW-SSC	Coastal scrub, chaparral, grasslands, sagebrush, etc. in western San Diego County. Sandy, herbaceous areas, usually in association with rocks or coarse gravel.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

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<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Charina umbratica	southern rubber boa	None, Threatened	G2G3, S2S3,	Known from the San Bernardino and San Jacinto mtns; found in a variety of montane forest habitats. Snakes resembling C. umbratica reported from Mt. Pinos and Tehachapi mtns group with C. bottae based on mtDNA. Further research needed. Found in vicinity of streams or wet meadows; requires loose, moist soil for burrowing; seeks cover in rotting logs, rock outcrops, and under surface litter.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Chorizanthe parryi var. parryi	Parry's spineflower	None, None	G3T2, S2, 1B.1	Coastal scrub, chaparral, cismontane woodland, valley and foothill grassland. Dry slopes and flats; sometimes at interface of 2 vegetation types, such as chaparral and oak woodland. Dry, sandy soils. 90-1220 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Chorizanthe xanti var. leucotheca	white-bracted spineflower	None, None	G4T3, S3, 1B.2	Mojavean desert scrub, pinyon and juniper woodland, coastal scrub (alluvial fans). Sandy or gravelly places. 365- 1830 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Cypseloides niger	black swift	None, None	G4, S2, CDFW- SSC	Coastal belt of Santa Cruz and Monterey counties; central and southern Sierra Nevada; San Bernardino and San Jacinto mountains. Breeds in small colonies on cliffs behind or adjacent to waterfalls in deep canyons and sea- bluffs above the surf; forages widely.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Diadophis punctatus modestus	San Bernardino ringneck snake	None, None	G5T2T3, S2?	Most common in open, relatively rocky areas. Often in somewhat moist microhabitats near intermittent streams. Avoids moving through open or barren areas by restricting movements to areas of surface litter or herbaceous veg.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.



**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Diplectrona californica	California diplectronan caddisfly	None, None	G1G2, S1S2	Aquatic	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Dipodomys merriami parvus	San Bernardino kangaroo rat	Endangered, Candidate Endangered	G5T1, S1, CDFW-SSC	Alluvial scrub vegetation on sandy loam substrates characteristic of alluvial fans and flood plains. Needs early to intermediate seral stages.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Dodecahema leptoceras	slender-horned spineflower	Endangered, Endangered	G1, S1, 1B.1	Chaparral, cismontane woodland, coastal scrub (alluvial fan sage scrub). Flood deposited terraces and washes; associates include Encelia, Dalea, Lepidospartum, etc. Sandy soils. 200-765 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Elanus leucurus	white-tailed kite	None, None	G5, S3S4, CDFW-FP	Rolling foothills and valley margins with scattered oaks and river bottomlands or marshes next to deciduous woodland. Open grasslands, meadows, or marshes for foraging close to isolated, dense-topped trees for nesting and perching.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Empidonax traillii extimus	southwestern willow flycatcher	Endangered, Endangered	G5T2, S1	Riparian woodlands in Southern California.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Eriastrum densifolium ssp. sanctorum	Santa Ana River woollystar	Endangered, Endangered	G4T1, S1, 1B.1	Coastal scrub, chaparral. In sandy soils on river floodplains or terraced fluvial deposits. 180-705 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Gilia leptantha ssp. leptantha	San Bernardino gilia	None, None	G4T2, S2, 1B.3	Lower montane coniferous forest. Sandy or gravelly sites. 1520-2595 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Glaucomys oregonensis californicus	San Bernardino flying squirrel	None, None	G5T1T2, S1S2, CDFW-SSC	Known from black oak or white fir dominated woodlands between 5200 - 8500 ft in the San Bernardino and San Jacinto ranges. May be extirpated from San Jacinto range. Needs cavities in trees/snags for nests and cover. Needs nearby water.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Halictus harmonius	haromonius halictid bee	None, None	G1, S1	Known only from the foothills of the San Bernardino Mts., possibly also the San Jacinto Mts.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Heuchera parishii	Parish's alumroot	None, None	G3, S3, 1B.3	Lower montane coniferous forest, subalpine coniferous forest, upper montane coniferous forest, alpine boulder and rock field. Rocky places. Sometimes on carbonate. 1340-3505 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Imperata brevifolia	California satintail	None, None	G4, S3, 2B.1	Coastal scrub, chaparral, riparian scrub, mojavean desert scrub, meadows and seeps (alkali), riparian scrub. Mesic sites, alkali seeps, riparian areas. 3-1495 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Lasiurus xanthinus	western yellow bat	None, None	G4G5, S3, CDFW-SSC	Found in valley foothill riparian, desert riparian, desert wash, and palm oasis habitats. Roosts in trees, particularly palms. Forages over water and among trees.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Lepidium virginicum var. robinsonii	Robinson's pepper-grass	None, None	G5T3, S3, 4.3	Chaparral, coastal scrub. Dry soils, shrubland. 4-1435 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Leptonycteris yerbabuena	lesser long-nosed bat	Delisted, None	G3, S1, CDFW-SSC	Arid regions such as desert grasslands and shrub land. Suitable day roosts (caves, mines) and suitable concentrations of food plants (columnar cacti, agaves) are critical resources. No maternity roosts known from California; may only be vagrant. Caves and mines are used as day roosts. Caves, mines, rock crevices, trees and shrubs, and abandoned buildings are used as night roosts for digesting meals. Nectar, pollen, and fruit eating bat; primarily feeding on agaves, saguaro, and organ pipe cactus.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Lilium parryi	lemon lily	None, None	G3, S3, 1B.2	Lower montane coniferous forest, meadows and seeps, riparian forest, upper montane coniferous forest. Wet, mountainous terrain; generally in forested areas; on shady edges of streams, in open boggy meadows and seeps. 625-2930 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Monardella macrantha ssp. hallii	Hall's monardella	None, None	G5T3, S3, 1B.3	Broadleafed upland forest, chaparral, lower montane coniferous forest, cismontane woodland, valley and foothill grassland. Dry slopes and ridges in openings. 700-1800 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Neotamias speciosus speciosus	lodgpole chipmunk	None, None	G4T3T4, S2S3	Summits of isolated Piute, San Bernardino, and San Jacinto mountains. Usually found in open-canopy forests. Habitat is usually lodgepole pine forests in the San Bernardino Mts and chinquapin slopes in the San Jacinto Mts.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Neotoma lepida intermedia	San Diego desert woodrat	None, None	G5T3T4, S3S4, CDFW-SSC	Coastal scrub of Southern California from San Diego County to San Luis Obispo County. Moderate to dense canopies preferred. They are particularly abundant in rock outcrops, rocky cliffs, and slopes.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Oncorhynchus mykiss irideus pop. 10	steelhead - southern California DPS	Endangered, None	G5T1Q, S1	Federal listing refers to populations from Santa Maria River south to southern extent of range (San Mateo Creek in San Diego County). Southern steelhead likely have greater physiological tolerances to warmer water and more variable conditions.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Oxytropis oreophila var. oreophila	rock-loving oxytrope	None, None	G5T4T5, S2, 2B.3	Alpine boulder and rock field, subalpine coniferous forest. Gravelly or rocky sites. 2615-3505 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Parnassia cirrata var. cirrata	San Bernardino grass-of- Parnassus	None, None	G5T2, S2, 1B.3	Lower montane coniferous forest, upper montane coniferous forest, meadows and seeps. Mesic sites, streamsides, sometimes calcareous. 1245-2440 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Phrynosoma blainvillii	coast horned lizard	None, None	G3G4, S3S4, CDFW-SSC	Frequents a wide variety of habitats, most common in lowlands along sandy washes with scattered low bushes. Open areas for sunning, bushes for cover, patches of loose soil for burial, and abundant supply of ants and other insects.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Progne subis	purple martin	None, None	G5, S3, CDFW- SSC	Inhabits woodlands, low elevation coniferous forest of Douglas-fir, ponderosa pine, and Monterey pine. Nests in old woodpecker cavities mostly; also in human- made structures. Nest often located in tall, isolated tree/snag.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Rana muscosa	southern mountain yellow-legged frog	Endangered, Endangered	G1, S1, CDFW-WL	Disjunct populations known from southern Sierras (northern DPS) and San Gabriel, San Bernardino, and San Jacinto Mtns (southern DPS). Found at 1,000 to 12,000 ft in lakes and creeks that stem from springs and snowmelt. May overwinter under frozen lakes. Often encountered within a few feet of water. Tadpoles may require 2 - 4 yrs to complete their aquatic development.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Rhinichthys osculus ssp. 8	Santa Ana speckled dace	None, None	G5T1, S1, CDFW-SSC	Headwaters of the Santa Ana and San Gabriel rivers. May be extirpated from the Los Angeles River system. Requires permanent flowing streams with summer water temps of 17-20 C. Usually inhabits shallow cobble and gravel riffles.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Riversidian Alluvial Fan Sage Scrub	Riversidian Alluvial Fan Sage Scrub	None, None	G1, S1.1	Coastal Scrub	This habitat type is <b>absent</b> from the Project site.



**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
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<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Salvadora hexalepis virgulata	coast patch-nosed snake	None, None	G5T4, S2S3, CDFW-SSC	Brushy or shrubby vegetation in coastal Southern California. Require small mammal burrows for refuge and overwintering sites.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Sidalcea hickmanii ssp. parishii	Parish's checkerbloom	None, Rare	G3T1, S1, 1B.2	Chaparral, cismontane woodland, lower montane coniferous forest. Disturbed burned or cleared areas on dry, rocky slopes, in fuel breaks and fire roads along the mountain summits. 1095-2135 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Sidalcea neomexicana	salt spring checkerbloom	None, None	G4, S2, 2B.2	Playas, chaparral, coastal scrub, lower montane coniferous forest, Mojavean desert scrub. Alkali springs and marshes. 3-2380 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Southern Coast Live Oak Riparian Forest	Southern Coast Live Oak Riparian Forest	None, None	G4, S4	Riparian forest	This habitat type is <b>absent</b> from the Project site.
Southern Cottonwood Willow Riparian Forest	Southern Cottonwood Willow Riparian Forest	None, None	G3, S3.2	Riparian forest	This habitat type is <b>absent</b> from the Project site.
Southern Riparian Forest	Southern Riparian Forest	None, None	G4, S4	Riparian forest	This habitat type is <b>absent</b> from the Project site.
Southern Riparian Scrub	Southern Riparian Scrub	None, None	G3, S3.2	Riparian scrub	This habitat type is <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Southern Sycamore Alder Riparian Woodland	Southern Sycamore Alder Riparian Woodland	None, None	G4, S4	Riparian woodland	This habitat type is <b>absent</b> from the Proejct site.
Southern Willow Scrub	Southern Willow Scrub	None, None	G3, S2.1	Riparian scrub	This habitat type is <b>absent</b> from the Proejct site.
Spea hammondii	western spadefoot	None, None	G2G3, S3, CDFW-SSC	Occurs primarily in grassland habitats, but can be found in valley-foothill hardwood woodlands. Vernal pools are essential for breeding and egg-laying.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Streptanthus campestris	southern jewelflower	None, None	G3, S3, 1B.3	Chaparral, lower montane coniferous forest, pinyon and juniper woodland. Open, rocky areas. 605-2590 m.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Taxidea taxus	American badger	None, None	G5, S3, CDFW-SSC	Most abundant in drier open stages of most shrub, forest, and herbaceous habitats, with friable soils. Needs sufficient food, friable soils and open, uncultivated ground. Preys on burrowing rodents. Digs burrows.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

<u>Scientific Name</u>	<u>Common Name</u>	<u>Federal/State Status</u>	<u>Other Status</u>	<u>Habitat</u>	<u>Potential to Occur</u>
Thamnophis hammondi	two-striped gartersnake	None, None	G4, S3S4, CDFW-SSC	Coastal California from vicinity of Salinas to northwest Baja California. From sea to about 7,000 ft elevation. Highly aquatic, found in or near permanent fresh water. Often along streams with rocky beds and riparian growth.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.
Vireo bellii pusillus	least Bell's vireo	Endangered, Endangered	G5T2, S2	Summer resident of Southern California in low riparian in vicinity of water or in dry river bottoms; below 2000 ft. Nests placed along margins of bushes or on twigs projecting into pathways, usually willow, Baccharis, mesquite.	Suitable habitat for this species does not occur on site. As such, this species is considered <b>absent</b> from the Project site.

**BIOLOGICAL RESOURCES ASSESSMENT AND JURISDICTIONAL DELINEATION  
FOR THE PROPOSED SERRANO ESTATES DEVELOPMENT PROJECT**

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**Coding and Terms**

E = Endangered T = Threatened C = Candidate FP = Fully Protected WL = Watch List SSC = Species of Special Concern R = Rare

**State Species of Special Concern:** An administrative designation given to vertebrate species that appear to be vulnerable to extinction because of declining populations, limited acreages, and/or continuing threats. Raptor and owls are protected under section 3502.5 of the California Fish and Game code: "It is unlawful to take, possess or destroy any birds in the orders Falconiformes or Strigiformes or to take, possess or destroy the nest or eggs of any such bird."

**State Fully Protected:** The classification of Fully Protected was the State's initial effort in the 1960's to identify and provide additional protection to those animals that were rare or faced possible extinction. Lists were created for fish, mammals, amphibians and reptiles. Fully Protected species may not be taken or possessed at any time and no licenses or permits may be issued for their take except for collecting these species for necessary scientific research and relocation of the bird species for the protection of livestock.

**Global Rankings (Species or Natural Community Level):**

G1 = Critically Imperiled – At very high risk of extinction due to extreme rarity (often 5 or fewer populations), very steep declines, or other factors.

G2 = Imperiled – At high risk of extinction due to very restricted range, very few populations (often 20 or fewer), steep declines, or other factors.

G3 = Vulnerable – At moderate risk of extinction due to a restricted range, relatively few populations (often 80 or fewer), recent and widespread declines, or other factors.

G4 = Apparently Secure – Uncommon but not rare; some cause for long-term concern due to declines or other factors.

G5 = Secure – Common; widespread and abundant.

? = Uncertainty in the exact status of an element (could move up or down one direction from current rank)

**Subspecies Level:** Taxa which are subspecies or varieties receive a taxon rank (T-rank) attached to their G-rank. Where the G-rank reflects the condition of the entire species, the T-rank reflects the global situation of just the subspecies. For example: the Point Reyes mountain beaver, *Aplodontia rufa* ssp. *phaea* is ranked G5T2. The G-rank refers to the whole species range i.e., *Aplodontia rufa*. The T-rank refers only to the global condition of ssp. *phaea*.

**State Ranking:**

S1 = Critically Imperiled – Critically imperiled in the State because of extreme rarity (often 5 or fewer populations) or because of factor(s) such as very steep declines making it especially vulnerable to extirpation from the State.

S2 = Imperiled – Imperiled in the State because of rarity due to very restricted range, very few populations (often 20 or fewer), steep declines, or other factors making it very vulnerable to extirpation from the State.

S3 = Vulnerable – Vulnerable in the State due to a restricted range, relatively few populations (often 80 or fewer), recent and widespread declines, or other factors making it vulnerable to extirpation from the State.

S4 = Apparently Secure – Uncommon but not rare in the State; some cause for long-term concern due to declines or other factors.

S5 = Secure – Common, widespread, and abundant in the State.

**California Rare Plant Rankings (CNPS List):**

1A = Plants presumed extirpated in California and either rare or extinct elsewhere.

1B = Plants rare, threatened, or endangered in California and elsewhere.

2A = Plants presumed extirpated in California, but common elsewhere.

2B = Plants rare, threatened, or endangered in California, but more common elsewhere.

3 = Plants about which more information is needed; a review list.

4 = Plants of limited distribution; a watch list.

**Threat Ranks:**

.1 = Seriously threatened in California (over 80% of occurrences threatened / high degree and immediacy of threat)

.2 = Moderately threatened in California (20-80% occurrences threatened / moderate degree and immediacy of threat)

.3 = Not very threatened in California (less than 20% of occurrences threatened / low degree and immediacy of threat or no current threats known)

# ARCHAEOLOGICAL ASSOCIATES

June 1, 2022

Mr. Jeff Kreidel  
Premium Land Development  
35109 Avenue C  
Yucaipa, CA 92399

**Review and Comment: Phase I Cultural Resources Assessment of Tentative Tract 14297, 52.51 acres located just north of Ivy Street and immediately south of the San Bernardino National Forest boundary, Yucaipa, San Bernardino County (Pertinent to Tract 20375-Currently Processing).**

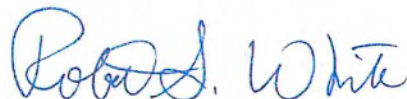
Dear Mr. Kreidel:

I am writing to you with the results of our review of the Phase I Cultural Resources Assessment entitled: "A Cultural Assessment of a 52.51 Acre Tract of Land Designated as Tentative Tract 14297 Located Near the Community of Yucaipa, San Bernardino County, California" (1989 Swanson & de Munck). Mark Swanson and Victor de Munck, Ph.D. are experienced, professional archaeologists/anthropologists that are qualified to undertake cultural resource investigations. The methodology employed in the field investigation is sound and meets current standards. Their study, prepared in 1989 met all acceptable standards for Phase I Cultural Resources studies at that time.

After thoroughly reviewing their report, I concur with their findings and recommendations. For the purpose of the current CEQA process, this information is reliable. However, it is recommended that prior to the onset of any future earth-disturbing activities in connection with the project, an updated report should be produced. This would include a new records search and Native American Scoping. I would not recommended a new field study unless the results of the new records search indicated that it was necessary.

I hope this brief letter is adequate for your current needs. Please do not hesitate to contact me if you have questions.

Very truly yours,

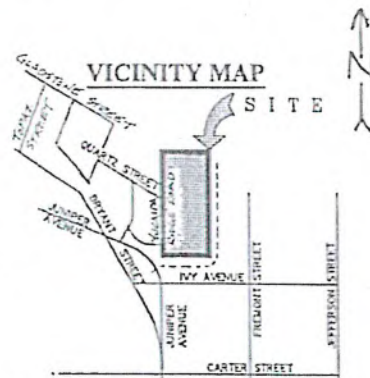


Robert S. White  
Principal

RSW:file;premiumlandserranoreview  
by email

**CITY OF YUCAIPA PLANNING DIVISION  
PROJECT NOTICE**

DATE: March 15, 2001  
CASE NUMBER: 00-134/TTM 14297  
APPLICANT: NY Group  
PROPOSAL: Tentative Tract Map to create 33 residential lots of one gross acre or greater in two phases on 39 acres, and an 11.9 acre remainder parcel  
LOCATION: East side of Yucaipa Ridge Road on easterly continuation of Quartz Street and Crystal Street, 700 feet north of Ivy Avenue, APN 320-161-08, 09, and 320-181-28



**ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES:** The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than March 29, 2001. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Asher Hartel at (909) 797-2489, ext. 247. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Blvd., Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

**COMMENTS** (If you need additional space, please attach additional pages):

*Survey Has Been Completed. No Further Archaeological Work is Recommended.*

SIGNATURE *Alaska* DATE *9/2/01* AGENCY *Archaeo Center*

IF YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL OR, IF A PUBLIC HEARING IS HELD ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

- |                                 |                               |
|---------------------------------|-------------------------------|
| cc: Surrounding Property Owners | Yucaipa Valley Water District |
| CDF Fire Dept.                  | Engineering Division          |
| Building & Safety Division      | The Gas Company               |
| SB Co. Museum Archo.            | Southern California Edison    |
| Yucaipa-Calimesa Sch. Dist.     | General Telephone             |
| City of Redlands                |                               |

ENVIRONMENTAL IMPACT EVALUATION: A Cultural Assessment of a  
52.51 Acre Tract of Land  
designated as Tentative Tract  
No. 14297 Located near the  
Community of Yucaipa, San  
Bernardino County, California.

Principal Investigator: Mark Swanson

Prepared by: Victor C. de Munck, Ph. D.  
Research Associates  
34850 Date Street  
Yucaipa, CA 92399

For: North Yucaipa Group  
1205 W. Cedar Avenue  
Redlands, CA 92373

March 1989

## MANAGEMENT SUMMARY

In March 1989, Research Associates conducted a cultural resource assessment of Tentative Tract No. 14297, a 52.51 acre tract of land, located near the community of Yucaipa, San Bernardino County, California.

The objective of this study was to locate, identify and evaluate cultural resources within the boundaries of the subject property. This study included a records check conducted by the Archaeological Information Center at the San Bernardino County Museum in Redlands, a review of the pertinent literature and an intensive field investigation of the subject property.

The field investigation was limited to potential surface findings. Results of the field survey were negative and development is not expected to adversely impact on cultural resources. If subsurface cultural deposits are exposed during development, a qualified archaeologist should be consulted to evaluate these resources and to implement data recovery/protection measures.

## INTRODUCTION

At the request of Mr. Lydell Lambeth, Research Associates conducted a cultural resource assessment of a 52.51 acre tract of land designated as Tentative Tract No. 14297. The subject property is located approximately two miles north of downtown Yucaipa and is bounded by the San Bernardino



National Forest along its northern boundary. The southern border of the subject property is approximately 400 feet north of and parallel to Ivy Street, the western and eastern borders are approximately coterminous with two dirt roads. White plastic stakes also mark portions of the subject property boundaries. The property is situated in SW 1/4 and NW 1/4 of the NW 1/4 of Section 19, Township 1S, Range 1W, SBM as shown on the USGS Yucaipa Calif. 7.5' series quadrangle (Figure 1).

The proposed development of the subject property involves a subdivision of the 52.51 acre tract of land into a residential tract containing 41 lots. Each lot will consist of a minimum of one acre.

The purpose of this study is to satisfy San Bernardino County and federal regulations regarding cultural resource management of land proposed for development. Significance of resources was evaluated with reference to eligibility for nomination to the National Register of Historic Places.

#### CULTURAL HISTORY

This section of the report is divided into a review of the prehistory and ethnohistory and recent history of the area as revealed in the pertinent literature.

##### Prehistory

Human populations have occupied Southern California for at least the last 12,000 years. The earliest sites (12,000-8,500 B.P.) have been designated as the Early Hunting Stage, characterized by fluted or leaf-shaped projectile points, crescents, core tools, scrapers and

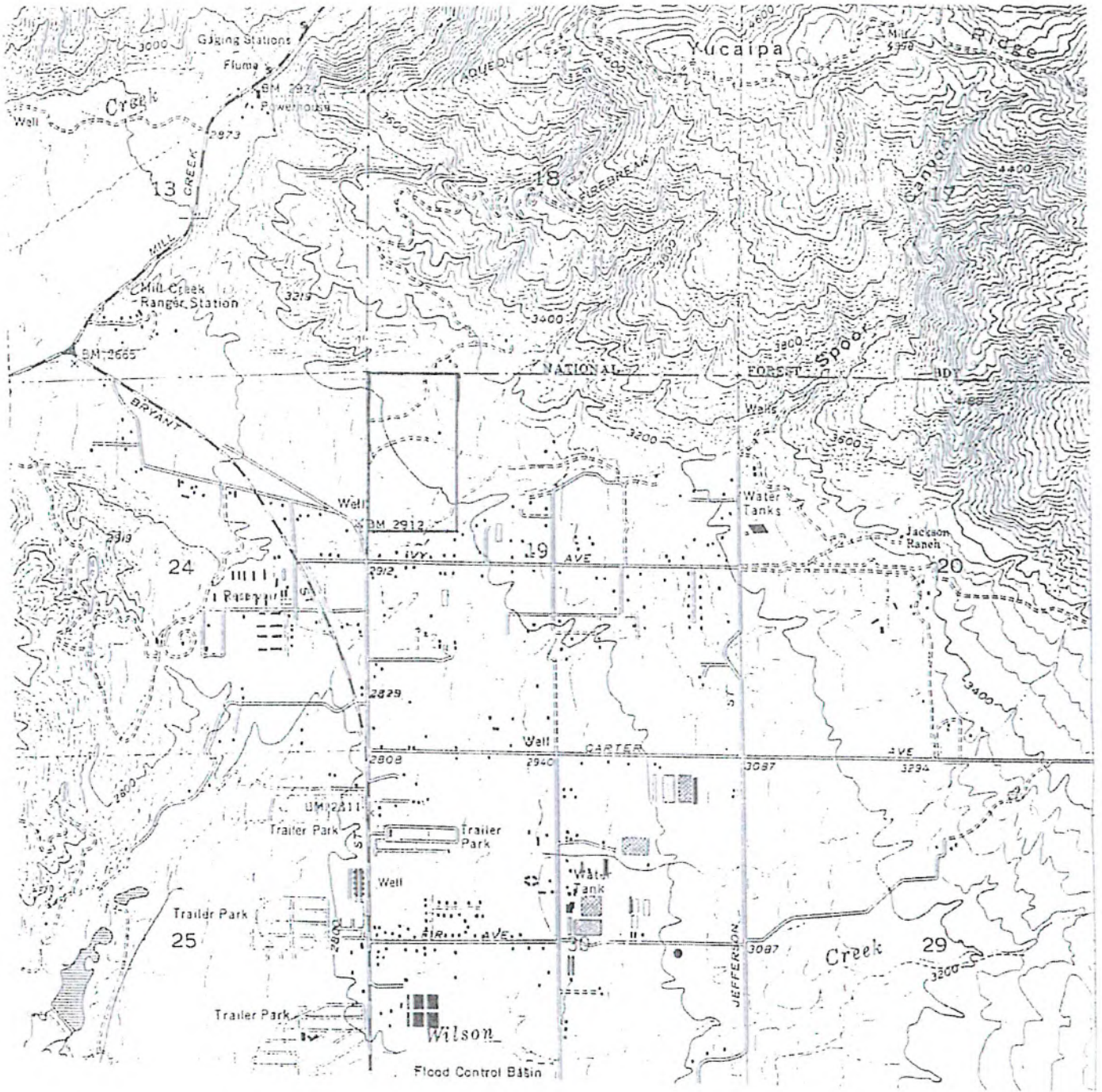


FIGURE 1: Subject Property as shown on USGS Yucaipa 7.5' Series Quadrangle.

choppers. The absence of milling tools suggests an orientation to hunting. The onset of the Early Millingstone Stage (8,500 to 5,000 B.P.) is marked by increases in plant exploitation and population size. Typical artifact assemblages of this period consist of manos, metates, choppers and scraper planes. Projectile points are rare. Further population growth and adaptations to various ecological niches typify the Regional Specialization Stage (5,000-300 B.P.). In southern California, a heavy dependence on both hunting and gathering of wild plant foods continued into the historic period (Meighan 1978).

#### Ethnohistory

The area in which the subject property is located was populated by the Serrano Indians at the time of contact. Other Indian groups such as the Cahuilla and Gabrielino may also have lived or used the area for resource procurement. These aboriginal Indian groups are part of the southern California branch of the Shoshonean language stock (Bean and Smith 1978).

The Serrano Indians were primarily hunters and gatherers and, like most aboriginal groups, settlement locations were determined by the availability and accessibility of water. The name "Serrano" comes from the Spanish term meaning "mountaineer" or "highlander." They lived in small villages that included individual and extended family dwellings as well as a ceremonial house where the lineage leader lived. The Serrano were organized into exogamous patrilineal clans, with village leadership determined by heredity and seniority within the dominant patriline (Gifford 1951). Settlements ranged in size from 10 to 20 dwellings, circular in shape and composed of a framework of poles and tules or brush

(Schuiling 1984). Trading and cooperative inter-clan networks were established through marriage.

Food sources depended on seasonal availability. The primary plant food sources were acorns, pine nuts, wild berries, cactus fruit, mesquite beans, and various bulbs, roots and grass seeds. Animals hunted were deer, antelope, ducks, rabbits, quail, birds, rodents and insects.

#### History

At the time of contact, in the late 1700's, an estimated 1500 Serranos inhabited the San Bernardino Valley (Schuiling 1984). The Serrano settlements, called *rancherías* by the Spanish, came under the influence of the San Gabriel Mission and its outlying auxiliary missions (*asistencias*) in the 1770's.

The Mission system was intended to "Christianize" and "civilize" aboriginal populations; it also developed into an extensive agricultural and pastoral empire which relied on Indian labor.

Under Father Jose Maria Zalvidea, the San Gabriel Mission set up pastoral and ranching outposts in the San Bernardino Valley. These outposts were typically located near the Indian *rancherías* from which they recruited their labor.

On May 10, 1810 Father Dumetz established a temporary chapel which he called San Bernardino, and so the valley was named. The location of the chapel is disputed, some argue that it was located along the Rialto Bench while others claim it was located near the Guachama Rancheria in Old San Bernardino along Cottonwood Row (Robinson 1958:10; Schuiling 1984:26).

Rancho San Bernardino was established in 1819. It was possibly the most economically productive ranch in the California Mission system with land used primarily for cattle grazing, fruit orchards, and vineyards. In 1830, an estimated 25,000 cattle were on the ranch (Schuiling 1984:27).

The Mexican government implemented a secularization program in 1833 which abruptly put a halt to Mission economic activities. Mission lands were turned over to the government and then redistributed as land grants to Mexican citizens. This led to the economic disenfranchisement of "Mission Indians" who had become dependent on the missions for their livelihood. Many joined Indian groups who raided nearby ranches for livestock and goods; others stayed on and worked on land grant ranchos.

The Mexican Period extended from 1834 to 1848 and is alternatively referred to as the Rancho Period. Land grants were limited to 11 leagues per applicant (about 48,000 acres). The most important Spanish Dons were the Lugos, Sepulveda, Yorba, Bandini, Tapio, Palomares, Pico and White (or Blanco) families. Land grant boundaries were based on vague descriptions of trees, streams or other geographical landmarks.

The Yucaipa portion of Ranch San Bernardino did not include the study area. Yucaipa received its name from the Yucaipat *rancheria*, located approximately three miles south of the study area. The *rancheria* was inhabited by Serranos as late as 1852. This village site was excavated in 1976 and has been formally recorded as Ca-SBr-1000. This site is documented to have both a late prehistoric and ethnohistoric component and an earlier Milling Stone Horizon component (Hicks 1958; Martz 1977).

The study area, while not located adjacent to this village site, could well have been included in the larger migratory and resource procurement territory of the Serano inhabitants of Yucaipat.

In 1848, at the conclusion of the Mexican War, California became a U.S. territory and, in 1850, a state. This signaled the end of the large land-owning families. Mormon settlers led by Charles Rich and Amasa Lyman, sponsored by Brigham Young, came to the San Bernardino valley in 1851. Twenty-six Blacks were among the group of 437 Mormons colonists (Skinner 1983). These were the first Black settlers in the county.

The Mormons purchased Rancho San Bernardino from the Lugos on September 22, 1851 and established lumber and agricultural enterprises. The Yucaipa portion of the San Bernardino Rancho was purchased from the Mormons by James Waters who sold it to John Dunlop, a Texas cattleman in 1869 (Schuiling 1984:106). The Yucaipa Valley was developed into farmlands, for orchard and grain cultivation and as grazing land for cattle. Agriculture remains an important component of the local economy of the Yucaipa area today.

#### EXISTING DATA

The 1901 Redlands, California 15' USGS series quadrangle shows two structures to the immediate north and west of the study area. A possible historical structure is also located in the northeastern portion of the study area as shown on the Yucaipa, California 7.5' USGS series quadrangle. These data suggested the possibility that historic cultural resources may be located within the study area.

The possibility of locating prehistoric cultural resources was evaluated as low to moderate. This evaluation was based on environmental considerations, that is the location of a small seasonal stream through the area and larger streams to the north and south of the study area. The study area may also have been utilized to procure food and tool resources by the Serrano inhabitants of Yucaipat village.

#### STATEMENT OF OBJECTIVES

The objective of the field survey was to locate, identify and assess the significance of past human activities. Indicators of these activities are defined by the presence of one or more of the following categories of cultural remains: food waste, tool manufacturing waste, modifications of natural rock or ground surfaces, fragmentary or whole tools, soil discoloration and/or its accumulation and human skeletal remains.

Cultural resources were identified on the basis of surface evidence. Historical remains would be considered only if they had attained an age of fifty years or more.

#### METHODS EMPLOYED FOR THIS INVESTIGATION

Prior to the on-foot survey a records check was conducted by the Archaeological Information Center located at the San Bernardino County Museum in Redlands. A study of the pertinent literature was undertaken by the author, Dr. Victor C. de Munck. On March 11, 1989, the author and one associate conducted a field investigation the subject property by means of a series of systematic east-to-west transects spaced ca. 20 meters apart. Surface visibility was adequate to good.

## ENVIRONMENTAL SETTING

The San Bernardino National Forest lies immediately north of the study area. The foothills of the San Bernardino Mountains lie north and east of the property. A small seasonal stream, originating in these mountains, cuts through the property from the northeast to the southwest. At the time of the survey there was no water in this stream.

Elevation on the subject property ranges from a high of approximately 3150 feet to a low of 2950 feet above sea level. The property slopes down from north to south. The soil consists predominantly of humic loam intermixed with silty sands and decomposed granite. The soil color ranged from dark brown to light tan. Numerous granitic boulders were dispersed through the study area. These boulders and smaller granitic rocks could have served as milling tools (metates and/or manos) for prehistoric populations that inhabited the region. No cryptocrystalline lithics were observed during the field investigation.

Vegetation on the subject property is characteristic of the Creosote Bush Scrub plant community (Munz 1974). Vegetation observed during the field survey includes creosote bush (*Larrea tridentata*), buckwheat (*Eriogonum fasciculatum*), prickly pear (*Opuntia sp.*), white and black sage (*Salvia apiana* and *Salvia mellifera*), chamise (*Adenostoma fasciculatum*), elderberry (*Sambucus mexicana*), and cottonwood (*Populus fremontii*).

Fauna observed were jackrabbit (*Lepus californicus*), desert cottontail (*Sylvilagus audobonii*), an assortment of small rodents and lizards.

The climate of the study area is typical of cismontane southern California and is classified as Mediterranean, or "summer-dry



subtropical" (Bailey 1966). The characteristics of such a climate are a dry, warm or hot summer and a relatively mild, wet winter--a condition that prevails over only about three percent of the earth's surface. Total annual rainfall seldom exceeds 25.6 inches, with most of the precipitation occurring from January to April.

#### RESULTS

No prehistoric or historic cultural resources were located during the field survey of the study area. A three bedroom residence and adjoining trailer are located in the northeastern portion of the subject property. This residence was built by Mrs. Mary Jan Krupp in the 1950's and is of no historical significance. It is currently abandoned. A watchman lives in a trailer adjoining this residence.

The above conclusion is based on a surface investigation of the subject property and does not preclude the possibility of subsurface cultural deposits.

#### FINAL RECOMMENDATIONS

As field survey results were negative, it is recommended that no further archaeological investigation need be conducted on the subject property. Should subsurface cultural deposits be exposed during development a qualified archaeologist is to be consulted and empowered to halt construction until these resources are evaluated and appropriate protection/data recovery measures are taken.

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July 8, 2022

Ben Matlock, Planning Manager

34272 Yucaipa Blvd.

Yucaipa, Ca. 92399

RE: Serrano Estates

Mr. Matlock,

As you are aware, there was a previously performed Geotechnical Investigation on the property that we submitted about a month ago. The Geotechnical Engineer is willing to do further work on the property to make sure that there is nothing new to report. It is obvious that the property has been untouched for the past couple of decades and that nothing new has transpired or changed on the property.

I understand there will be new codes to follow, but mainly at the time of Construction. For this reason, we have asked LOR Geotechnical for a bid to re-examine the Site and make sure that nothing has changed and that our Construction falls in line with current codes and standards. Prior to Grading, they have given us a bid to do the following:

LOR Geotechnical Group, Inc., is pleased to provide this proposal to prepare an update to the previous preliminary geotechnical and subsurface fault investigation prepared by this firm in 2005, and conduct a Phase I Environmental Site Assessment (ESA) for the proposed 51 residential lot subdivision located in Yucaipa, California.

The purpose of the updates will be to provide updated geotechnical and geologic data for the proposed development. We propose to conduct this work in phases. The first phase would consist of a review of provided current development plans, existing geotechnical and

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108 Orange, Suite 5  
Redlands, Ca. 92373  
909.335.1665

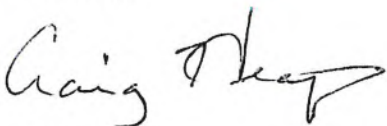
geologic reports previously prepared by this firm, and a review of city records for previous report approvals. Based on this work, recommendations for the second phase would be provided. The second phase, provided our previous work has been approved, is anticipated to include providing additional design parameters in accordance with current codes and standards utilizing our previous data. However, it may be necessary to conduct additional subsurface explorations and laboratory testing should aspects of our previous work not have been previously approved and/or there are significant changes to the proposed development.

Our Phase I ESA will be conducted to develop a complete history of the past and present use of the subject site, including any potential environmental concerns such as contaminated soils, underground tanks, and hazardous materials. This assessment will be conducted in accordance with the Standard Practice for Environmental Site Assessments, American Society of Testing Materials (ASTM) E1527-21 and All Appropriate Inquiries set forth in 40 Code of Federal Regulations Part 312. The purpose of the Phase I ESA will be to identify recognized environmental conditions (RECs), controlled recognized environmental conditions (CRECs), or significant data gaps that may be associated with the subject site.

Ben, I believe, and hope you believe that there is enough information to move this project forward. The time to add information to this report is about 7 weeks. Since most of this information is important to the Construction of these homes, we will start that work immediately, so it is available prior to construction.

Thank you for all your assistance. Have a wonderful day.

Sincerely,

A handwritten signature in black ink that reads "Craig Heaps". The signature is written in a cursive, flowing style.

Craig Heaps

Representative for General Dev. Group

June 15, 2022

Premium Land Development  
108 Orange Street, #5  
Redlands, California 92373

Project No. 32137.13

Attention: Mr. Jeff Kreidel

Subject: Geotechnical and Geologic Work to Date, Tentative Tract Map No. 20375,  
Yucaipa, California.

At your request, we have prepared this letter to summarize our work conducted to date for the subject project. It should be noted that since the time of our work, the tract was identified as Tentative Tract 14297.

The following reports/letters have been prepared by this firm:

1. *Preliminary Geotechnical Investigation, Tentative Tract 14297, Yucaipa, California, Project No. 32137.1, dated November 22, 2005.*
2. *Response to City of Yucaipa Review Letter by Mr. D. Scott Magorien, CEG, dated December 31, 2005, of Preliminary Geotechnical Investigation, Project No. 32137.12, dated March 7, 2006.*
3. *Subsurface Fault Investigation, Tentative Tract No. 14297, Yucaipa, California, Project No. 32137.3, dated November 30, 2005.*
4. *Response to City of Yucaipa Review Letter by Mr. D. Scott Magorien, CEG, dated December 31, 2005, of Subsurface Fault Investigation, Project No. 32137.32, dated February 1, 2006, revised March 6, 2006.*

Based on the tentative development plan provided, it appears that a new tract no. (20375) has been issued (Premium, 2020). The plan provided indicates that the proposed development will consist of 51 lots for residential development. The plan also appears to generally incorporate the recommendations presented within our previous reports/letters cited above, in particular with respect to the recommended restricted use zone (R.U.Z.).

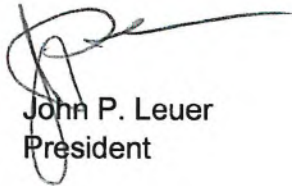
Premium Land Development  
June 15, 2022

Project No. 32137.13

At this time it is not known if our previous work has been approved by the jurisdictional agency(ies). At a minimum, updates to our previous work to conform with current codes and regulations relative to the currently proposed development are anticipated to be required. A proposal for such services was provided to you (LOR, 2022).

Should you have any questions regarding this report, please do not hesitate to contact us as your convenience.

Respectfully submitted,  
**LOR Geotechnical Group, Inc.**



John P. Leuer  
President

AAT:JPL:ss

Distribution: Addressee via email [j.kreidel@hotmail.com](mailto:j.kreidel@hotmail.com)

## REFERENCES

LOR Geotechnical Group, Inc., 2022, Proposal to Perform a Preliminary Geotechnical Investigation Update, Subsurface Fault Investigation Update, and Phase I Environmental Site Assessment, Tentative Tract Map No. 20375 (formerly Tract No. 14297), Yucaipa, California, Proposal No. 6053.P, dated June 10, 2022.

Premium Land Development, 2020, Tentative Map, Tentative Tract 20375, Yucaipa Ridge Road, APN 0320-161-08, -09, and -28, City of Yucaipa, dated September 28, 2020, Sheet 1 of 1.



PRELIMINARY GEOTECHNICAL INVESTIGATION  
TENTATIVE TRACT 14297  
YUCAIPA, CALIFORNIA

PROJECT NO. 32137.1  
NOVEMBER 22, 2005

Prepared For:

S.C.R.V. LLC  
11718 Barrington Court #804  
Los Angeles, California 90049

Attention: Mr. Tom Tenney

**LOR** GEOTECHNICAL GROUP, INC.  
Soil Engineering ▲ Geology ▲ Environmental

November 22, 2005

S.C.R.V. LLC  
11718 Barrington Court #804  
Los Angeles, California 90049

Project No. 32137.1

Attention: Mr. Tom Tenney

Subject: Preliminary Geotechnical Investigation, Tentative Tract 14297, Yucaipa, California.

LOR Geotechnical Group, Inc. is pleased this report summarizing our geotechnical investigation for the proposed residential development tract of 14297 in Yucaipa, California. This report was based upon a scope of services generally outlined in our work authorization agreement dated August 26, 2005 and other written and verbal communications.

In summary, it is our opinion that the proposed development is feasible from a geotechnical perspective, provided the recommendations presented in the attached report are incorporated into design and construction. The following executive summary reviews some of the important elements of the project. However, this summary should not be solely relied upon.

The proposed development area of the tract is underlain by various alluvial deposits. Due to the variable densities of the upper portion of these materials they are not considered suitable in their present condition to provide uniform and/or adequate support for the proposed fills and/or structures. In addition there is a significant amount of loose fills at the site from past geotechnical/geologic studies. Therefore all undocumented fill material and any loose alluvial materials should be removed from structural areas and areas to receive engineered compacted fill. Preliminary data developed during this investigation indicates that removals averaging approximately 3 to 5 feet within the native alluvial materials and up to 20 feet of loose fills will be encountered. Approximately 10 percent or more of these materials are anticipated to consist of oversize rock materials.

LOR Geotechnical Group, Inc.

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## APPENDICES

Appendix A - Index Map and Regional Geologic Map

Appendix B - Field Investigation Program and Trench Logs

Appendix C - Laboratory Testing Program and Results

Back Pocket - Plate 1 - Trench Location Map and Site Geologic Map

## INTRODUCTION

During the period from July through August of 2005, a Preliminary Geotechnical Investigation was performed by LOR Geotechnical Group, Inc. for the proposed Tract Map 14297, currently consisting of three parcels of land of approximately  $53 \pm$  acres located northeast of Crystal Street and Yucaipa Ridge Road in the City of Yucaipa, California. The 11.88 acre "remainder parcel" in the north portion of the tract was not a part of this study and is excluded from the tract. The purpose of this investigation was to provide a technical evaluation of the geologic setting of the site and to provide geotechnical design recommendations for the proposed development. The scope of our services included:

- Review of available geotechnical literature, reports, maps, and agency information pertinent to the study area;
- Interpretation of stereo aerial photograph pairs of the site and surrounding region dated 1938 through 2005;
- Geologic field reconnaissance mapping to verify the areal distribution of earth units and significance of surficial features as compiled from documents, literature, and reports reviewed;
- A subsurface field investigation to determine the physical soil conditions pertinent to the proposed development;
- Laboratory testing of selected soil samples obtained during the field investigation;
- Development of geotechnical recommendations for site grading and foundation design; and
- Preparation of this report summarizing our findings, and providing conclusions and recommendations for site development.

The approximate location of the site is shown on the attached Index Map, Enclosure A-1, within Appendix A.

To orient our investigation at the site, a 100-scale Topographic Map, prepared by Sitetech, Inc., was furnished for our use. This map was used as a base for our Geologic Map and is provided as Enclosure A-2, within Appendix A.

PROJECT CONSIDERATIONS

The subject property consist of three separate parcels listed by the Assessor's Parcel Numbers (APN's) of 0320-181-028, and 032-161-08 and 09. These three parcels make a rectangular site that is approximately 1,163 wide and 1950 feet long, for approximately 52.5 acres of land total. The far northern portion of the site, composed of an irregular shaped parcel extending from 490 to 240 feet south of the northern property line and consisting of 11.85 acres, is not a part of this tract development at this time and is refered to on the plans as a Remainder Parcel.

A 100-scale tentative tract map was prepared for the site by Sitetech, Inc. and provided for our study. According to this map, a copy of which is presented as Plate I, located in the back pocket of this report, Tract No. 14297 will consist of the grading of 33 level pads for single family homes. Access to these lots will be provided by extending the existing Quartz and Crystal streets from the west and constructing three new interior roads. Due to the general sloping nature of the site, grading will involve "transitions" of cut to fill across most of the lots with from 5 to 10 feet, or more, of fills placed along the southern ends and 5 to 10 feet, or more, of cuts into the native ground to create the level pads. One notable exception is along lot 28 were due to the placing of the pad over an existing gully, approximately 20 feet of fill, not including remedial removals, is proposed.

At the time of our investigation, the construction development plans for the structures were not available. However, future structures are anticipated to consist of the construction of a single structure with attached garage of one to two stories and of wood frame construction with an exterior plaster veneer on each pad. Light to moderate foundation loads are anticipated with such structures.

The entire subject site is situated within an Alquist-Priolo Earthquake Fault Zone set up by the State of California Geological Survey due to the location of the San Andreas fault that is generally considered to run along the base of the mountains in this region. This prohibits the location of structures for human occupancy within this zone until a special fault hazard study has been conducted. This study was conducted by this firm under a separate fault hazard study which included the excavation of nearly 2,500 linear feet of trenching at depths up to 25 feet (LOR 2005). In addition it is our understanding that a similar study was conducted at the site at least two times in the past.

### SITE DESCRIPTION

The subject site consists of three parcels of land, given by the Assessor's Parcel Numbers of 320-181-028, and 320-161-009 and 008. Each of these is a rectangular parcel 1,163 feet wide and 660 feet north to south. Therefore together they form a rectangular parcel 1,163 feet in length from east to west, and approximately 1980 feet north to south. This region is situated along the base of Yucaipa Ridge, which rises steeply to the north. The topography of the site is generally planning with a fall to the south-southwest, and the region to the north on the 11.85 acre "Remainder Parcel" rising up along a steep bluff. The bluff lies several hundred feet north of the northern edge of the proposed tract development area, rising up approximately 50 feet to a flatter plateau above. Vegetation across the site is predominately light to moderately heavy field brush with numerous patches of very heavy dense, low lying, brush that hamper access.

At the beginning of our study, several areas were noted with relatively recently disturbed soils and stripped vegetation. The biggest of these areas extended from near the northeastern portion of the site to the southwest corner. These are thought to be the result of the past fault studies conducted at the site by other firms.

The tract is bounded on the north by the "remainder parcel" portion of the property, which in turn is bounded on the north by vacant land. The area to the east and south is composed of similar vacant land while the area across Yucaipa Ridge Road to the west contains residential housing.

### AERIAL PHOTOGRAPH ANALYSIS

During the course of this study, an analysis of time-sequential stereoscopic aerial photograph pairs of the site and surrounding region, on file at the San Bernardino County Flood Control and Water Conservation District were reviewed. Stereoscopic aerial photograph pairs of the site and surrounding regions dating from 1938 through 2005 were examined. Geologic information for aiding in the mapping of the various onsite earth units and identification of photo-lineaments as noted as the aerial photographs was incorporated into our Geologic Map, Plate 1, located within the back pocket of this report. A complete list of the photographs studied is given in the references at the back of this report.



### FIELD EXPLORATION PROGRAM

Our subsurface field exploration program was conducted in several phases that began with the excavation of two backhoe trenches on the site on July 15, 2005. Due to the coarse nature of the materials encountered, our study was completed by excavating six more test pits using a 345 CAT excavator. The trenches were excavated to depths of 10 to 22 feet below the existing ground surface. The approximate locations of our exploratory trenches are presented on the Geologic Map, Plate 1, located in the back pocket of this report.

Logs of the subsurface conditions encountered in the exploratory trenches were maintained by a geologist from this firm. In-place density tests were taken at various depths within the trenches using the Nuclear Density Method (ASTM D 2922) and Sand Cone Method (ASTM D 1556-90). Bulk samples of the encountered materials were obtained and returned to the laboratory in sealed containers for further testing and evaluation.

Logs of the subsurface conditions encountered in the exploratory trenches were also maintained by a geologist from this firm. Relatively undisturbed and bulk samples were obtained at an average depth interval of 5 feet and returned to the laboratory in sealed containers for further testing and evaluation.

A detailed description of the field exploration program and the trench logs are presented within Appendix B.

As part of the previously mentioned fault study that was prepared by this firm, at the time of this study a very long trench had been excavated by the client along the far western property line, along with a smaller one along the north center portion of the site. The locations of these are shown on the attached Geologic Map, Plate 1, located within the back pocket of this report.

### LABORATORY TESTING PROGRAM

Selected soil samples obtained during the field investigation were subjected to laboratory testing to evaluate their physical and engineering properties. Laboratory testing included moisture content, dry density, laboratory compaction, sieve analysis,

sand equivalent, R-value, and soluble sulfate content. A detailed description of the laboratory testing program and the test results are presented within Appendix C.

## GEOLOGIC CONDITIONS

### Regional Geologic Setting

The subject site is located in southern California along the southern flanks of the San Bernardino Mountains. These mountains, along with the Little San Bernardino Mountains to the southeast, and the San Gabriel Mountains to the northwest, form a large geomorphic province that cuts across nearly the entire south end of California referred to as the Transverse Ranges Geomorphic Province. The large region that extends from the southern side of this Province and into Mexico is composed of a sequence of smaller north-west trending mountains and hills and intervening valleys known as the Peninsular Ranges Geomorphic Province. Therefore, the site lies on the junction of these two provinces that together cover a large majority of southern California stretching from the Pacific coast inland to the San Andreas fault, south of the San Gabriel-San Bernardino Mountain ranges and extending southward to the Mexican border and beyond.

The San Bernardino Mountains of the Transverse ranges are generally composed of a core of older metamorphic rocks which have been severally intruded by relatively younger igneous intrusive rocks. The Peninsular Ranges province is characterized by a series of generally small northwestern trending mountains ranges such as the Santa Ana Mountains and the San Jacinto Mountains, separated by wide flat valleys. In the Yucaipa region, the San Andreas fault acts as the boundary between the Peninsular and Transverse Ranges provinces, with the site straddling this boundary. Subsequent erosion of the mountains has resulted in the deposition of a series of broad alluvial fans of various ages which have coalesced into a larger surface towards the lower portions of the valley.

The site is situated along the base of a long, narrow, ridge line of the San Bernardino Mountains referred to as the Yucaipa Ridge. As noted on the Regional Geologic Map, Enclosure A-2 within Appendix A, the far western end of this ridge was mapped by the U.S.G.S. as an ancient landslide complex covering over 5-square miles of land located just above the site and extruding down onto the norther portion of the "Remainder Parcel" portion of the site. Erosion of the ridge, and the landslide area,

has deposited a sequence of alluvial materials across the north-eastern portion of Yucaipa in a fan shape. This fan has been subsequently modified by incision of younger streams as well as tectonically modified by offsetting along the fault and uplifted, or down dropped, along a succession of terrace risers.

#### Site Geologic Conditions

As noted above, the subject site is situated along the base of the western end of the Yucaipa Ridge, which is composed of a series of sedimentary rocks which have been named as the Mill Creek formation. The very rapid uplifting of the Yucaipa Ridge may have resulted in a very large landslide which was mapped by the USGS study (Matti et al 2003) as existing on the northwestern portion of the "Remainder Parcel" of the subject site. Erosion of these features has resulted in a relatively thick deposition of alluvial fans across the site of various ages. Due to the location of the site, in relation to the base of the Ridge, these units tend to be coarse grained and poorly sorted, composed of silty sands with varying amounts of sub-angular gravel, cobbles, and boulders of the Mill Creek formation. On the attached geologic map these units were generally cataloged into six different groups, ranging from artificially placed fill materials, materials of a slope wash along the bluff area, and then four different stages of alluvial materials across the bulk of the site. The various differing types of earth materials encountered at the site described below.

#### Artificial Fill (Map Symbols Af and Afh)

A very small amount of artificial materials were noted along the site within our trenches. However, as previously noted, the site has had three previous fault investigations which has resulted in several areas of deep trench backfill. The estimated location of these trenches, based off our analysis of disturbed areas on-site and review of aerial photographs, is given on the attached Geologic Map, Plate 1. The depth of these is anticipated to be on the order of 10 to 12 feet.

Young Alluvial Deposits (Map Symbol Qal): Along the bottom of the larger gullies there are re-worked materials that have been eroded from the upper portions of the fan and are generally in active transport during heavy precipitation. These materials were noted to consist of highly variable content from silt to large boulders, and are in a loose, very porous, state.

Recent Alluvial Fan Deposits (Map Symbol Qal<sub>1</sub>): The northern portion of the site, along the base of the small bluff, has a sequence of relatively coarse grained alluvial deposits that appear to have emanated out of one of the canyons directly above the site and cut into the older alluvial fan deposits. These materials were noted to range highly in composition from a cobble-gravel silty Sand to a Well Graded Gravel with cobbles and boulders. While no precise measurements were made of the oversized materials, cobble and boulders, visual estimates ranged from 0 to over 45 percent, with perhaps the overall amounts ranging on the order of 10 to 15 percent. These units tended to be brown, dry to damp, and loose and porous in the upper portions, becoming moderately dense with depths.

Alluvial Fan Deposits of Moderate Age (Map Symbol Qal<sub>2</sub>): The majority of the site is underlain at the surface by a relatively recent deposit of a coarse grained alluvial fan that emanate out of the mountains generally to the northeast of the site, and probably from a coalescing sequence of fans. This unit was also noted to range highly in composition, materials from a silty sand to a well graded gravel with cobbles and boulders. While no precise measurements were made of the oversized materials, cobble and boulders, visual estimates ranged from 0 to over 40 percent, with perhaps the overall amounts ranging on the order of 5 to 10 percent. These units tended to be brown, dry to damp, and loose and porous in the upper portions, becoming moderately dense with depths.

Older Alluvium (Map Symbol Qal<sub>3,4</sub>): While these units are exposed at the surface in only a few areas on the site, the entire site is though to be underlain by these units that represent a much earlier phase of alluvial fan deposition. These units also vary highly in composition, but in our explorations were noted tended to be much finer with some sandy silts noted. Across much of the site, these units have been covered with 15 feet or more of younger, coarser grained materials. The older alluvial units also tend to be much.

Colluvial Deposits (Map Symbol Qcol): While not located on the area of the site with proposed development, the excavations made into the bluff area noted relatively thin units of slope wash materials which tended to be less than 5 feet in thickness. These units varied highly in composition, and tended to be fairly massive, and in a loose state.

A more detailed description of the subsurface soil conditions, as encountered within our exploratory trenches, is presented on the Trench Logs within Appendix B.

#### Groundwater Hydrology

No groundwater was noted in the excavations excavated on the subject site. A small amount of groundwater seepage was noted in the northern end of the fault trench excavated for the fault hazards report (LOR 2005) on the bluff area.

The Spring 2005 Cooperative Well Measuring Program Report is a database of municipal water wells measuring levels, distributed by the Western Municipal Water District, the water master for the area. This source noted that the USGS in cooperation with the San Bernardino Municipal Water District has been monitoring groundwater wells on a periodic basis. The closest of these on the listing was the well number 1S1W19P001, located approximately 1/3 of a mile to the south-southeast of the site. The depth to groundwater in this well was noted this year at a depth of 301 feet below the ground surface. The next closet well of these was located approximately 3/4 of a mile to the west off Juniper avenue. This well, number 1S2W24C001, had the depth to groundwater measured this year at a depth of 114 feet below the ground surface.

#### Surface Runoff

Being situated along the base of the Yucaipa Ridge of the San Bernardino Mountains, the site is subject to runoff from this very large ridge and considerable drainage areas to the northeast and east of the site. Most of the run-off is directed across the site into smaller gullies and eventually into a larger canyon that trends along the area just south of the site.

#### Mass Movement

The proposed development area of the tract lies on a relatively flat surface. The occurrence of mass movement failures such as landslides or rockfalls within such areas are generally not considered common and no evidence of mass movement was observed on the site.

However, the bluff area located adjacent the site to the north has been mapped as a large, very ancient, landslide by the USGS. The stability of this feature is currently being evaluated by a separate study for the "Remainder Parcel".

### Faulting

The entire site lies within an Alquist-Priolo Earthquake Fault Zone (formerly Special Studies Zone) designated by the State of California associated with the San Andreas Fault Zone (Hart and Bryant, 1997). The impact of this designation, as well as the potential for active faulting at the site, was addressed in our fault hazard report conducted for the site (LOR 2005). In general, this report concluded that no active faults are located within the proposed development area of the site. However, the San Andreas fault is known to lie very close to, perhaps adjacent too, the tract. Therefore, in terms of seismic shaking, the San Andreas fault is the most important to the site and should be utilized as the causative fault.

Past standards of practice included a discussion of all potential earthquake sources within a 100 kilometer (62 mile) radius. However, while there are other large earthquake faults within a 100 kilometer (62 mile) radius of the site, none of these are considered as relevant to the site as the faults described above, due to their greater distance and/or smaller anticipated magnitudes.

### Secondary Seismic Hazards

Other secondary seismic hazards generally associated with severe ground shaking during an earthquake include liquefaction, seiches and tsunamis, earthquake induced flooding, landsliding and rockfalls, and seismic-induced settlement.

Liquefaction: The potential for liquefaction generally occurs during strong ground shaking within loose, geologic young, granular sediments where the depth to groundwater is usually less than 50 feet. As the majority of the site is underlain by very coarse grained sediments and the depth to groundwater is considered to be at depths greater than 50 feet within these materials, the potential for liquefaction is considered very low to nil.

Seiches/Tsunamis: The potential for the site to be affected by a seiche or tsunami (earthquake generated wave) is considered nil due to absence of any large open bodies of water near the site.

Flooding (Water Storage Facility Failure): At the time of our investigation, there were no water storage facility situated on or above the site that were considered likely to fail during an earthquake and impact the site.

Seismically-Induced Landsliding: As noted previously, the potential for landslides occurring across the majority of the site is considered nil due to the low gradient. The stability of the steeper bluff area that lies approximately 150 feet or more north of the proposed development areas of the tract is currently being studied. In addition, the fault hazard report recommended a 150 foot setback from the base of the slope. This distance should be adequate to mitigate any potential for seismically induced landsliding at the site.

Rockfalls: There was a very small amount of loose boulders noted along the face of the small bluff area. As these units were sub-rounded in nature there does appear to be a potential for some rockfall in the manner of boulder run-off that could occur during a large seismic event. However, the 150 foot setback distance noted above should also be adequate to mitigate any potential for seismically induced landsliding at the site.

Seismically-Induced Settlement: The upper portions of the loose alluvial materials across the site may have a potential for seismically induced settlement, as they were found to be loose to medium dense, particularly within the upper portions. However the very coarse nature of these units tends to reduce this potential, and the mitigation measures recommended for the grading is also anticipated to mitigate this potential.

#### SOILS AND SEISMIC DESIGN CRITERIA (California Building Code)

Design requirements for structures can be found within Chapter 16 of the 2001 California Building Code (CBC) based on building type, use and/or occupancy. The classification of use and occupancy of all proposed structures at the site, and thus design requirements, shall be the responsibility of the structural engineer and the building official. For structures at the site to be designed in accordance with the

provisions of Chapter 16, the subject site specific soils and seismic criteria are provided in the following sections.

#### CBC Divisions IV: Earthquake Design Criteria Selection

Procedure and limitations for the earthquake design of applicable structures can be obtained from Division IV of Chapter 16 of the 2001 California Building Code (CBC). However, it should be noted that the building code requires the minimum design to allow a structure to remain standing after a seismic event, in order to allow for safe evacuation. As stated in section 1626.1, "The purpose of the earthquake provisions herein is primarily to safeguard against major structural failures and loss of life, not to limit damage or maintain function." Therefore, a structure built to CBC code may still sustain damage which might ultimately result in the demolishing of the structure.

The CBC Division IV requires that all sites, unless exempted, be assigned a soil profile type and a regional seismic zone. The criteria for the selection of a site soil profile can be found in the 2001 CBC Division V, discussed in later sections.

Seismic Zone: As shown on Figure 16-2 within Chapter 16 of the 2001 CBC, the site is located in Seismic Zone 4. Section 1629.4.2 of the 2001 CBC directs that all sites in Seismic Zone 4, unless exempted, shall have a near source factor determined.

Near Source Factor: Near source factors are determined based on the distance to the nearest Type A or B seismic source (earthquake fault). Once these are determined, near source values can be obtained, dependent on structure type, from Tables 16-S or 16-T within the 2001 CBC. Seismic source types are classified as A, B, or C, based on description, maximum anticipated magnitude, and slip rate. Type C sources are not considered as they do not increase the standard near source factor value of 1.0. The following table lists the seismic source type requirements.



TABLE 16-U SEISMIC SOURCE TYPE <sup>1</sup>			
Seismic Source Type	Seismic Source Description	Seismic Source Definitions	
		Maximum Magnitude	Slip Rate (mm/yr)
A	Faults capable of large magnitude events, and have a high rate of seismic activity.	$M \geq 7.0$	$SR \geq 5$
B	All faults other than A and C.	$M \geq 7.0$ $M < 7.0$ $M \geq 6.5$	$SR < 5$ $SR > 2$ $SR < 2$
C	Faults that are not capable of producing large magnitude earthquakes and that have a relatively low rate of seismic activity.	$M < 6.5$	$SR \leq 2$

<sup>1</sup>Source 2001 CBC

Specific parameters for earthquake faults within the state of California can be obtained from the State of California Division of Mines and Geology Open File Report 96-08 (DMG 1996). As noted in our Faulting section of this report, San Andreas fault lies extremely close to the site, perhaps just adjacent to the north. According to the DMG Open File Report 96-08, the San Andreas fault has a slip rate of 24.0 mm/year,  $\pm 6$ , and an estimated magnitude event of 7.3. According to the CBC table above, the San Andreas fault is, therefore, classified as a Type A fault. The nearest known active Type B fault, according to the table above and the UBC Maps of Known Active Fault Near-Source Zones (UBC, 1998), is the San Jacinto fault located approximately 16.7 km (10.4 miles) to the southwest. According to the DMG Open File Report 96-08, the San Jacinto fault has a slip rate of 12.0 mm/year,  $\pm 6$ , and an estimated magnitude event of 6.8.

#### CBC Division V: Soil Profile

As noted in our excavations at the site and previously published literature, the majority of the subject site is thought to be underlain by relatively dense alluvial materials with standardized blow counts on the order of 15 to 50 (blows/foot of sampler advancement). Therefore, the soil profile type of  $S_0$  should tentatively be used for the subject site.

CBC Earthquake Design Summary

As determined in the previous sections, the following earthquake design criteria have been formulated for the site. However, these values should be reviewed and the final design should be performed by a qualified structural engineer familiar with the region.

SEISMIC AND SOIL CRITERIA						
Seismic Zone 4 = Factor 0.40, Soil Type = S <sub>D</sub>						
Nearest Source Type	Fault Name	Distance (km)	N <sub>s</sub>	N <sub>v</sub>	C <sub>s</sub> (0.44N <sub>s</sub> )	C <sub>v</sub> (0.64N <sub>v</sub> )
A	San Andreas (San Bernardino segment)	0.0	1.5	2.0	0.66	1.28
B	San Jacinto fault	16.5	1.0	1.0	0.44	0.64
T <sub>s</sub> - C <sub>v</sub> /2.5C <sub>s</sub> = 0.78						
T <sub>o</sub> - 0.2T <sub>s</sub> = 0.16						
Distance rounded to the nearest 0.5 km						

CONCLUSIONS

General

This investigation provides a broad overview of the geotechnical and geologic factors which are expected to influence future site planning and development. On the basis of our field investigation and testing program, it is the opinion of LOR Geotechnical Group, Inc. that proposed development of the site for residential construction is feasible from a geotechnical standpoint, provided the recommendations presented in this report are incorporated into design and implemented during grading and construction.

The subsurface conditions encountered in our exploratory trenches are indicative of the locations explored. The subsurface conditions for the various earth materials presented here are not to be construed as being present the same for the various earth units everywhere on the site. As grading and development plans for the site are

developed and further refined, geotechnical evaluation of these plans and additional physical investigations of subsurface conditions should be conducted as needed.

#### Foundation Support

Based upon the field investigation and test data, it is our opinion that the upper native soils will not, in their present condition, provide uniform and/or adequate support for the proposed structures. Our in-situ density test data indicated variable in-situ conditions of the upper native soils, typically ranging from loose to medium dense states. This condition may cause unacceptable differential and/or overall settlements upon application of the anticipated foundation loads at the site.

To provide adequate support for the proposed single-family structures, we recommend a compacted fill mat be constructed beneath footings and slabs. The compacted fill mat will provide a dense, high-strength soil layer to uniformly distribute the anticipated foundation loads over the underlying soils. The construction of this compacted fill mat should include the removal of any existing fill material, as well as the looser, weathered, portions of the underlying natural earth materials.

Conventional foundation systems, either individual spread footings and/or continuous wall footings, will provide adequate support for the anticipated downward and lateral loads when utilized in conjunction with the recommended fill mat.

#### Geologic Mitigations

The San Andreas fault has been mapped by several authors as lying very close, perhaps just adjacent. This has resulted in building set back zones along the far northern portion of the site, which were given in the separate fault hazards report conducted for the site by this firm (LOR 2005). The recommendations in that report should be incorporated into all future developments at the site.

#### Seismicity

Due to the site's very close proximity to the San Andreas fault it is reasonable to expect a that a very strong ground motion seismic event could occur very close, even directly under the site during the lifetime of the proposed development. Large earthquakes could occur on other faults in the general area, but because of their

lesser anticipated magnitude and/or greater distance, they are considered less significant than the San Andreas and San Jacinto fault zones from a ground motion standpoint.

The general effects of ground shaking anticipated at the subject site on the proposed structures, should be mitigated at a minimum by using the seismic design requirements and procedures outlined in Chapter 16 of the California Building Code. However, it should be noted that this code currently requires only the minimum design to allow a structure to remain standing after a seismic event, in order to allow for safe evacuation. A structure built to code may still sustain damage which might ultimately result in the demolishing of the structure (Larson and Slosson 1992).

### RECOMMENDATIONS

#### General Site Grading

It is imperative that no clearing and/or grading operations be performed without the presence of a qualified geotechnical engineer. An on-site, pre-job meeting with the developer, the contractor, and soil engineer should occur prior to all grading related operations. Operations undertaken at the site without the geotechnical engineer present may result in exclusions of affected areas from the final compaction report for the project.

Grading of the subject site should be performed in accordance with the following recommendations as well as applicable portions of Appendix Chapter 33 of the California Building Code, and/or applicable local ordinances.

All areas to be graded should be stripped of significant vegetation and other deleterious materials.

The fills associated with the previous sub-surface trenching, generally indicated on Plate 1, should be completely removed, along with potential subsequent to removal of deleterious items to the satisfaction of the soils engineer, and then these may be replaced as compacted fill.

It is our recommendation that all existing fills under any proposed flatwork and paved areas also be removed and replaced with engineered compacted fill. If this is not done, premature structural distress (settlement) of the flatwork and pavement may occur.

Cavities created by removal of subsurface obstructions should be thoroughly cleaned of loose soil, organic matter and other deleterious materials, shaped to provide access for construction equipment, and backfilled as recommended in the following Engineered Compacted Fill section of this report.

#### Initial Site Preparation

All undocumented fill material and any loose, weathered, alluvial materials should be removed from structural areas and areas to receive engineered compacted fill. Preliminary data developed during this investigation indicates that removals averaging approximately 3 to 5 feet, excluding removal of artificial fills, will be required within most areas of the site. In general, removals should continue until competent alluvial materials are exposed. These are defined as alluvial materials that appear dense, damp, with no significant visible porosity and with a relative in-situ compaction of at least 85 percent and/or an in-situ saturation of at least 85 percent.

#### Preparation of Fill Areas

After the removals discussed above are completed and prior to placing fill, the surfaces of all areas to receive fill should be scarified to a depth of at least 6 inches. The scarified soil should be brought to near optimum moisture content and recompacted to a relative compaction of at least 90 percent (ASTM D 1557).

#### Preparation of Foundation Areas

All footings should rest upon at least 24 inches of properly compacted fill material. In areas where the required fill thickness is not accomplished by the recommended removals or by site rough grading, the footing areas should be further subexcavated to a depth of at least 24 inches below the proposed footing base grade, with the subexcavation extending at least 5 feet beyond the footing lines. The bottom of this excavation should then be scarified to a depth of at least 12 inches, brought to near optimum moisture content, and recompacted to at least 90 percent relative

compaction (ASTM D 1557) prior to refilling the excavation to grade as properly compacted fill.

Proposed building areas should be graded such that the minimum fill thickness is greater than or equal to one-third of the maximum fill thickness around the building area.

#### Engineered Compacted Fill

The on-site soils should provide adequate quality fill material, provided they are free from organic matter and other deleterious materials. Unless approved by the geotechnical engineer, rock or similar irreducible material with a maximum dimension greater than 12 inches should not be buried or placed in fills. Rocks or other irreducible material greater than 12 inches in diameter should be disposed of within designated rock disposal areas approved by the soils engineer and/or local governing agency.

Import fill should be inorganic, non-expansive granular soils free from rocks or lumps greater than 6 inches in maximum dimension. Sources for import fill should be approved by the geotechnical engineer prior to their use.

Fill should be spread in maximum 8-inch uniform, loose lifts, each lift brought to near optimum moisture content, and compacted to a relative compaction of at least 90 percent in accordance with ASTM D 1557.

Based upon the relative compaction of the near surface soils determined during this investigation and the relative compaction anticipated for compacted fill soil, we tentatively estimate a compaction shrinkage of approximately 10 to 15 percent. Therefore, 1.10 cubic yards to 1.15 cubic yards of in-place materials would be necessary to yield one cubic yard of properly compacted fill material. In addition, we would anticipate subsidence of approximately 0.15 feet. These values are for estimating purposes only, and are exclusive of losses due to stripping or the removal of subsurface obstructions. These values may vary due to differing conditions within the project boundaries and the limitations of this investigation. Anticipated shrinkage and subsidence values should be refined as necessary as based upon the results of additional findings from future subsurface geotechnical investigations. In addition, shrinkage should be monitored during construction. If percentages vary, provisions should be made to revise final grades or adjust quantities of borrow or export.

### Short-Term Excavations

Following the California Occupational and Safety Health Act (CAL-OSHA) requirements, excavations deeper than 5 feet should be sloped or shored. All excavations and shoring should conform to CAL-OSHA requirements.

Short-term excavation greater than 5 feet deep shall conform to Title 8 of the California Code of Regulations, Construction Safety Orders, Section 1504 and 1539 through 1547. Based on our exploratory trenches, it appears that Type C soils are the predominant type of soil on the project and all short-term excavation should be based on this type of soil. Deviation from the standard short-term slopes are permitted using option 4, Design by a Registered Professional Engineer (Section 1541.1).

### Slope Construction

Preliminary data indicates that cut and fill slopes should be constructed no steeper than two horizontal to one vertical. As conceptual development plans are prepared and an additional subsurface investigation conducted, the anticipated stability of existing and/or proposed cut slopes should be further evaluated. Fill slopes should be overfilled during construction and then cut back to expose fully compacted soil. A suitable alternative would be to compact the slopes during construction, then roll the final slopes to provide dense, erosion-resistant surfaces.

Where fills are to be placed against existing slopes steeper than five horizontal to one vertical, the existing slopes should be properly keyed and benched into competent native materials. The key, constructed across the toe of the slope, should be a minimum of 12 to 15 feet wide, a minimum of 2 feet deep at the toe, and sloped back to 2 percent. Benches should be constructed at approximately 2 to 4 feet vertical intervals. Typical keying and benching operations are presented on Enclosure D-1, within Appendix D.

### Slope Protection

Since the native materials are susceptible to erosion by running water, measures should be provided to prevent surface water from flowing over slope faces. Slopes at the project should be planted with a deep rooted ground cover as soon as possible

after completion. The use of succulent ground covers such as iceplant or sedum is not recommended. If watering is necessary to sustain plant growth on slopes, then the watering operation should be monitored to assure proper operation of the irrigation system and to prevent over watering.

#### Soil Expansiveness

The upper materials encountered during this investigation were tested and classified are considered to have a very low expansion potential, in accordance with Uniform Building Code, Standard 18-2. Therefore, specialized construction procedures to specifically resist expansive soil activity are not anticipated at this time. In order to verify this observation, additional evaluation of on-site soils for their expansion potential should be conducted during the grading operation. Any imported soils should also be evaluated and/or tested for expansion potential prior to importation to the site.

#### Foundation Design

If the site is prepared as recommended, the proposed single-family residential structures may be safely founded on conventional shallow foundations, either individual spread footings and/or continuous wall footings, bearing on a minimum of 24 inches of engineered compacted fill. For one and two story structures, conventional foundations should have a minimum width of 12 inches and should be established a minimum of 12 inches below lowest adjacent grade.

For the minimum width and depth, footings may be designed using a maximum soil bearing pressure of 1,800 pounds per square foot (psf) for dead plus live loads. Footings at least 15 inches wide, placed at least 18 inches below the lowest adjacent final grade, may be designed for a maximum soil bearing pressure of 2,100 psf for dead plus live loads.

The above values are net pressures; therefore, the weight of the foundations and the backfill over the foundations may be neglected when computing dead loads. The values apply to the maximum edge pressure for foundations subjected to eccentric loads or overturning. The recommended pressures apply for the total of dead plus frequently applied live loads, and incorporate a factor of safety of at least 3.0. The allowable bearing pressures may be increased by one-third for temporary wind or seismic loading. The resultant of the combined vertical and lateral seismic loads



should act within the middle one-third of the footing width. The maximum calculated edge pressure under the toe of foundations subjected to eccentric loads or overturning should not exceed the increased allowable pressure. Buildings should be setback from slopes as detailed on Enclosure D-2, within Appendix D. Additional building setbacks may be necessary upon the findings of the fault investigation for the project site.

Resistance to lateral loads will be provided by passive earth pressure and base friction. For footings bearing against compacted fill, passive earth pressure may be considered to be developed at a rate of 350 pounds per square foot per foot of depth. Base friction may be computed at 0.35 times the normal load. Base friction and passive earth pressure may be combined without reduction. These values are for dead load plus live load and may be increased by 1/3 for wind or seismic loading.

The recommendations given above are preliminary. These should be revised upon the completion of an additional geotechnical study and a fault investigation, which will identify earthquake hazards, such as surface rupture, liquefaction, seismically-induced settlements, etc, at the site.

#### Settlement

Total settlement of individual foundations will vary depending on the width of the foundation and the actual load supported. Maximum settlement of shallow foundations designed and constructed in accordance with the preceding recommendations are estimated to be on the order of 0.5 inch. Differential settlements between adjacent footings should be about one-half of the total settlement. Settlement of all foundations is expected to occur rapidly, primarily as a result of elastic compression of supporting soils as the loads are applied, and should be essentially completed shortly after initial application of the loads.

The given settlement estimates are preliminary. More precise settlement analysis should be conducted upon the performance of a further geotechnical investigation.

### Slabs-On-Grade

To provide adequate support, concrete slabs-on-grade should bear on a minimum of 12 inches of compacted soil. The final pad surfaces should be rolled to provide smooth, dense surfaces upon which to place the concrete.

Slabs to receive moisture-sensitive coverings should be provided with a moisture vapor barrier. This barrier may consist of an impermeable membrane. Two inches of sand over the membrane will reduce punctures and aid in obtaining a satisfactory concrete cure. The sand should be moistened just prior to placing of concrete.

The slabs should be protected from rapid and excessive moisture loss which could result in slab curling. Careful attention should be given to slab curing procedures, as the site area is subject to large temperature extremes, humidity, and strong winds.

### Wall Pressures

The design of footings for retaining wall structures should be performed in accordance with the recommendations described earlier under Preparation of Foundation Areas and Foundation Design. For design of retaining wall footings, the resultant of the applied loads should act in the middle one-third of the footing, and the maximum edge pressure should not exceed the basic allowable value without increase.

For design of retaining walls unrestrained against movement at the top, we recommend an equivalent fluid density of 35 pounds per cubic foot (pcf) be used. This assumes level backfill consisting of recompacted, non-expansive, native soils placed against the structures and within the back cut slope extending upward from the base of the stem at 35 degrees from the vertical or flatter.

Retaining walls subject to uniform surcharge loads within a horizontal distance behind the structure equal to the structural height should be designed to resist additional lateral loads equal to 0.3 times the surcharge load. Any isolated or line loads from adjacent foundations or vehicular loading will impose additional wall loads and should be considered individually.

To avoid over stressing or excessive tilting during placement of backfill behind walls, heavy compaction equipment should not be allowed within the zone delineated by a 45 degree line extending from the base of the wall to the fill surface. The backfill directly behind the walls should be compacted using light equipment such as hand operated vibrating plates and rollers. No material larger than 3 inches in diameter should be placed in direct contact with the wall.

Wall pressures should be verified prior to construction, when the actual backfill materials and conditions have been determined. Recommended pressures are applicable only to level, properly drained backfill with no additional surcharge loadings. If inclined backfills are proposed, this firm should be contacted to develop appropriate active earth pressure parameters. Toe bearing pressure for non-structural walls on soils, not prepared as described earlier under Preparation of Foundation Areas, should not exceed California Building Code values, (CBC Table 18-1-A).

Preliminary Pavement Design

Testing and design for preliminary pavements was conducted in accordance with the California Highway Design Manual. Based upon our preliminary sampling and testing, and upon Traffic Indices generally associated with these types of projects, it appears that the structural sections tabulated below should provide satisfactory pavements for the subject improvements:

T.I.	DESIGN R-VALUE	PRELIMINARY SECTION
5	50	0.25'AC/0.35'AB
6	50	0.25'AC/0.35'AB
7	50	0.30'AC/0.45'AB
8	50	0.40'AC/0.45'AB
AC - Asphalt Concrete		
AB - Class 2 Aggregate Base		

The above structural sections are predicated upon 90 percent relative compaction (ASTM D 1557) of all utility trench backfills and 95 percent relative compaction (ASTM D 1557) of the upper 12 inches of street subgrade soils and of any aggregate

base utilized. In addition, the crushed aggregate base should meet Caltrans specifications for Class 2 Aggregate Base.

The above pavement designs were based upon the results of preliminary sampling and testing, and should be verified by additional sampling and testing when the actual subgrade soils are exposed.

#### Sulfate Protection

The results of the soluble sulfate tests conducted on selected subgrade soils expected to be encountered at foundation levels are presented on Enclosure C.

Based on the test results, it appears that there is a negligible sulfate exposure to concrete elements in contact with the on site soils per the 2001 CBC. Therefore, no specific recommendations are given for concrete elements to be in contact with the on-site soils.

#### Construction Monitoring

Post investigative services are an important and necessary continuation of this investigation. Project plans and specifications should be reviewed by this firm prior to construction to confirm that the intent of the recommendations presented herein have been incorporated into the design. Testing for on-site/off-site pavement design should be performed after the site is rough graded. In addition, if clayey soils become more common than encountered during our subsurface exploration during site grading, expansion testing should be conducted in order to verify the impact, if any, to the sites proposed development.

During construction, sufficient and timely geotechnical observation and testing should be provided to correlate the findings of this investigation with the actual subsurface conditions exposed during construction. Items requiring observation and testing include, but are not necessarily limited to, the following:

1. Site preparation-stripping and removals.
2. Excavations, including approval of the bottom of excavation prior to filling.

3. Scarifying and recompacting prior to fill placement.
4. Subgrade preparation for pavements and slabs-on-grade.
5. Placement of engineered compacted fill and backfill, including approval of fill materials and the performance of sufficient density tests to evaluate the degree of compaction being achieved.
6. Foundation excavations.

#### TIME LIMITATIONS

The findings of this report are valid as of this date. Changes in the condition of a property can, however, occur with the passage of time, whether they be due to natural processes or the work of man on this or adjacent properties. In addition, changes in the Standards-of-Practice and/or Governmental Codes may occur. Due to such changes, the findings of this report may be invalidated wholly or in part by changes beyond our control. Therefore, this report should not be relied upon after a significant amount of time without a review by LOR Geotechnical Group, Inc. verifying the suitability of the conclusions and recommendations.

#### LIMITATIONS

This report contains geotechnical conclusions and recommendations developed solely for use by SCR V LLC and its designates for the purposes described earlier. It may not contain sufficient information for other uses or the purposes of other parties. The contents should not be extrapolated to other areas or used for other facilities without consulting LOR Geotechnical Group, Inc.

The recommendations are based on interpretations of the subsurface conditions concluded from information gained from subsurface explorations, and a surficial site reconnaissance. The interpretations may differ from actual subsurface conditions, which can vary horizontally and vertically across the site. Due to possible subsurface variations, all aspects of field construction addressed in this report should be observed and tested by the project geotechnical consultant.

S.C.R.V. LLC  
November 22, 2005

Project No. 32137.1

If parties other than LOR Geotechnical Group, Inc. provide construction monitoring services, they must be notified that they will be required to assume responsibility for the geotechnical phase of the project being completed by concurring with the recommendations provided in this report or by providing alternative recommendations.

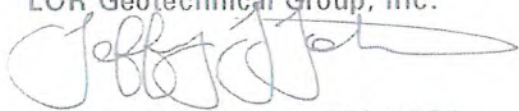
The report was prepared using generally accepted geotechnical engineering practices under the direction of a state licensed geotechnical engineer. No warranty, expressed or implied, is made as to conclusions and professional advice included in this report. Any persons using this report for bidding or construction purposes should perform such independent investigations as deemed necessary to satisfy themselves as to the surface and subsurface conditions to be encountered and the procedures to be used in the performance of work on this project.

**CLOSURE**

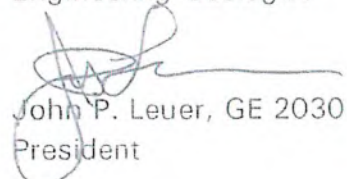
It has been a pleasure to assist you with this project. We look forward to being of further assistance to you as construction begins. Should conditions be encountered during construction that appear to be different than indicated by this report, please contact this office immediately in order that we might evaluate their effect.

Should you have any questions regarding this report, please do not hesitate to contact us as your convenience.

Respectfully submitted,  
**LOR Geotechnical Group, Inc.**



Jeffrey J. Johnston, CEG 1893  
Engineering Geologist



John P. Leuer, GE 2030  
President



JJJ:JPL:mmm

Distribution: Addressee (6)

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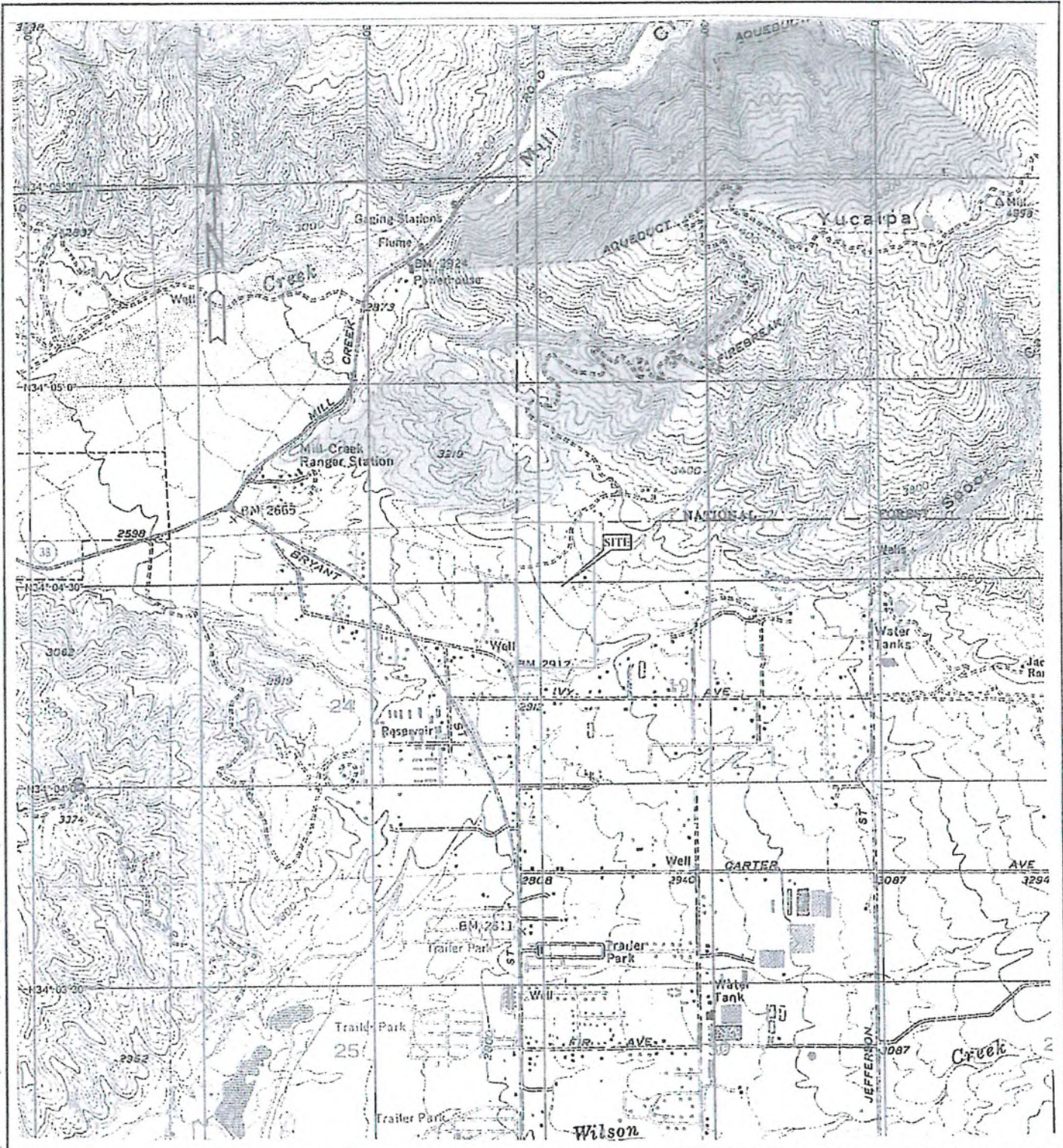
## AERIAL PHOTOGRAPHS

*(Source: San Bernardino County Public Works Aerial photographic collection)*

DATE	FLIGHT NUMBER	PHOTO NO(S).	SCALE 1" =
1938	W-88	P-1-10,11	1,200'
1955	AXL-43K	30-31	1,667'
1968	AXL-9JJ	58-59	1,667'
1986	450	75-77	2,000'
1996	528	131-132	2,000'
2005	553	11-62,63, 64	2,000'

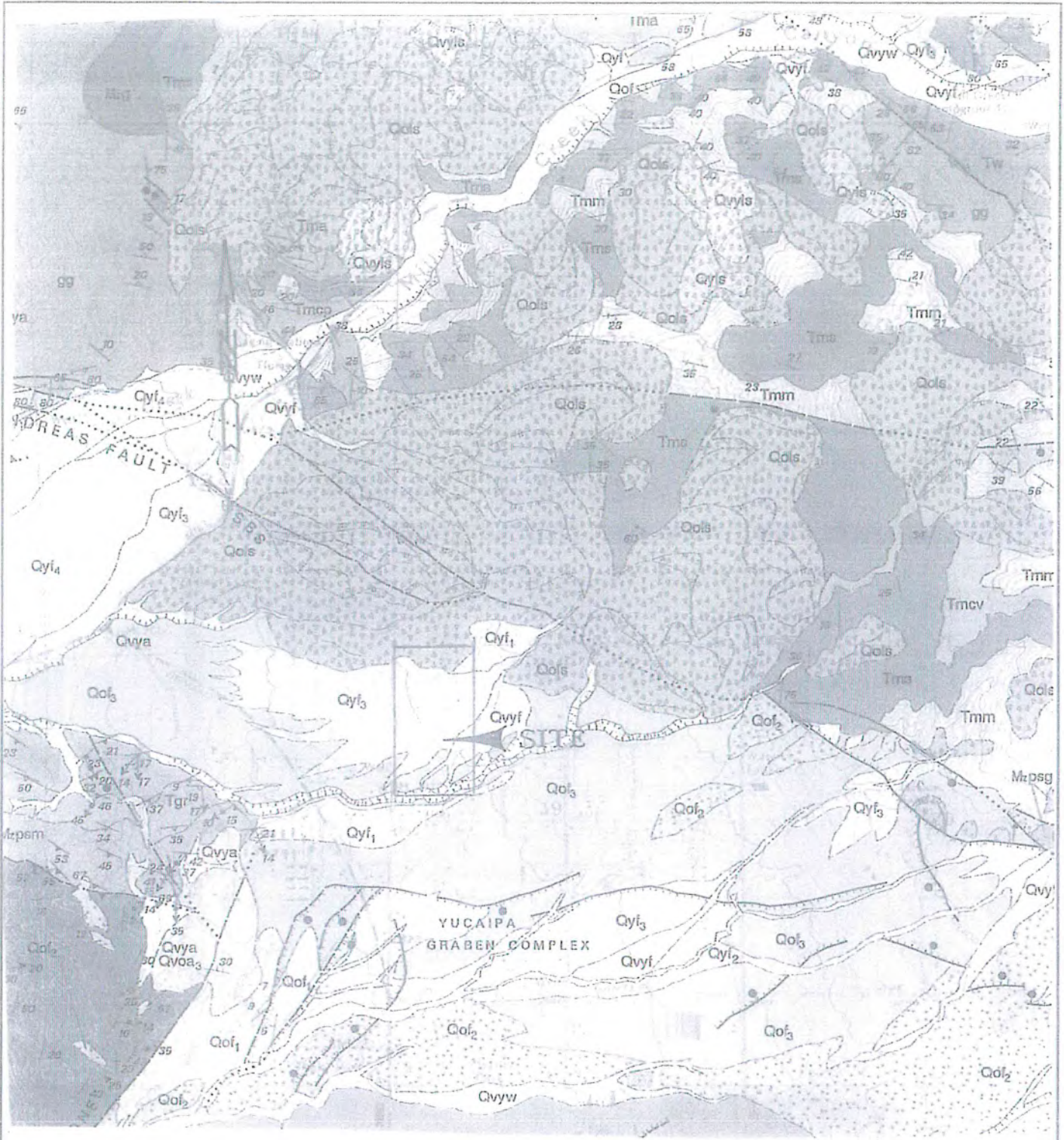
APPENDIX A

Index Map and Regional Geologic Map



### INDEX MAP

PROJECT:	TENTATIVE TRACT NO. 14927, YUCAIPA, CALIFORNIA	PROJECT NO.:	32137.1
CLIENT:	S.C.R.V. LLC	ENCLOSURE:	A-1
<b>LOR Geotechnical Group, Inc.</b>		DATE:	NOVEMBER 2005
		SCALE:	1" = 2,000'



### REGIONAL GEOLOGIC MAP

PROJECT:	TENTATIVE TRACT NO. 14927, YUCAIPA, CALIFORNIA	PROJECT NO.:	32137.1
CLIENT:	S.C.R.V. LLC	ENCLOSURE:	A-2
<b>LOR Geotechnical Group, Inc.</b>		DATE:	NOVEMBER 2005
		SCALE:	1" = 2,000'

**APPENDIX B**

**Field Investigation Program and Trench Logs**

APPENDIX B  
FIELD INVESTIGATION

Subsurface Exploration

The site was investigated via two backhoe trenches on July 15, 2005 and additional six test pits using a tract mounted 345 CAT excavator, for a total of eight test pits to maximum depth of 22 feet below the existing ground surface. The approximate locations of the trenches are shown on the attached Plate 1.

The soils encountered were continuously logged by an engineering geologist from this firm who visually observed the site, maintained detailed logs of the trenches, obtained disturbed soil samples for laboratory evaluation and testing, and classified the soils encountered by visual examination in accordance with the Unified Soil Classification System.

In-place density determinations were conducted at selected levels within the trenches utilizing the Nuclear Gauge Method (ASTM D 2922) and Sand Cone Method (ASTM D 1556). Disturbed soil samples were obtained at soil changes and other selected levels within the trenches. The samples were placed in sealed containers for transport to the laboratory.

All samples obtained were taken to our laboratory for storage and testing. Detailed logs of the trenches are presented on the enclosed Trench Logs, Enclosures B-1 through B-8. A Sampling Key is presented on Enclosure B.

**CONSISTENCY OF SOILS**

**SANDS**

SPT BLOWS	CONSISTENCY
0 - 4	Very loose
4 - 10	Loose
10 - 30	Medium dense
30 - 50	Dense
Over 50	Very dense

**COHESIVE SOILS**

SPT BLOWS	CONSISTENCY
0 - 2	Very soft
2 - 4	Soft
4 - 8	Medium
8 - 15	Stiff
15 - 30	Very stiff
30 - 60	Hard
Over 60	Very Hard

**MAJOR DIVISIONS**

			LITHO LOG	U.S. C.S.	TYPICAL DESCRIPTIONS		
COARSE GRAINED SOILS	GRAVEL AND GRAVELLY SOILS	CLEAN GRAVELS (LITTLE OR NO FINES)		GW	WELL-GRADED GRAVELS, GRAVEL-SAND MIXTURES, LITTLE OR NO FINES		
		GRAVELS WITH FINES (APPRECIABLE AMOUNT OF FINES)		GP	POORLY-GRADED GRAVELS, GRAVEL-SAND MIXTURES, LITTLE OR NO FINES		
	MORE THAN 50% OF COARSE FRACTION RETAINED ON NO. 4 SIEVE	SAND AND SANDY SOILS	CLEAN SAND (LITTLE OR NO FINES)		SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES	
			SANDS WITH FINES (APPRECIABLE AMOUNT OF FINES)		SM	SILTY SAND, SAND-SILT MIXTURES	
		MORE THAN 50% OF COARSE FRACTION PASSING NO. 4 SIEVE	SILTS AND CLAYS	LIQUID LIMIT LESS THAN 50		ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
				LIQUID LIMIT GREATER THAN 50		CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
FINE GRAINED SOILS	SILTS AND CLAYS	LIQUID LIMIT LESS THAN 50		OL	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY		
		LIQUID LIMIT GREATER THAN 50		MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SAND OR SILTY SOILS		
		LIQUID LIMIT GREATER THAN 50		CH	INORGANIC CLAYS OF RICH PLASTICITY, FAT CLAYS		
HIGHLY ORGANIC SOILS				OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS		
				PT	PEAT, HUMUS, SWAMP SOILS AND MANURE WITH HIGH ORGANIC MATERIALS		

**SAMPLING KEY**

Symbol	Description
	- INDICATES CALIFORNIA SPLIT SPOON SOIL SAMPLE
	- INDICATES SAND CONE OR NUCLEAR DENSITY TEST
	- INDICATES BAG SAMPLE
	- INDICATES STANDARD PENETRATION TEST (SPT) SOIL SAMPLE

NOTE: DUAL SYMBOLS ARE USED TO INDICATE BORDERLINE SOIL CLASSIFICATIONS

**PARTICLE SIZE LIMITS**

BOULDERS	COBBLES	GRAVEL		SAND			SILT OR CLAY
		COARSE	FINE	COARSE	MEDIUM	FINE	
		3/4"	No. 4	No. 10	No. 40	> 200	

(U.S. STANDARD SIEVE SIZE)

**SAMPLE KEY**

PROJECT:	TENTATIVE TRACT NO. 14927, YUCAIPA, CALIFORNIA	PROJECT NO.:	32137.1
CLIENT:	S.C.R.V. LLC	ENCLOSURE:	B
<b>LOR Geotechnical Group, Inc.</b>		DATE:	NOVEMBER 2005
		SCALE:	NO SCALE

# LOG OF TRENCH T-1

DEPTH IN FEET	TEST DATA				LITHOLOGY	U.S.C.S
	ESTIMATED COMPACTION (%)	MOISTURE CONTENT (%)	DRY DENSITY (PCF)	SAMPLE TYPE		
0						
					SM	TOPSOIL: SILTY SAND, approximately 2% subangular cobbles of hard sandstone, 8% gravel, 10% coarse grained sand, 15% medium grained sand, 30% fine grained sand, 35% silty fines, very dark brown (10yr 2/2) dry, porous.
					SM	@ 1 foot COLLUVIUM. Subangular cobbles to boulders of Mill Creek Formation SANDSTONE in a SILTY SAND matrix, approximately 20% clast, 5% medium grained sand, 45% fine grained sand, 30% silty fines, light olive brown, (2.5yr 5/6), dry, most clast are angled about 30 to 40 degrees to south, parallel to slope face.
5						
					SM	@ 6 feet OLDER ALLUVIUM: SILTY SAND, approximately 5% coarse grained sand, 5% medium grained sand, 50% fine grained sand, 35% silty fines, strong brown (7.5yr 4/6), damp, dense, massive, severe discontinuous layers of illuviated clays (Bt horizons ) up to 1/2" thick, mottled, contact with overlying colluvium is relatively flat, dipping 10 degrees to the southwest.
10						END OF TRENCH
						No fill No caving No groundwater No bedrock
15						
20						

PROJECT:	Tentative Tract No. 14297	PROJECT NUMBER:	32137.1
CLIENT:	SCRV, LLC	ELEVATION:	3040
<b>LOR</b> GEOTECHNICAL GROUP INC.		DATE EXCAVATED:	July 15, 2005
		EQUIPMENT:	New Holland
		BUCKET W.: 24"   ENCLOSURE:	B-1



# LOG OF TRENCH T-2

TEST DATA							U.S.C.S	DESCRIPTION
DEPTH IN FEET	ESTIMATED COMPACTION (%)	MOISTURE CONTENT (%)	DRY DENSITY (PCF)	SAMPLE TYPE	LITHOLOGY			
0							SM SM	<p><b>TOPSOIL:</b> SILTY SAND, approximately 2% coarse grained sand, 8% medium grained sand, 60% fine grained sand, 30% silty fines, tan, dry, loose, porous.</p> <p><b>@ 0.5 feet COLLUVIUM:</b> SILTY SAND, approximately 10% cobbles of Mill Creek Formation SANDSTONE, 15% gravel, 5% coarse grained sand, 10% medium grained sand, 55% fine grained sand, 15% silty fines, yellowish brown, (10yr 5/8), dry, dense.</p>
5								
10							SM	<p><b>@ 7 feet OLDER ALLUVIUM:</b> SILTY SAND, approximately 2% coarse grained sand, 58% fine grained sand, 40% silty fines, strong brown, (7.5yr 5/8), damp, dense, mottled, some BT horizons.</p>
15								<p><b>END OF TRENCH</b></p> <p>No fill No caving No groundwater No bedrock</p>
20								

PROJECT:	Tentative Tract No. 14297	PROJECT NUMBER:	32137.1
CLIENT:	SCRV, LLC	ELEVATION:	3000
<b>LOR</b> GEOTECHNICAL GROUP INC.		DATE EXCAVATED:	July 15, 2005
		EQUIPMENT:	New Holland
		BUCKET W.: 24"	ENCLOSURE:

# LOG OF TRENCH T-3

DEPTH IN FEET	TEST DATA			SAMPLE TYPE	LITHOLOGY	U.S.C.S.
	ESTIMATED COMPACTION (%)	MOISTURE CONTENT (%)	DRY DENSITY (PCF)			
0						SM
						GW
5	91	3.5	117.6			
10	95	3.1	123.0			
15						SM
20						

## DESCRIPTION

TOPSOIL: SILTY SAND, approximately 20% gravel, 15% coarse grained sand, 20% medium grained sand, 15% fine grained sand, 30% silty fines, brown, damp to dry, loose, porous.  
 @ 1 foot ALLUVIUM: WELL GRADED GRAVEL, approximately 5% boulders to 18" diameter, 15% cobbles, 35% gravel, 10% coarse grained sand, 10% medium grained sand, 15% fine grained sand, 10% silty fines, yellowish brown, dry, loose.  
 @ 3 feet moderately dense.

@ 16 feet OLDER ALLUVIUM: SILTY SAND, approximately 60% fine grained sand, 40% silty fines, grayish brown, damp, dense.

END OF TRENCH

No fill  
 No caving  
 No groundwater  
 No bedrock

PROJECT:	Tentative Tract No. 14297	PROJECT NUMBER:	32137.1
CLIENT:	SCRV, LLC	ELEVATION:	2980
<b>LOR</b> GEOTECHNICAL GROUP INC.		DATE EXCAVATED:	August 26, 2005
		EQUIPMENT:	Cat 345
	BUCKET W.: 5'	ENCLOSURE:	B-3

# LOG OF TRENCH T-4

TEST DATA							U.S.C.S	DESCRIPTION
DEPTH IN FEET		ESTIMATED COMPACTION (%)	MOISTURE CONTENT (%)	DRY DENSITY (PCF)	SAMPLE TYPE	LITHOLOGY		
0							SM	TOPSOIL: SILTY SAND, approximately 5% cobbles to 10", 20% gravel, 15% coarse grained sand, 10% medium grained sand, 35% fine grained sand, 15% silty fines, brown, dry, loose, porous.
5							GW	@ 6 feet ALLUVIUM: WELL GRADED GRAVEL, approximately 10% boulders to 3' diameter, 15% cobbles, 40% gravel, 5% coarse grained sand, 10% medium grained sand, 15% fine grained sand, 5% silty fines, yellowish brown, dry, loose.
10								
15								
20							SM	@ 18 feet OLDER ALLUVIUM: SILTY SAND, approximately 65% fine grained sand, 35% silty fines, grayish brown, damp, dense.
								END OF TRENCH  No fill No caving No groundwater No bedrock

PROJECT:	Tentative Tract No. 14297	PROJECT NUMBER:	32137.1
CLIENT:	SCRV, LLC	ELEVATION:	2970
<b>LOR</b> GEOTECHNICAL GROUP INC.		DATE EXCAVATED:	August 26, 2005
		EQUIPMENT:	Cat 345
		BUCKET W.: 5'	ENCLOSURE: B-4

# LOG OF TRENCH T-5

TEST DATA							U.S.C.S	DESCRIPTION
DEPTH IN FEET	ESTIMATED COMPACTION (%)	MOISTURE CONTENT (%)	DRY DENSITY (PCF)	SAMPLE TYPE	LITHOLOGY			
0						SM	TOPSOIL, SILTY SAND, approximately 20% gravel, 15% coarse grained sand, 20% medium grained sand, 25% fine grained sand, 20% silty fines, brown, dry, loose, porous.	
5	74	5.0	95.2	⊗		SM	@ 3 feet ALLUVIUM, SILTY SAND, approximately 5% gravel, 10% medium grained sand, 30% fine grained sand, 30% silty fines, yellowish tan, damp to dry, loose.	
10				⊗			@ 12 feet very dense, cobbles weathered, (older alluvium)?	
15							END OF TRENCH	
20							No fill No caving No groundwater No bedrock	

PROJECT:	Tentative Tract No. 14297	PROJECT NUMBER:	32137.1
CLIENT:	SCRV, LLC	ELEVATION:	2930
<b>LOR</b> GEOTECHNICAL GROUP INC.		DATE EXCAVATED:	August 26, 2005
		EQUIPMENT:	Cat 345
		BUCKET W.: 5'	ENCLOSURE:

# LOG OF TRENCH T-6

TEST DATA							U.S.C.S.	DESCRIPTION
DEPTH IN FEET	ESTIMATED COMPACTION (%)	MOISTURE CONTENT (%)	DRY DENSITY (PCF)	SAMPLE TYPE	LITHOLOGY			
0						SM	<p><b>TOPSOIL: SILTY SAND</b>, approximately 5% coarse grained sand, 15% medium grained sand, 50% fine grained sand, 30% silty fines, brown, dry, loose, porous, occasional cobble-boulder.</p> <p>@ 1 foot <b>ALLUVIUM: SILTY SAND</b>, approximately 10% coarse grained sand, 20% medium grained sand, 40% fine grained sand, 20% silty fines, brown, damp, small percentage of cobbles to 10" diameter, increasing with depth.</p> <p>@ 3 feet layer of boulders and cobbles on east side of trench.</p> <p>@ 4 feet color change to yellowish brown.</p> <p>@ 5 feet increasing gravel/cobble/boulder content to approximately 5% boulders, 15% cobbles, 50% sand, 30% silty fines, yellowish brown, damp, moderately dense, no significant caving.</p> <p>@ 6 feet slight caving.</p>	
5	87	5.6	114.6			SM		
10								
15							END OF TRENCH	
20							<p>No fill</p> <p>Caving 6-10'</p> <p>No groundwater</p> <p>No bedrock</p>	

PROJECT:	Tentative Tract No. 14297	PROJECT NUMBER:	32137.1
CLIENT:	SCRV, LLC	ELEVATION:	3010
<b>LOR</b> GEOTECHNICAL GROUP INC.		DATE EXCAVATED:	August 26, 2005
		EQUIPMENT:	Cat 345
		BUCKET W.: 5'	ENCLOSURE:

# LOG OF TRENCH T-7

TEST DATA						LITHOLOGY	U.S.C.S	DESCRIPTION
DEPTH IN FEET	ESTIMATED COMPACTION (%)	MOISTURE CONTENT (%)	DRY DENSITY (PCF)	SAMPLE TYPE				
0						SM	TOPSOIL: SILTY SAND, approximately 5% coarse grained sand, 15% medium grained sand, 45% fine grained sand, 35% silty fines, brown, dry, loose.	
	76	3.2	99.3			SM	@ 2 feet ALLUVIUM: SILTY SAND, approximately 20% gravel, 2% coarse grained sand, 18% medium grained sand, 40% fine grained sand, 20% silty fines, brown, damp to dry, very porous, some lenses of cobbles and boulders.	
5	93	3.3	121.2			GW	@ 5 feet boulder layer on east end of trench to 6 feet. @ 5 feet on west end of trench becomes WELL GRADED GRAVEL with sand, approximately 5% boulders to 3" maximum diameter, 20% cobbles, 30% gravel, 40% sand, 10% silty fines, yellowish brown, damp, moderately dense, slight caving.  @ 8 feet lense of nearly 30% cobbles, 70% gravel, not continuous.	
10								
15							END OF TRENCH  No fill No caving No groundwater No bedrock	
20								

PROJECT:	Tentative Tract No. 14297	PROJECT NUMBER:	32137.1
CLIENT:	SCRV, LLC	ELEVATION:	3020
<b>LOR</b> GEOTECHNICAL GROUP INC.		DATE EXCAVATED:	August 26, 2005
		EQUIPMENT:	Cat 345
	BUCKET W.: 5'	ENCLOSURE:	B-7

# LOG OF TRENCH T-8

TEST DATA							U.S.C.S	DESCRIPTION
DEPTH IN FEET	ESTIMATED COMPACTION (%)	MOISTURE CONTENT (%)	DRY DENSITY (PCF)	SAMPLE TYPE	LITHOLOGY			
0						SM	TOPSOIL: SILTY SAND, approximately 10% coarse grained sand, 15% medium grained sand, 40% fine grained sand, 35% silty fines.	
						GW	@ 1.5 feet <u>STREAM ALLUVIUM</u> : WELL GRADED GRAVEL, with cobbles and boulders, highly variable content, loose, dry, porous, brown, up to 40% cobbles in some areas.	
	79	2.7	103.4			SM	@ 3.5 feet <u>ALLUVIUM</u> : SILTY SAND, with cobbles and boulders, approximately 5% cobbles, 40% gravel, 5% coarse grained sand, 10% medium grained sand, 20% fine grained sand, 20% silty fines, light yellowish brown, damp, loose. @ 5 feet dense.	
5							@ 8 feet high percentage of cobbles and boulders.	
	88	5.0	114.8				@ 10 feet approximately 5% medium grained sand, 60% fine grained sand, 35% silty fines.  @ 13 feet increasing gravel-cobble content to approximately 15% cobbles, 30% gravel, 35% fine grained sand, 20% silty fines.	
10								
15							END OF TRENCH  No fill No caving No groundwater No bedrock	
20								

PROJECT:	Tentative Tract No. 14297	PROJECT NUMBER:	32137.1
CLIENT:	SCRV, LLC	ELEVATION:	3055
<b>LOR</b> GEOTECHNICAL GROUP INC.		DATE EXCAVATED:	August 26, 2005
		EQUIPMENT:	Cat 345
	BUCKET W.: 5'	ENCLOSURE:	B-8

## APPENDIX C

### Laboratory Testing Program and Test Results



APPENDIX C  
LABORATORY TESTING

General

Selected soil samples obtained from the trenches were tested in our laboratory to evaluate the physical properties of the soils affecting foundation design and construction procedures. The laboratory testing program performed in conjunction with our investigation included moisture content, dry density, laboratory compaction, sieve analysis, sand equivalent, R-value, and soluble sulfate content. Descriptions of the laboratory tests are presented in the following paragraphs.

Moisture-Density Tests

The dry unit weight and field moisture content were determined for selected samples at various levels in the existing trench. The results are shown on the trench logs, Enclosures B-1 through B-8, for convenient correlation with the soil profile.

Soluble Sulfate Content Tests

The soluble sulfate content of selected subgrade soils was evaluated. The concentration of soluble sulfates in the soils was determined by measuring the optical density of a barium sulfate precipitate. The precipitate results from a reaction of barium chloride with water extractions from the soil samples. The measured optical density is correlated with readings on precipitates of known sulfate concentrations. The test results are presented on the following table:

SOLUBLE SULFATE CONTENT TESTS			
Trench Number	Sample Depth (feet)	Soil Description	Sulfate Content (percent)
T-6	0 - 1	(SM) Silty Sand	< 0.005
T-7	0 - 1	(SM) Silty Sand	< 0.005

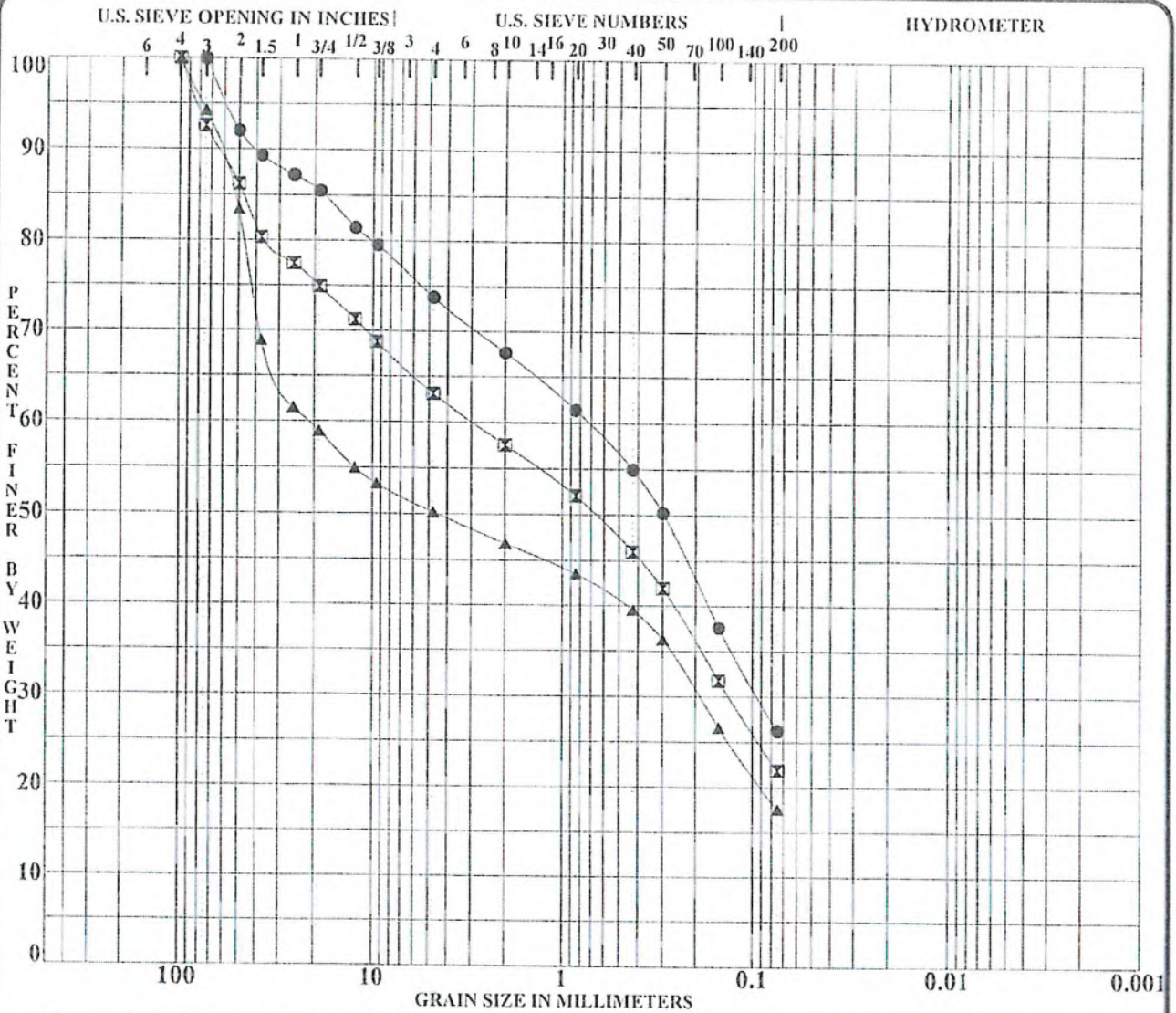
Laboratory Compaction

Selected soil samples were tested in the laboratory to determine compaction characteristics using the ASTM D 1557-00 compaction test method. The results are presented in the following table:

LABORATORY COMPACTION				
Trench Number	Sample Depth (feet)	Soil Description	Maximum Dry Density (pcf)	Optimum Moisture Content (percent)
T-3	3	(GW) Well Graded Sand	129.0	9.5
T-5	3	(SM) Silty Sand	129.0	10.0
T-7	6	(GW) Well Graded Sand	131.0	8.0

R-Value Test

Soil samples were obtained to represent probable pavement subgrade and sieve analysis and sand equipment testing was conducted on each sample. An R-value test was conducted, in accordance with Caltrans Test Method Number on the basis of these indicator tests. The results of our sieve analysis, sand equivalent, and R-value tests are presented on Enclosure C-1.





March 7, 2006

S.C.R.V., LLC  
11718 Barrington Court #804  
Los Angeles, California 90049

Project No. 32137.12

Attention: Mr. Tom Tenney

Subject: Response to City of Yucaipa Review Letter by Mr. D. Scott Magorien, CEG, dated December 31, 2005, of Preliminary Geotechnical Investigation.

References: LOR Geotechnical Group, Inc., 2005, Preliminary Geotechnical Investigation, Tentative Tract 14297, Yucaipa, California, dated November 22, 2005, Project No. 32137.1.

LOR Geotechnical Group, Inc., 2005b, Subsurface Fault Investigation, Tentative Tract No. 14927, Yucaipa, California, dated November 30, 2005, Project No. 32137.3

As requested, we have reviewed the letter prepared by Mr. D. Scott Magorien, CEG, dated December 31, 2005, in which Mr. Magorien provides a review of our report referenced above. In his letter Mr. Magorien has a total of 15 review comments, pertaining to spelling errors, references to grammatical errors, and/or request for additional data or comments. As requested, we have provided the additional responses, information, and/or changes requested.

**Response to Comment 1**

The first sentence of the third paragraph on page 2 within our report should be modified as follows: "The far northern portion of the site, composed of an irregular shaped parcel extending from *approximately* 490 feet to 240 feet south of the northern property line and consisting of 11.85 acres, is not part of this tract development at this time and is referred to on the plans as a "Remainder Parcel."

S.C.R.V., LLC  
March 7, 2006

Project No. 32137.12

We are attaching a map (Enclosure 1) prepared by Sitetech Inc., showing the precise location of this parcel. On this map, it shows the dimensions of the "Remaining Parcel" as irregular in shape and extending south of the northern property line at an exact distance of 238.00 feet on the west side and 491.02 feet on the east side, not 240 and 490 feet respectively as incorrectly stated in our report.

#### Response to Comment 2

A copy of the rough grading plan, prepared by Sitetech, Inc., is attached as Plate 1.

#### Response to Comment 3

Please change the term "planning" with the term "planar."

#### Response to Comment 4

We conducted a review of aerial photographs of the site and immediate surrounding areas. Our analysis of the photographs noted a very faint, but relatively straight line, possibly a lineament. However, analysis of other photographs noted that this feature appears to be a very narrow dirt lane, and/or a fence line and thus not related to any tectonic activity at this location. This interpretation was further strengthened by our subsurface fault trenching that crossed this area with no faulting noted (LOR, 2005b). The Glossary of Geology, prepared by the American Geological Institute, defines a lineament as a straight topographic feature, or other, interpreted or believed to be tectonic in origin. Therefore, to show this feature, which we interpreted to be man-made in origin, on our final geologic map as having a potential for tectonic origin when our study indicated it was not, would be inappropriate.

#### Response to Comment 5

Please modify the sentence on page 4 as follows: "Logs of the subsurface conditions encountered in the exploratory trenches were ~~maintained~~ *produced* by a geologist from this firm".

Response to Comment 6

Surficial units such as topsoils, thin fills, etc., are generally not shown on geologic maps. If this were the case most geologic maps would only show items such as topsoil, grass, concrete, etc., and, while they would be technically correct, they would be essentially useless. The sidewall of our test pit T-1 revealed approximately 1-foot of topsoil, overlying colluvium, or slope wash down to a depth of approximately 6 feet. At this depth older alluvium was noted. This is about the cut off depth of surficial materials which are left off the map, which is why the geologic map at this location shows Qoal(ls) at this location, or Quaternary older alluvium which may have been associated with a landslide. Our test pit T-2 has similar conditions. Our test pit T-3 revealed 1 foot of topsoil overlying unconsolidated units of Well Graded Gravel, which were given the geologic interpretation of alluvium in accordance with the recommendations made in Table 13 of the ASTM Standard D2488, ASTM, 2000, Designation:D2488-00 Standard Practice for Description and Identification of Soils (Visual Manual Procedure), Annual Book of ASTM Standards, Section Four, Volume 04.08. These logs are considered to be a descriptions of the conditions and interpretations noted in the test pits. The geologic map prepared as Plate 1, utilizes the data from these logs, along with additional data, primarily from aerial photo review, site mapping, and a compilation of past studies, to further subdivide the alluvial units at the site into relative ages. The map is an interpretation of the site data, while the logs are actual data and should be left unaltered.

Response to Comment 7

The three compaction curves are attached at Enclosures 2 through 4.

Response to Comment 8

As noted on page 8 of our preliminary geotechnical report: "The entire site lies within an Alquist-Priolo Earthquake Fault Zone (formerly Special Studies Zone) designated by the State of California associated with the San Andreas Fault Zone (Hart and Bryant, 1997). The impact of this designation, as well as the potential for active faulting at the site, was addressed in our fault hazard report conducted for the site (LOR 2005)". The AP map that illustrated this was supplied in our Subsurface Fault Investigation for the site, (LOR, 2005b) referenced in the subject preliminary geotechnical report. It was our intent to direct all future parties, including planners,

S.C.R.V., LLC  
March 7, 2006

Project No. 32137.12

developers and contractors, as well as individual property owners to read both reports, which we continue to strongly recommend. However, in order to expedite this review, we are attaching a copy of the AP map shown in the Subsurface Fault Investigation as Enclosure 5.

#### Response to Comment 9

As noted in our report, the Regional Geologic Map shown on Enclosure A-2 was taken from the Geologic Map and Digital Database of the Yucaipa 7.5 Quadrangle, San Bernardino and Riverside Counties, California, v. 1.0, prepared by the USGS as Open File Report 03-301. As shown on this map, the USGS divided the surficial materials generally underlying the subject site into five different surficial units, described by the USGS as:

- Qols Old landslide deposit (late to middle Pleistocene)
- Qyf1 Young alluvial fan deposit unit 1 (early Holocene and latest Pleistocene)
- Qyf3 Young alluvial fan deposit unit 3 (middle Holocene)
- Qof3 Old alluvial fan deposit unit 3 (late to middle Pleistocene)
- Qvyf Very young alluvial fan deposits (latest Holocene)
- Qvyw Very young wash deposits, active (latest Holocene)

#### Response to Comment 10

Please modify the second sentence on the third paragraph of page 5 as follows: " As noted on the Regional Geologic Map, Enclosure A-2 within Appendix A, the far western end of this ridge was mapped by the USGS as an ancient landslide complex covering over 5 square miles of land located just above the site and ~~extruding~~ *extending* down onto the northern portion of the "Remainder Parcel" portion of the site".

#### Response to Comment 11

Please modify the last sentence on the first paragraph of page 6 as follows: " This fan has been subsequently modified by incision of younger streams. ~~as well as tectonically modified by offsetting along the fault and uplifted, or down dropped, along a succession of terrace risers~~".



Response to Comment 12

- A. Please modify the text header in the report on page 6 as follows: Artificial Fill (Map Symbols Af and Afh).
- B. While the presence of these units across many of the gullies on the site, our excavations within these areas, such as in T-5 indicated these units to be relatively thin, for example young alluvial deposits interpreted as stream deposits were noted to a depth of 3.5 feet in T-8. As previously noted, our map does not show these very thin units. If it did the vast majority of the map would simply show the unit "topsoil." However, please modify the text header on page 6 as follows:

Active Young Alluvial Deposits (Map Symbol Qw Ga): Along the bottom of the larger gullies there are re-worked materials that have been eroded from the upper portions of the fan and are generally in active transport during heavy precipitation. These materials were noted to consist of highly variable content from silt to large boulders, and are in a loose, very porous, state, *and generally less than 3 feet in thickness.*

- C. We concur with the conclusion by the reviewer that the site lies in an area with a potential for debris flows as well as a potential for high volume run-off from storm water draining out of the two canyons above, and northeast, of the site. The attached grading plans prepared by the project design engineering firm of Sitetech Inc., indicate that a relatively large "rip-rap" channel has been incorporated into the proposed design for the mitigation of this potential, in addition grading of the site has been planned to raise many of the lots above the general drainage course. It is under purview of the design civil engineer to ensure this feature and the design grading is adequate for the anticipated run-offs. The following paragraph should be inserted into the Conclusions sections of our report as follows:

Flooding and Severe Erosion

We contacted the city of Yucaipa Department of Public Services who informed us that the subject site is located within a zone noted by the Flood Insurance Rate Maps (FIRM) prepared by Federal Emergency Management Agency

(FEMA) as "Zone D" which is defined as an area of undetermined flood hazard. Our study noted that much of the site is underlain by coarse to very coarse grained alluvial sediments, main containing a relatively high percentage of large boulders. This would indicate that much of the site has experienced periods of high run-off from storm waters emanating out of the Yucaipa Ridge above the site. The potential for site flooding should therefore be evaluated by the project design civil engineer.

- D. Please revise the third paragraph on page 7 as follows: ~~"While these units are exposed at the surface in only a few areas on the site, the entire site is thought to be underlain by these units that~~ and may represent a much earlier phase of alluvial fan deposition. *No explorations were placed in these units due to the lack of any proposed development in this area.* These units also vary highly in composition, but in our explorations were noted ~~tended to be much finer with some sandy silts noted. Across much of the site, these units have been covered with 15 feet or more of younger, coarser grained materials. The older alluvial units also tend to be much"~~.
- E. We respectfully disagree with this conclusion of the reviewer on this comment. This feature was thoroughly discussed in our referenced fault investigation for the site (LOR, 2005b). The recommendations for mitigators are given in both reports and modified under the Response to Comment 14 below.
- F. As stated in our report, the entire site is located within an AP zone. How can the limits of an area that lie beyond the map be indicated on the map? The tract limits are shown on the attached grading plans.
- G. The tract number 14927 has been changed to 14297 on the attached plans.

#### Response to Comment 13

Please revise the first sentence within the third paragraph on page 10 as follows:

~~"As noted previously, the potential for landslides occurring across the majority of the site is considered nil due to the low gradient"~~. The setback zone is indicated on the attached Plate 1.

Response to Comment 14

Please revise the Geologic Mitigations section on page 14 as follows: ~~"The San Andreas fault has been mapped by several authors as lying very close, perhaps just adjacent. This has resulted in building set back zones along the far northern portion of the site, which were given in the A separate fault hazards report was conducted for the site by this firm (LOR 2005b). The recommendations in that report should be incorporated into all future developments at the site. No features were noted within the proposed development areas of the tract that would fall into the classification of an "active" earthquake hazard as defined by the State of California Alquist-Priolo Earthquake Fault Zone act. However we did note a relatively large sequence of "sub-horizontal shears" extending along the base of the bluff that lies in an area on the site where no development is currently planned. As it has not yet been determined if these features represent active faulting along this location, or an ancient landslide, at this time we are recommending that all structures should be set back a safe distance from the toe of this feature, even though this setback zone may be drastically reduced, or even removed entirely based on future studies.~~

*The proposed grading plan, attached, shows that the northernmost pads on the site consist of lots 26, 28, 30, and 33, from east to west. The proposed building pads on these lots are all approximately 150 feet or more south of the bluff, therefore, a setback zone would appear to serve no useful purposes except to limit future development on the "Remainder Parcel". Therefore, we made the recommendations that any future changes to the current plan or future development of the "Remainder Parcel" should only be considered after future studies have been conducted to demonstrate the suitability of this area."*

At the request of the City of Yucaipa's geologist, we have provided the requested information that was previously submitted to the City in the fault hazards study conducted by this firm, into this review letter for the soils engineering study of the site.

We would like to take this opportunity to note that while it may be the opinion of the reviewer that all of the soils and engineering geologic aspects of the project should be encompassed into a single report that contains, "...all appropriate recommendations for future development..", it is not a requirement of the City of Yucaipa. In addition, we can note numerous sources that appear to indicate the industry standard is just

the opposite. Perhaps the most important of these is the California Building Code. In Section 3309.5 of the CBC, the requirements are given for a "Soils Engineering Report". However, in Section 3309.6 the requirements are given for a separate report called an "Engineering Geology Report". The aspects of each of these overlap, but neither report is expected to be comprehensive of both.

The State of California Geological Survey (previously the DMG), which sets the standards for fault reports in Earthquake Fault Zones, provides a series of "geologic notes" giving their recommendations for the preparation of different types of reports. For example, Note 41 gives recommendations for the preparation of a geologic report while Note 42 gives the recommendations for the preparation of a fault hazard report. Again, while these all have overlapping issues, such as a discussion of the regional and site geologic conditions, nowhere is it recommended that one report should ultimately take precedence over the others and contain all of the recommendations for future developments.

The State of California, Board of Geologist and Geophysicist set up a Technical Advisory Committee, which published four separate documents entitled:

*"Guidelines for Engineering and Geologic Reports"*  
*"General Guidelines for Earthquake and/or Fault Hazard Reports"*  
*"Guidelines for Geophysical Reports"*  
*"Guidelines for Groundwater Reports"*

These guidelines give instructions on how to prepare the various aspects of four separate reports which address different aspects of a site. The recommended subjects overlap, but none of them are recommended to be a comprehensive report,

It should be noted that not all firms, such as LOR Geotechnical Group, Inc., provide both aspects of soils engineering and engineering geology. There are many respected engineering geology firms/consultants and soils engineering firms/consultants that do not provide both disciplines and, therefore, could not provide all appropriate recommendations for future development.

S.C.R.V., LLC  
March 7, 2006

Project No. 32137.12

Response to Comment 15

On page 17 of our report the following statement appears to provide the requested information: "Unless approved by the geotechnical engineer, rock or similar irreducible material with a maximum dimension greater than 12 inches should not be buried or placed in fills. Rocks or other irreducible material greater than 12 inches in diameter should be disposed of within designated rock disposal areas approved by the soils engineer and/or local governing agency".

CLOSURE

We hope this letter has adequately provided the clarification requested. If you have any questions please do not hesitate to contact us at your convenience. This letter should be made part of and attached to the referenced report.

Respectfully,  
LOR Geotechnical Group, Inc.

Jeffrey J. Johnston, CEG 1893  
Engineering Geologist



John P. Leuer, GE 2030  
President



JJJ:AAT:JPL/mmm

Attachments: 12/31/05 Review Letter  
Enclosure 1-Tract Map  
Enclosures 2 through 4-Curves  
Enclosure 5 - Earthquake Fault Zone Map  
Plate 1

Distribution: Addressee (1)

*D. SCOTT MAGORIEN, C.E.G.*  
ENGINEERING GEOLOGIST

December 31, 2005

Mr. Raymond Casey  
City of Yucaipa  
34272 Yucaipa Blvd.  
Yucaipa, CA 92399-9950

**Subject:** Review of November 22, 2005, LOR Geotechnical Group, Inc. report entitled "Preliminary Geotechnical Investigation Tentative Tract 14297, Yucaipa, California;" prepared for S.C.R.V., LLC, Project No. 32137.1

Dear Mr. Casey,

As requested, I have reviewed the subject report prepared by LOR Geotechnical Group, Inc. (LOR) for the proposed residential development in terms of onsite geologic hazards and geotechnical constraints. Based on my review, I am requesting LOR respond to the following comments, provide additional information where requested, and make the appropriate revisions prior to approval of the report.

Comments (w/report page (p.) number shown in parenthesis for reference)

1. (p.2) The location of the "Remainder Parcel" is incorrectly stated in the report.
2. (p.2) The report refers to depths of cuts and fills for particular lots, but no grading plan is included in the report. Provide a copy of the grading plan that was reviewed for this study.
3. (p.2) How does topography "planning"? Provide a discussion of surface gradients within the property.
4. (p.3) Photolineaments were apparently identified and are reportedly shown on Plate 1. All lineaments need to be shown on the map, which also needs to be labeled "Geologic Map." In addition, a source reference is needed on Plate 1 for LOR fault trench nos. 1 and 2.
5. (p.4) The report indicates that the exploratory trenches were "maintained by a geologist of this firm." What does this mean?

510 Superior, Suite 200 Newport Beach, CA 92663 • telephone (949) 574-7096 • fax (949) 642-4474

Review of LOR Geotechnical, Inc's., Preliminary Geotechnical Report  
Tentative Tract 14297, City of Yucaipa, CA

December 31, 2005

● Page 2

6. With exception of "Colluvium," the geologic unit identifiers in the eight trench logs do not match those on Plate 1. Revise accordingly.
7. Provide the three compaction curves for the soils that were tested.
8. Provide a map showing the project site with respect to the A-P Earthquake Fault Zone.
9. Provide an explanation of symbols for the "Regional Geologic Map," as well as a source reference.
10. (p.5) Explain how a landslide "extrudes." This term implies a compressional component.
11. (p.6) Provide a map showing the "succession of risers and terraces" that was used to characterize the project area and vicinity.
12. The following comments relate to Plate 1.
  - a. The geologic contacts for afh and af are ill-defined. Where is the afh unit on the map?
  - b. The Qal unit(s) are not shown on the map.
  - c. The so-called Qal1 alluvial fan deposits appear to be associated with significant modern debris flows emanating from a narrow offsite(?) canyon. The Qal2 unit appears to correspond to the Matti et.al. (2003) Qyf3 geologic unit, which also emanates from an offsite drainage canyon. What impact do future debris flows have on the proposed development?
  - d. The description provided for the Qal3-4 units needs to be expanded upon. In which "explorations" were these units observed?
  - e. Geologic unit Qoal(is) is not identified in the Explanation, nor is it discussed in the report. If this is a suspected landslide feature, which I assume it is, and it has a potential impact to the proposed development, it needs to be thoroughly discussed in this report, and not left for the reader to refer to it in another report.
  - f. Show the limits of the A-P zone, as well as the Tract limits.
  - g. The tract number shown in the Explanation is wrong.
13. (p.10) Under the heading "Seismically-Induced Landsliding," the report indicates that the potential for landslides occurring across the majority of the site is considered nil. What portion of the project site is susceptible to seismically induced landsliding? Show the 150-foot wide setback on Plate 1.
14. (p.14) Under the heading "Geologic Mitigations," it is unclear whether the building setback zone(s) are associated with landslide mitigation, as discussed earlier in the report, or is there a fault-related hazard associated with the setback? In any event, the nature and the rationale used to define the setback needs to be incorporated in this preliminary

D. SCOTT MAGORIEN, C.E.G. 1290  
Engineering Geologist

Review of LOR Geotechnical, Inc's., Preliminary Geotechnical Report  
Tentative Tract 14297, City of Yucaipa, CA

December 31, 2005

● Page 3

geotechnical report, and not tied to any other report. In other words, all appropriate recommendations for future development that have been derived from the LOR (2005) report needs to be incorporated in this report.

15. Provide a discussion regarding oversized rock as it relates to placement of engineered fill.

Please call if you have any questions concerning the comments presented above. I have faxed a copy of this review letter to Mr. Jeffery Johnston at LOR Geotechnical, Inc.

Respectfully,



D. Scott Magorien, C.E.G. 1290  
City Geologist

D. SCOTT MAGORIEN, C.E.G. 1290  
Engineering Geologist





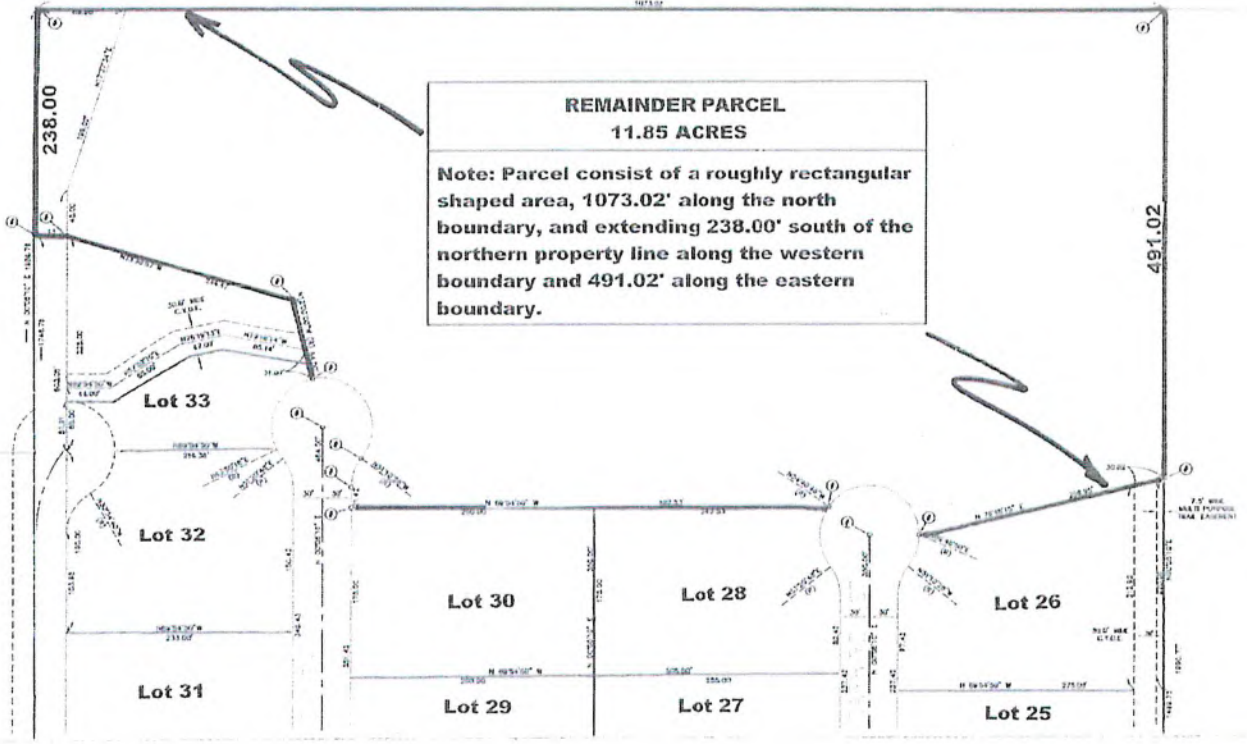
LINE	LENGTH	BEARING
01	22.00'	S89°00'00"W
02	25.00'	S45°00'00"W
03	131.31'	S83.00'
04	21.14'	S85.00'
05	22.00'	S85.00'
06	22.00'	S85.00'
07	22.00'	S85.00'
08	22.00'	S85.00'
09	22.00'	S85.00'
10	22.00'	S85.00'
11	22.00'	S85.00'
12	22.00'	S85.00'
13	22.00'	S85.00'
14	22.00'	S85.00'
15	22.00'	S85.00'
16	22.00'	S85.00'
17	22.00'	S85.00'
18	22.00'	S85.00'
19	22.00'	S85.00'
20	22.00'	S85.00'
21	22.00'	S85.00'
22	22.00'	S85.00'
23	22.00'	S85.00'
24	22.00'	S85.00'

LINE	LENGTH	BEARING
11	30.00'	N89°45'00"W

IN THE CITY OF YUCAPPA  
**TRACT MAP NO. 14297**

BEING A SUBDIVISION OF A PORTION OF THE NORTH HALF OF THE  
 SECTION 34, TOWNSHIP 12N, RANGE 1E, S40M, MAP 1  
 OF SAN BERNARDINO COUNTY, AND LOT 1, BLOCK 1, YUCAPPA VALLEY  
 COLONY SUBDIVISION NO. 2, RECORDED IN BOOK 16, PAGE 75 OF MAPS,  
 RECORDS OF THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.

SHREVE & CO. 4811 2024



Enclosure 1

SOIL COMPACTION DATA

BLOWS PER LAYER	COMPACTION SAMPLE NO.	74	160	12																
NO. LAYERS	WGT. OF WET SOIL & MOLD	22.721	22.911	22.397																
TAMPER WT.	WGT. OF MOLD	17.307																		
DROPT.	WGT. OF WET SOIL	10.414	10.604	10.09																
MOLD DIA.	WET UNIT WEIGHT	138.9	141.4	134.5																
VOLUME OF SAMPLE	MOISTURE SAMPLE NO.																			
0.0750 cu. ft.	WGT. OF WET SOIL & TARE	1.16	1.16	1.16																
	WGT. OF DRY SOIL & TARE	.922	.908	.944																
	WGT. OF WATER	.0783	.092	.056																
	WGT. OF TARE	-	-	-																
	WGT. OF DRY SOIL	-	-	-																
140	MOISTURE CONTENT	8.5	10.1	5.9																
	AVE. MOISTURE CONTENT																			
	DRY UNIT WEIGHT	128.0	128.4	127.0																
	MECHANICAL ANALYSIS										ATT. LIMITS									
130	SAMPLE	GRAVEL		SAND				FINES		LL	PL									
	MAX. SIZE	#4	#10	#15	#40	#100	#200													
	NATURAL																			
	PREPARED																			
20	REMARKS	+4 - moist & Firm																		
		+10 - very moist & ya ldring																		
		+12 - semi moist & Firm																		
100	SOIL TYPE																			
	DRY. MOISTURE CONTENT	9.5%		129.0		10/3/05														
	TESTED BY	MLC/klk		DEPT.		SECTION														
		BR-2		T-3 @ 3'																
	PROJECT	32137.1 / TR# 4927 / 44CS, Pa																		
90	MOISTURE CONTENT - % OF DRY WEIGHT																			

Enclosure 2

# RELATIVE COMPACTION TEST

TEST NO. BB-3

Dist \_\_\_\_\_ Co \_\_\_\_\_ Rte \_\_\_\_\_ Sec \_\_\_\_\_ Sta \_\_\_\_\_  
 Contract No. 32137.1  
 Dist Lt Rt \_\_\_\_\_ Elev \_\_\_\_\_ Moll. \_\_\_\_\_ From T-50 Sampled by JGFF Date 8/26/05

SAND VOLUME DATA			EXCAVATED SAMPLE			SUMMARY	
A	Initial Wt Sand		H	Wet Weight	MOISTURE	TOTAL	Record Whole Numbers
B	Wt of Residue		I	Dry Weight			
C	Wt of Sand Used		J	Wt of Water			Density <span style="float: right;">in Place <u>121.0</u></span>
D	Sand Density		K	% Moisture			Moisture <span style="float: right;"><u>10.0%</u></span>
E	Vol Hole - Cone		L	Wet Wt Lb/ft <sup>3</sup>			RC: _____ %
F	Vol of Cone		M	Dry Wt Lb/ft <sup>3</sup>			
G	Vol of Hole						

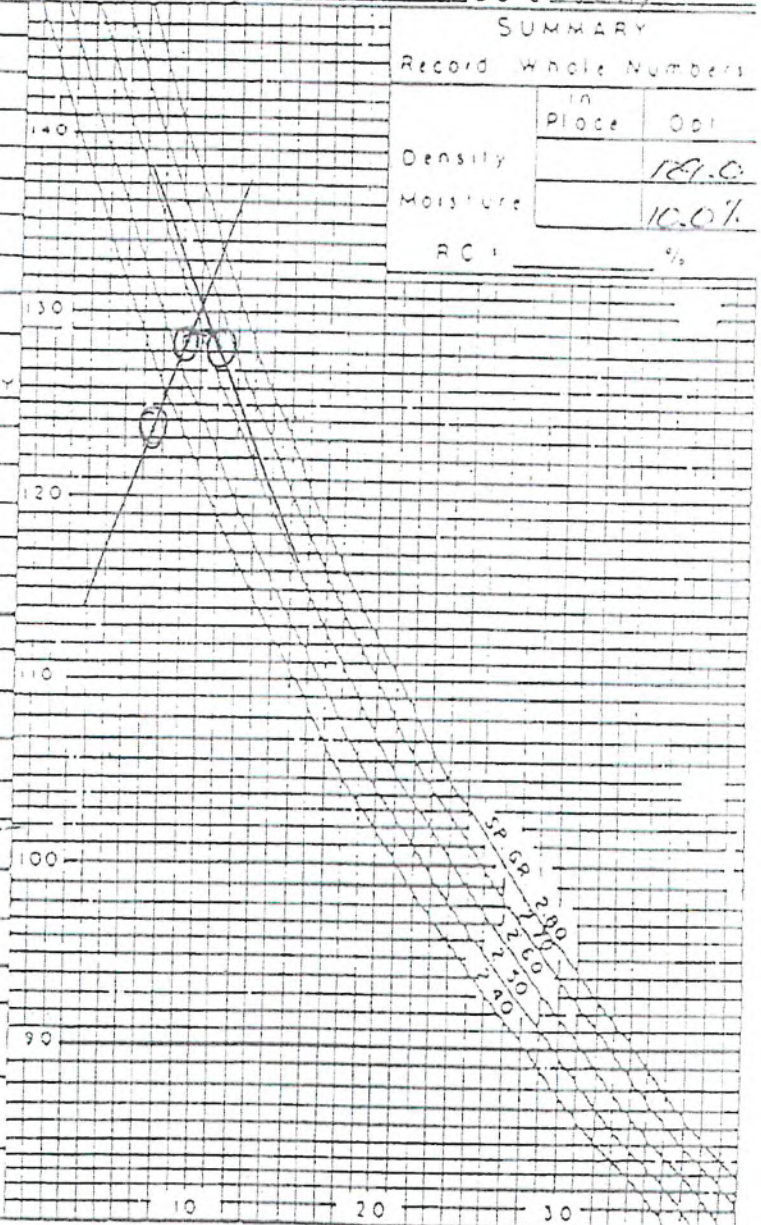
IMPACT TEST DATA										
TAMPER	FACTOR	CORE WEIGHT		DRY LBS/FT <sup>3</sup>	% MOIST	MASS SP GR	COMB SP GR	CORR DENSITY	U	V
		Wet P	Dry Q							
14	14.013	9.344	4.665	4.279	128.4	9.1				
10	14.012	1	4.748	4.277	128.3	11.0				
12	12.709	1	4.425	4.120	125.6	7.4				

MOISTURE TESTS				GRADING & SPECIFIC GRAVITY		
Wet Wt	Dry Wt	H <sub>2</sub> O Loss	% Moist	W	Wt of Total Sample	
14	4100.0	366.8	33.2	9.1	X	Wt of - 3/4" Size
10	3602	39.83	11.0		Y	Wt of - 3/4" Size
12	377.6	27.4	7.4		Z	Sp Gr of - 3/4"

Imp. Test by M. White Date 10/3/05

REMARKS: 14 - moist & Firm 10 - very moist & yielding  
12 - some moist & Firm

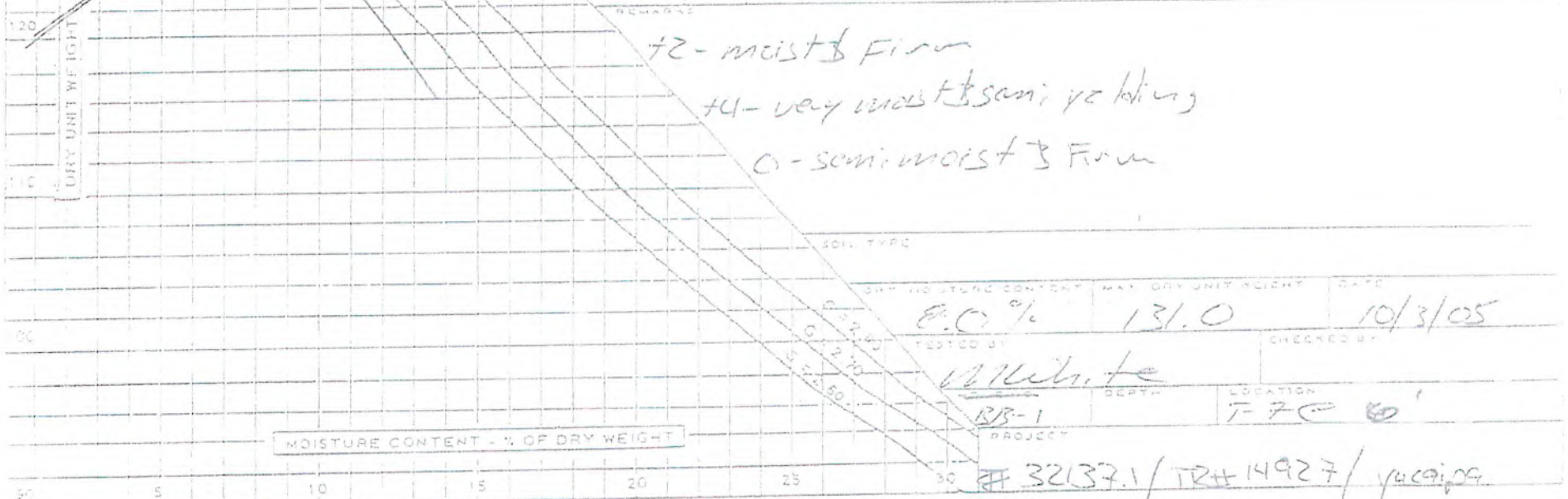
FORMULAS			
$C = A - B$	$J = H - I$	$M = \frac{100 L}{100 + K}$	$T = \frac{R}{52.4}$
$E = \frac{C}{D}$	$X = 100 \frac{J}{I}$	$R = 0.0$	$U = \frac{100}{\frac{2X}{Z} + \frac{2T}{Y}}$
$G = E - F$	$L = \frac{H(Total)}{G}$	$S = 100 \frac{P - Q}{Q}$	$V = 62.4 U$



SOIL COMPACT ON DATA

BLOWS PER LAYER	50	COMPACTION SAMPLE NO.	12	14	0
NET LAYERS	5	WGT. OF WET SOIL & MOLD	22.575	27.935	22.004
TAMPER WT.	10.16	WGT. OF MOLD	12.807		
DROPT WT.	12.16	WGT. OF WET SOIL	10.208	10.628	9.757
MOLD DIA.	6"	WET UNIT WEIGHT	136.9	141.7	130.0
VOLUME OF SAMPLE	.0750 c.f.	MOISTURE SAMPLE NO.			
		WGT. OF WET SOIL & TARE	1.16	1.16	1.16
		WGT. OF DRY SOIL & TARE	.941	.922	.900
		WGT. OF WATER	.059	.078	.038
		WGT. OF TARE	-	-	-
		WGT. OF DRY SOIL	-	-	-
		MOISTURE CONTENT	6.3	8.5	4.0
		AVE. MOISTURE CONTENT			
		DRY UNIT WEIGHT	128.8	130.6	125.0

SAMPLE	MECHANICAL ANALYSIS						ATT. LIMITS	
	GRAVEL	SAND			FINES		LL	PL
	#2	#10	#40	#100	#200			
MAX. SIZE								
NATURAL								
PREPARED								

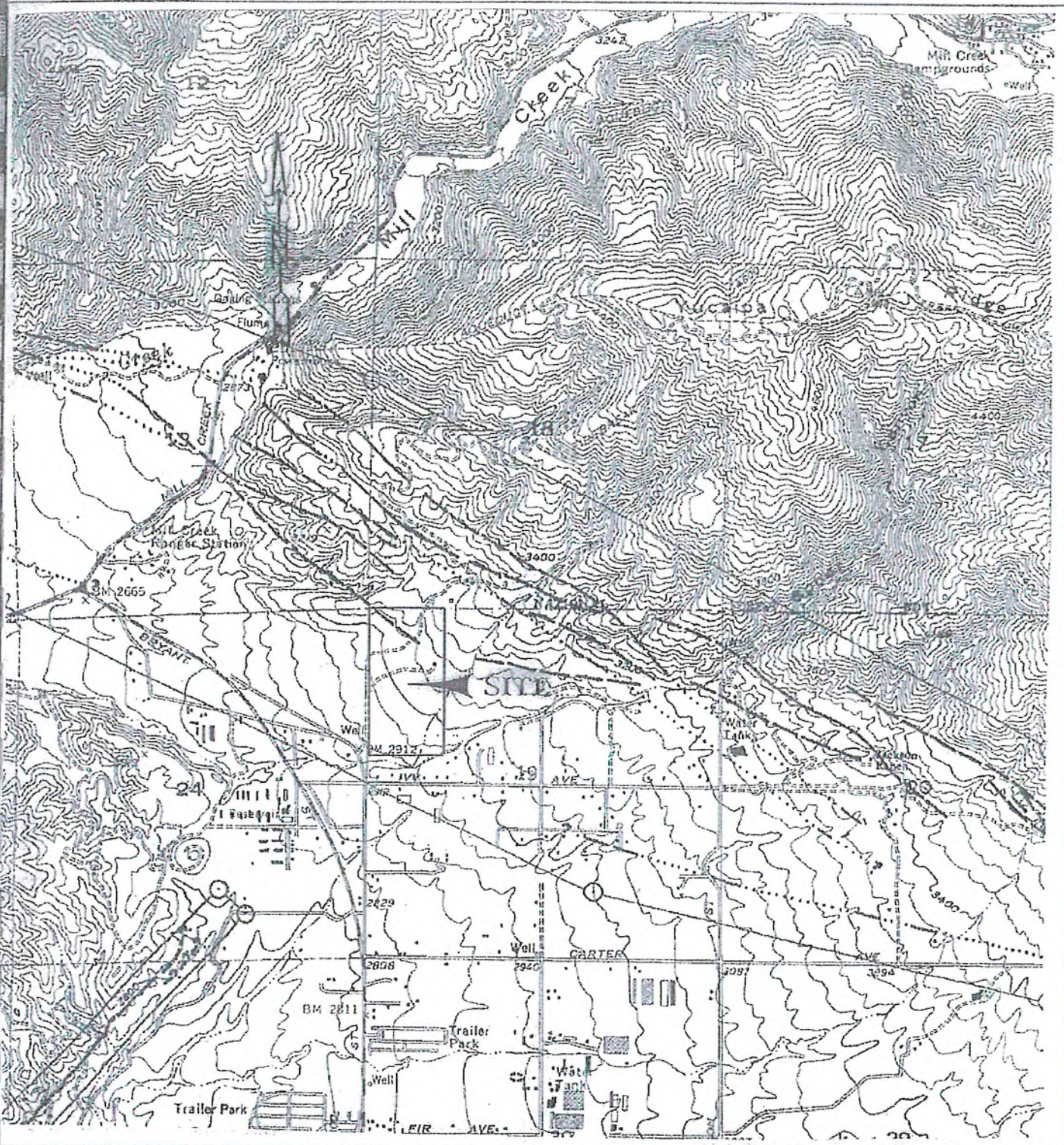


MOISTURE CONTENT - % OF DRY WEIGHT

PROJECT: BB-1 LOCATION: T-7C

# 32137.1 / TR# 14927 / yucao

Enclosure 4



**EARTHQUAKE FAULT ZONE MAP**

<b>PROJECT:</b>	TENTATIVE TRACT NO. 14927, YUCAIPA, CALIFORNIA	<b>PROJECT NO.:</b>	32137.3
<b>CLIENT:</b>	S.C.R.V. LLC	<b>ENCLOSURE:</b>	A-2
<b>LOR Geotechnical Group, Inc.</b>		<b>DATE:</b>	NOVEMBER 2005
		<b>SCALE:</b>	1" = 2,000'

Enclosure 5



SUBSURFACE FAULT INVESTIGATION  
TENTATIVE TRACT NO. 14927  
YUCAIPA, CALIFORNIA

PROJECT NO. 32137.3  
NOVEMBER 30, 2005

Prepared for:

S.C.R.V. LLC  
11718 Barrington Court #804  
Los Angeles, California 90049

Attention: Mr. Tom Tenney

November 30, 2005

S.C.R.V. LLC  
11718 Barrington Court #804  
Los Angeles, California 90049

Project No. 32137.3

Attention: Mr. Tom Tenney

Subject: Subsurface Fault Investigation, Tentative Tract No. 14297, Yucaipa, California.

LOR Geotechnical Group, Inc. is pleased to present this report summarizing our Subsurface Fault Investigation conducted by this firm for your proposed Tentative Tract 14297 located in the City of Yucaipa, California. This report was based upon a scope of services generally outlined in our Work Authorization Agreement, dated June 16, 2005, and other written and verbal communications with you.

The scope of our study included a review of published and unpublished literature, maps and records concerning geologic units, faults, and other factors, interpretation of aerial photographs, surface mapping of the site, and a subsurface investigation which included the excavation, cleaning, and geologic logging of exploratory fault trenches.

This study documented the presence of several "sub-horizontal shear zones" located along the base of the small bluff north of the proposed development area. While these features do not cross any of the proposed site developments, a Restricted Use Zone has been recommended to ensure that all future structures are placed a safe distance away from this feature.

An additional geotechnical report will be necessary to determine the other geotechnical parameters of the site once preliminary development plans are prepared. This report will require additional field studies including sampling by additional trenching and/or drilling, to determine the site specific conditions for building and grading recommendations.

LOR Geotechnical Group, Inc.



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## APPENDICES

Appendix A - Index Map, Earthquake Fault Zone Map, and Regional Geologic Map

Appendix B - Soil Description and Fault Trench Logs

Back Pocket- Plate 1 - Trench Location Map

Plate 2 - Restricted Use Zone Map

## INTRODUCTION

During July through November of 2005, a Subsurface Fault Investigation was conducted by this firm for the proposed Tentative Tract No.14297, currently consisting of three parcels of land comprising approximately 53±acres located northeast of Crystal Street and Yucaipa Ridge Road in the City of Yucaipa, California. The purpose of this study was to estimate the probability of, or relative potential for, future surface displacement to occur at the site from earthquake activity in order to satisfy the requirements set forth by the Alquist-Priolo Earthquake Fault Zoning Act of California prior to the sub-division of the land into single family lots for residential development.

The scope of work for our subsurface fault investigation included:

- A review of recently published and un-published literature, maps, and records concerning geologic conditions of the site;
- Stereoscopic interpretation of aerial photographs of the site and immediate surrounding region;
- Surface observations including geologic mapping of the site by an engineering geologist from this firm;
- The excavation of two trenches across the site to allow for direct observations of the underlying geologic conditions;
- Logging of the subsurface soils and geologic units exposed in the trench by an engineering geologist from this firm;
- Age dating techniques for the estimates of the underlying geologic units ages utilizing soil profile development, clast weathering, and landform development,
- Meetings onsite with the City Geologist, Mr. Scott Magorian prior to, during, and after the excavation of the trenches to inform the city of our investigation and preliminary findings, and;
- Preparation of this report summarizing our findings, and providing conclusions.

The approximate location of the site is shown on the attached Index Map, Enclosure A-1, within Appendix A.

### PROJECT CONSIDERATIONS

The subject property consist of three separate parcels listed by the Assessor's Parcel Numbers (APN's) of 0320-181-028, and 032-161-08 and 09. These three parcels make a rectangular site that is approximately 1,163 feet wide and 1,950 feet long, for approximately 52.5 acres of land total.

A 100-scale tentative tract map was prepared for the site by Sitetech and was provided for our study. According to this map, a copy of which is attached to this report as Plate I, Tentative Tract No. 14297 will consist of the grading of 33 level pads for single-family homes. Access to these lots will be provided by extending the existing Quartz and Crystal Streets from the west and constructing three new interior roads. Generally minor cuts and fills are planned on the order of 10 feet or less across the site to create the pads and streets.

The far northern portion of the site, composed of an irregular shaped parcel extending from 490 to 240 feet south of the northern property line and consisting of 11.85 acres, is not a part of this tract development at this time and is referred to on the plans as a Remainder Parcel.

As noted on Enclosure A-2, within Appendix A, the entire site is situated within an Alquist-Priolo Earthquake Fault Zone set up by the State of California Geological Survey. The Alquist-Priolo Earthquake Fault Zoning Act prohibits the location of structures for human occupancy across the traces of active faults and requires the State Geologist to delineate wide zones around known, well defined, active earthquake faults. The act defines a fault as sufficiently active if there is evidence of activity within the last 11,000 years. A fault is considered to be well defined if it is clearly detectable at or near the surface by a trained geologist. The fault zone noted in Enclosure A-2 was set up around the approximate position of the San Andreas fault that is generally considered to run along the base of the mountains in this region.

Therefore, in order to satisfy the requirements of the State of California guidelines for a geologic investigation within an Alquist-Priolo Earthquake Fault Zone, we have conducted this fault study which included the excavation of one main trench, which extended across the entire parcel at an orientation approximately at a right angle to

the suspected fault traces at a length of approximately 2,000 feet, and one smaller trench approximately 200 feet in length. Our methodology, field studies, findings, conclusions, and recommendations are summarized in this report.

#### REVIEW OF PREVIOUS REPORTS/DOCUMENTS

As previously noted, the entire site lies within a Alquist Priolo Earthquake fault zone, as indicated on the State of California Alquist-Priolo Earthquake Fault Zone Map for the Yucaipa Quadrangle (Hart and Bryant, 1997). A copy of this map is on Enclosure A-2, within Appendix A. As noted on this map, the main break of the San Andreas fault runs along the base of the Yucaipa Ridge just north of the site. However one small splay is shown as entering the far northwest corner of the site and extending approximately 1,000 feet to the southeast. There is another splay, dotted and queried extending approximately towards the south end of the site from the east. However this feature is shown to end nearly ½ mile to the southeast of the site, and if projected along this course would lie south of the site.

A more recent study of the regional geologic conditions was prepared in a study of the Yucaipa 7.5 minute quadrangle by the United States Geological Survey (USGS) in 2003 (Matti et al 2003). The geologic map prepared by the USGS was utilized for our study and a copy of this map has is included as our Regional Geologic Map, Appendix A-3, within Appendix A. On this map the general location of the San Andreas fault is in agreement with the State study, however, they do not include many of the smaller splays. In addition, the USGS interpreted the geomorphology of the hills above the site as resulting from a very large, very old, landslide complex that has been re-cut by movement along the fault. Dr. Morton, a co-author of this study, informed us that they feel this feature is a bedrock slide of Mill Creek formation of rocks most likely fractured by the San Andreas fault, that slid down in the middle Pleistocene (up to 1 million years ago) as of result of the rapid uplift of the Yucaipa Ridge and is most likely stable in this configuration (personal communication, 2005). Erosion of this feature has deposited a series of coalescing fans across the valley floor of differing ages ranging from current day deposits, to just probably as old as the landslide feature itself. A more complete discussion of these units noted on the subject site is given in the following sections.

A Geologic Hazards Study was conducted for the site by Craig Smith with a report dated January 17, 1989 (Smith 1989). This study reportedly consisted of the excavation of a single trench across the site from about the northeastern portion of the site to the southwest to reported depths of 10 to 12 feet. Mr. Smith, who signed the report as a registered geologist number 2966, concluded that no faults were identified within the site boundaries. This study was reviewed and accepted at that time by Mr. John Bowman of the County of San Bernardino (Bowman, 1986), however a more recent review of this report by the City of Yucaipa geologist Mr. Scott Magorian (2001), indicated that the study would not meet current day requirements of the city for geologic hazards study.

The conclusions of the Smith report appear to be in conflict with the findings of an earlier report not conducted for the site but on the parcel of land immediately adjacent to the west (Rasmussen, 1978). This earlier study reported a fault generally running along the base of the small hills to the north. This fault, if extended in this orientation, would cross the subject site approximately 500 feet south of the northern property line.

It is our understanding that in 2004 a fault hazards investigation was begun by the firm of CHJ Inc., which included the re-excavation of the trench originally dug by Smith, along with several other smaller trenches at the site, however this study was stopped and never completed.

It is also our understanding that a similar fault hazard study is currently being conducted by Mr. Bruce Schnell on the parcel of land adjacent the site to the east, as noted by the excavation of a similar fault trench along the portion of land just east of the subject site's eastern property line.

A complete list of all of the documents reviewed during our study are given in the references at the end of this report.

#### AERIAL PHOTOGRAPH ANALYSIS

A search was conducted for available aerial photographs of the area on file at the San Bernardino County Flood Control and Transportation department aerial photography collection, by a geologist from this firm. The search reviewed aerial photographs taken of the site and surrounding area in 1938, 1953, 1968, 1986, 1996, and 2005.

The aerial photographs reviewed consisted of vertical aerial stereographic photograph pairs of varying scales. These photographs were viewed using stereoscopes with magnifications of 2X and 4X for three dimensional enhancement. Due to the relatively large photograph scales involved, the analysis and subsequent interpretation of detail from aerial photographs sometimes requires a degree of subjective judgment. The degree of certainty on the interpretation of details depends upon such factors as the scale and the quality of the photograph. A brief summary of the site and surrounding conditions during the various times for which the aerial photographs were available is given below.

1. 1938 . Flight No.: W88 Photo Nos.: O-1-11,11. Scale 1" = 1,200'

In these early photographs site detail is difficult due to the poor, faded, quality of the photographs. In addition, only the middle portion of the site has stereo overlap. However the site is vacant land with no agriculture. Drainage is to the west-southwest. The hillside to the north has no stereo coverage.

2. February 16, 1953 . Flight No.: AXL - 42K Photo Nos.: 82-83. Scale 1" = 1,667'

Bryant Avenue is now in-place, Yucaipa Ridge Road is a small dirt lane. No lineaments are visible. There is an Edison line (?) or roadway along the northern portion of the site. The hill at the north end either appears to be the dissected end of a very old landslide, and/ or a shutter ridge, however there are no lineaments along the northern side.

The hillside above the site, rising up to the Yucaipa ridge, which has been mapped as a very large landslide complex has some definite landslide features, arcuate scraps, high depressions, however it has been overprinted by a very wide zone of lineaments that run parallel to the San Andreas fault to the southeast and northwest. These cut the landslide in two strong lineaments, and several smaller ones.

3. August 11, 1968 . Flight No.: AXL-9JJ. Photo No.:58-59; Scale 1" = 1667'

In these aerial photographs there is a very faint lineament along the northern portion of the site that is trending about North 70 degrees to the west. This feature

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intersects the dirt lane of Yucaipa Ridge Road at about 1,400 (+/- 150') north of Ivy Avenue. This faint feature may be a dirt lane.

4. February 25, 1986 . Flight No.: 450 Photo No.:75 and 77 Scale 1" = 2000'

Note: photo number 76, which is the center of the site is missing.

In these photographs the region to the west, across Yucaipa Ridge Road is being developed into a residential housing neighborhood. Yucaipa Ridge Road has been paved to Quartz street. The faint lineament noted in the earlier photograph lies just south of Quartz street, about 100 feet south, and extends about 500 feet to the southeast then turns to a new trend of about North 60 West. This straight nature of this feature tends suggest it may be a fence line or other man-made feature.

5. April 20, 1996 . Flight No.: 528 Photo Nos.:129, 131 Scale 1" = 2000'

No change.

6. January 18, 2005. Flight No.: 553 Photo Nos.:11-60, 61; . Scale 1" = 1,000'

These photographs are in color and have excellent quality. The site now shows evidence of seven trenches excavated by CHJ, however these appear to have been backfilled. Therefore the exact locations of the trenches have been obscured, however, These include a main trench from the northeast to southwest site corners 1,700 feet long, then six much smaller trenches with the longest of these about 250 feet.

EXISTING SITE CONDITIONS

The subject site consists of three parcels of land, given by the Assessor's Parcel Numbers of 320-181-028, and 320-161-009 and 008. Together these form a rectangular site approximately 1,163 feet in length from east to west, and 1,980 feet north to south. This region is situated along the base of Yucaipa Ridge, which rises steeply to the north. The topography of the site is generally planning with a fall to the south-southwest, and the region to the north on the "Remainder Parcel" rising up along a steep bluff. The bluff lies several hundred feet north of the northern edge of



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the proposed tract development area, rising up approximately 50 feet to a flatter plateau above. Vegetation across the site is predominately light to moderately heavy field brush with numerous patches of very heavy dense, low lying, brush that hamper access.

The site is bounded on the north and east by mountainous terrain with scattered single-family residences, that rises steeply to the northeast. The site is bounded on the west by single-family residences. South of the site is vacant land followed by single-family residences.

#### SUBSURFACE FIELD INVESTIGATION

Our investigation consisted of the excavation of two subsurface trenches. The first trench was placed along the western portion of the site and extending from the northern property line south to the southern property line. While this straight line distance is 1,986 feet, due to slight bendings in the trench, the overall linear distance was 2,018 feet. The original location of this trench was placed using the northwestern property corner marker and a 300 foot tape measure and Brunton compass transit. This location was later surveyed in by the project engineering firm of Sitetech Inc., and is illustrated on Plate I within the back pocket of this report.

This first trench was excavated to depths of approximately 18 to 25 feet, with a series of benches at 5 to 6 foot intervals for trench wall stability, using a CAT 345 excavator supplied by the client.

After excavation of the trench, the eastern walls were cleaned of side wall bucket smear to allow for logging at a scale of 1" = 5' (horizontal and vertical) by an engineering geologist from this firm. The stratigraphic units noted within the trench were described according to standard geologic field methods. This involved assigning a local or geologic-interpretive designation such as artificial fill, topsoil, recent and older alluvium, followed by a physical descriptive characterization. For unconsolidated sediments, the interpretive designation is followed by a soils classification group name, given in general accordance with the Unified Soil Classification, textural-plasticity classification scheme outlined in ASTM 2488-00 (ASTM, 2000). The matrix color of the unconsolidated sediments are classified according to the Munsell soil-color charts (Munsell, 1992) at a damp moisture content, along with an estimate of the relative in-place moisture. Other descriptive characteristics, such as structure,

bedding thickness, textures, consistency, shape and angularity, are given in general accordance with the standards set forth in ASTM 2488-00, (ASTM, 2000).

Graphical representation of the conditions as encountered within the exploratory trench are presented within Appendix B.

## GEOLOGIC CONDITIONS

### Regional Geologic Setting

The subject site is located in southern California along the southern flanks of the San Bernardino Mountains. These mountains, along with the Little San Bernardino Mountains to the southeast, and the San Gabriel Mountains to the northwest, form a large geomorphic province that cuts across nearly the entire south end of California referred to as the Transverse Ranges Geomorphic Province. The large region that extends from the south side of this province and into Mexico is composed of a sequence of smaller north-west trending mountains and hills and intervening valleys known as the Peninsular Ranges Geomorphic Province. Therefore, the site lies on the junction of these two provinces that together cover a large majority of southern California stretching from the Pacific coast inland to the San Andreas fault, south of the San Gabriel-San Bernardino Mountain ranges and extending southward to the Mexican border and beyond.

The San Bernardino Mountains of the Transverse ranges are generally composed of a core of older metamorphic rocks which have been severally intruded by relatively younger igneous intrusive rocks.

The Peninsular Ranges province is characterized by a series of generally small northwestern trending mountains ranges such as the Santa Ana Mountains and the San Jacinto Mountains, separated by wide flat valleys. These extend from the Los Angeles region southeastward into Baja California. As noted, the far northern end this Province meets the San Bernardino and the San Gabriel mountains which have a predominately east-west trend which is transversely oriented in regards to the predominately northwest structural grain of much of California, hence the name Transverse Ranges.

In the Yucaipa region, the San Andreas fault acts as the boundary between the Peninsular and Transverse Ranges provinces, with the site straddling this boundary. Here, the motion on the San Andreas fault has typically resulted in the Peninsular Ranges Block sliding to the northwest in relation to the Transverse Ranges. While this motion is distributed along a very wide shear zone of various other major faults in the region, perhaps as much as one half of the total offset is thought to have occurred along the San Andreas fault.

The San Andreas fault is the major tectonic and structural feature of California running over 600 miles from the California/Mexican border in the south to a triple junction point located offshore near the California/Oregon border. Across most of this area the trend of the San Andreas fault is predominately a relatively straight line trending north-northwest. However, in the area just north of Indio, the San Andreas fault has an approximately 15 km (9 mile) wide step-over zone, stepping to the west and cutting across the San Gorgonio Pass then up to the eastern end of the city of Yucaipa. Beyond this to the northwest, the trend of the fault once again resumes a north-northwesterly course. This twisting motion, referred to as the "Big Bend" has resulted in a complex tectonic setting which is currently poorly understood. However, in general, the result of this geometry is that along the San Gorgonio Pass the motion changes from right lateral strike slip to thrusting, or from a side to side lateral motion to one where the southern plate is being pushed under the San Bernardino mountains.

A recent study by the USGS indicates the area south of the San Gorgonio Pass is underlain at depths by rocks composed of the Transverse Ranges basement rocks, suggesting transpression has driven a wedge of Peninsular Ranges rock over the San Bernardino Mountains in series of shallow thrust faults that are not continuous (Langenheim, 2005). To the northeast in the Yucaipa region, this complex motion has resulted in several types of motion including nearly all types of fault motions, from right lateral strike slip, or horizontal, to thrusting and normal, or tensional faulting. Twisting of the region may be accounting for the opening of the Yucaipa valley itself along the Crafton Hills and Chicken Hills fault. The Banning fault, lying along the base of the San Bernardino Mountains, southeast of the site, appears to be the dominant thrust in the western end of the pass, joining the San Gorgonio Pass fault zone to the east. However, while geophysical studies of the fault indicate a shallow dip to the north, it may have some re-activated strike slip motion. Just to the

northwest of the site the San Bernardino segment of the San Andreas fault resumes the strike slip motion running along the southern base of the San Bernardino mountains up through the area of Devore. The fault then cuts between the San Bernardino Mountains to the east and the San Gabriel Mountains to the west, across Cajon pass. From this point northwest, the fault lies along the northern flanks of the San Gabriel mountains.

The topography of the land in the Yucaipa region has been drastically altered by differing tectonic forces, which have resulted in the uplifting of the mountains to the north, and the opening of the Yucaipa valley as well as the rapid uplift and "unroofing" of the Yucaipa Ridge to the north of the site. Subsequent erosion of the mountains has resulted in the deposition of a series of broad alluvial fans of various ages which have coalesced into a larger surface towards the lower portions of the valley.

As noted on the Regional Geologic Map, Enclosure A-3 within Appendix A, the USGS, perhaps as a response to the faulting and uplift, a very large portion of the western end of the Yucaipa Ridge was mapped as an ancient landslide complex covering over 5-square miles of land located just above the site and extruding down onto the northern portion of the "Remainder Parcel" portion of the site. This feature most likely covers some of the earlier traces of the San Andreas fault, however newer faulting has cut this feature in several strands. Erosion of the ridge, and the landslide area, has deposited a thick broad fan of alluvial materials across the northeastern portion of Yucaipa. This fan has been subsequently modified by incision of younger streams as well as tectonically modified by offsetting along the fault and uplifted, or down dropped, along a succession of terrace risers.

The basement rocks in this region are varied, with a thin wedge of sedimentary rocks, referred to by the USGS study as members of the Mill Creek formation and by Dibblee as the Potato Sandstone, located north of the San Andreas fault, and composing the Yucaipa Ridge, while south of the fault a complex of igneous and metamorphic crystalline rocks, none of which are exposed at the subject site, are anticipated at depths.

### Regional Faulting

As previously noted the San Andreas fault is the closest fault in relation to the site, mapped by the past studies with the main trace lying within the ancient landslide complex just north of the site, and perhaps having some small splays along the far northern end. As noted, the San Andreas fault is considered to be a major active fault which moves in a lateral fashion with the northwest portions offset to the southeast during earthquakes. This type of motion is called right lateral strike slip. The San Andreas fault is a major tectonic feature of California, separating the Pacific plate and the North American plate. While estimates vary, the San Andreas fault is generally thought to have an average slip range on the order of 24 mm/yr and capable of generating large magnitude events on the order of 7.5 or greater.

In the Yucaipa region, Matti, Morton, and Cox (1992) recognized at least four strands of this fault, from east to west and identified them as the Mill Creek, Wilson Creek, Mission Creek, and finally the San Bernardino segment running along the base of the mountains. From a location several miles northwest of the site, the San Bernardino segment extends along the base of the mountains in a North 70 degrees West trend across the entire San Bernardino Valley. However, southeast of Mill Creek, approximately 2 miles northwest of the site, the San Bernardino segment becomes much more complex. Matti et al (2003) suggest that in this area, the San Andreas fault is continuing the left stepping motion with a tendency of en echelon strands.

### Historical Seismicity

In order to obtain a general perspective of the historical seismicity of the site and surrounding region, a search was conducted for seismic events at and around the area within various radii. This search was conducted utilizing the historical seismic search program by EPI Software, Inc. This program conducts a search of a user selected cataloged seismic events database, within a specified radius and selected magnitudes, and then plots the events onto an overlay map of known faults. For this investigation the database of seismic events utilized by the EPI program was obtained from the Southern California Seismic Network (SCSN) available from the Southern California Earthquake Center. At the time of our search the data base contained data from January 1, 1932 through September of 2005.

In our first search, the general seismicity of the region was analyzed by selecting an epicenter map listing all events of magnitude 4.0 and greater, recorded since 1934, within a 100 kilometer (62 mile) radius of the site, in accordance with guidelines of the California Division of Mines and Geology. This map illustrates the regional seismic history of moderate to large events. As noted on Enclosure A-4, within Appendix A, the site lies within a relatively active region of southern California with over 1300 moderate size earthquakes occurring within 100 kilometers of the site in the last 70 years. The closest of these was a 4.1 magnitude event occurring in 1997 approximately 4 kilometers northeast of the site. Many of these close events appear to be associated with the 1992 Big Bear event, however, there is a series of events along the southern portion of the San Jacinto fault south of the site.

In the second search, the micro seismicity of the area lying within a 15 kilometer (9 mile) radius of the site was examined by selecting an epicenter map listing events on the order of 0.0 and greater since 1974. In addition, only the "A" events, or most accurate events were selected. Caltech indicates the accuracy of the "A" events to be approximately 1 km. The results of this search is a map that presents the seismic history around the area of the site with much greater detail, not permitted on the larger map. The reason for limiting the events to the last 30 ± years on the detail map is to enhance the accuracy of the map. Events recorded prior the mid 1970's are generally considered to be less accurate due to advancements in technology. As noted on this map, Enclosure A-5, the subject site lies within an area underlain by very numerous small events in the general area. No specific trend of the events is noted. In contrast, these events are scattered across the entire region with the closest event, perhaps, occurring under the site. This would be the anticipated result of numerous earthquake faults with dipping fault planes and types of motions. This factor allows the earthquake focus to spread out across a wide area.

In summary, the historical seismicity of the site entails numerous small to medium magnitude earthquake events occurring around and perhaps even under the site at depths, predominately associated with the presence of the San Andreas fault system but with no clear cut patterns discernable unclear.

Site Geologic Conditions

As noted above, the subject site is situated along the base of the western end of the Yucaipa Ridge. The Yucaipa Ridge is composed of a series of sedimentary rocks, which have been named by various authors as belonging to the Potato Sandstone formation, the Mill Creek formation, and perhaps even associated with the Cajon Valley formation sedimentary sequence in Cajon Canyon approximately 30 miles to the northwest. For our investigation, we are using the terminology of the recent USGS study (Matti et al, 2003) which classified these rocks as members of the Mill Creek formation, of Miocene age materials composed primarily of Archeozoic sandstones that are olive gray to tan in color, hard, and composed of granitic clasts, with some units of conglomerates and some siltstone units. The bedrock outcroppings were limited to the hillside regions northeast of the site with no exposures on the site. In addition, the San Andreas fault is anticipated to cut these units off, with metamorphic and granitic crystalline rocks composing the underlying bedrock to the southwest. As also discussed earlier, the very rapid uplifting of the Yucaipa Ridge may have resulted in a very large landslide which was mapped by the USGS study as existing on the northwestern portion of the "Remainder Parcel" of the subject site. Erosion of these features has resulted in a relatively thick deposition of alluvial fans across the site of various ages. Due to the location of the site, in relation to the base of the Ridge, these units tend to be coarse grained and poorly sorted, composed of silty sands with varying amounts of sub-angular gravel, cobbles, and boulders of the Mill Creek formation.

The USGS study indicated the presence of three different types of alluvial fan materials across the site. The far southern portions of the site expose at the surface an alluvial fan that is part of the overall valley complex (Qof3). The USGS indicated that this is an Older Alluvial fan complex that was most likely deposited during the middle Pleistocene time (on the order of 500,000 to 1-million years ago). Along the base of the hills, noted at the site in the far northeastern portion there is a relatively more recent looking alluvial fan emanating out of the ridge directly north of the site that is elevated slightly above the remainder of the site, and falling rapidly to the southwest (Qyf1). The USGS study labeled these materials as young fan materials of middle to late Holocene age. The majority of the site is underlain at the surface by a relatively recent deposit of a coarse grained alluvial fan that also emanates out of the hills directly to the northeast of the site, however this unit has

either cut into the older fan deposits and/or been deposited over them. This unit (Qyf3) was classified by the USGS as late Holocene in age. The larger gullies of the site contain the most recent deposits, which are typically coarse grained sediments, reworked from the older fans, and in active transport.

#### SUMMARY OF THE ON-SITE TRENCHING

Two subsurface trenches were excavated across the site during this investigation. The first, and main trench, was placed along the entire length of the site from the northern property line to the southern property line. This trench, due to slight bending, extending a total length of 2,018 feet from the top of the bluff on the "Remainder Parcel" portion south to the south property line and was excavated generally to a depth of 20 to 25 feet in order to excavate through the younger alluvial materials, although the depths were much shallower along the first 175 feet.

The conditions noted in this trench are graphically within Appendix B. These show that along the first section of the trench, that extends down the face of the small bluff, the materials are composed of a poorly sorted mixture that contains sub-angular boulders, cobbles, and gravel sized clasts of the Mill Creek formation sandstone in a silty sand matrix. This unit is very dense, difficult to excavate, and appears to have undergone some degree of burial and cementing. A relatively thick colluvial wedge has built up over this unit composed of similar materials. These materials were noted to have been highly sheared along a zone that extended from 75 to 85 feet south of the northern end of the trench. These shears consisted of 1/4-inch to 1/2-foot thick zones of greenish gray silty clay gouge and fractured materials which were sub-horizontal to dipping north at angles up to 15 degrees. Beyond this the trench encountered similar unfractured materials 138 feet south, where a smaller, but similar, sub-horizontal shear approximately 1 to 2 inches thick was noted with an attitude of north 40 degrees west, 12 degrees northeast. This feature did not cut through the 5 feet of overlying colluvial materials, however, if this feature was projected to the surface it would "daylight" at around 160 feet south of the northern property line.

From the sub-horizontal feature at 138 feet, south to the southern property line, our trench encountered older alluvial units, that were horizontally bedded, overlain by up to 20 feet of younger coarse grained alluvial fan deposits. While both of these units ranged widely from very fine grained sandy clay (rare) to lenses of large boulders



several feet in diameter, with 4-foot boulders not un-common, it was generally noted that the materials along the bottom of the trench tended to be much finer grained, for example the bottom of the trench from the station (feet south of the north end) of about 420 feet to 1,750 feet exposed a very fine grained silty sand. In addition, there was a relatively sharp change at this depth in the density of the materials. This along with the presence of some highly weathered "rinds" on the cobbles and the presence in many units of "Bt" layering was an indicator of much greater age for the lower sediments. Therefore the upper materials noted in this trench are interpreted to represent the "Qy3" younger alluvial deposits classified by the USGS as of middle Holocene, while the denser alluvial materials noted at the bottom of the trenches are interpreted to represent the "Qof3" or older alluvial fan deposits which were given an age based on soil development as late to middle Pleistocene, or with an absolute date ranging in age from 50,000 to 500,000 years in age. No additional shearing or other evidence of faulting or landsliding was noted in these features, south of the sections at 138 feet.

To extrapolate and further analysis the sub-horizontal shear features noted in the first trench, a second trench was excavated along the face of the same bluff approximately 400 feet southeast of the first trench. The conditions in this trench were notably similar to those noted in the first trench with a very dense, poorly sorted unit of boulders, cobbles, and gravel, clasts of Mill Creek origin in a silty sand matrix, overlying units of older alluvial materials, which were overlapped by colluvium and much coarser grained younger alluvial deposits, however the contact between the poorly sorted materials of the bluff and the older alluvial materials at this location were not as highly sheared, consisting a small, very thin, ½ inch thick, layer, of a dark gray to black silt layer which again was nearly horizontal.

A second study was started for the northern 11.85 acre parcel, the "Remainder Parcel" by this firm to study the effect of these features on the northern parcel. At the time of this primary investigation this second study was not completed, however, as part of this second study the second trench was extended up the bluff and across the upper plateau of the Remainder Parcel to the north property line of that parcel. This portion of the trench noted various units of an older alluvial material which were tilted to the north at angles ranging from near horizontal to 12 degrees, with no fracturing noted.

### DISCUSSION OF THE FINDINGS

This study noted that the entire lower lying portion of the site is underlain by unbroken, unfractured older alluvial materials that are Pleistocene in age, assumed to be on the order of 50,000 years or older. In addition, no geomorphic evidence was noted at the site during our mapping, or in or review of aerial photographs.

The relatively thick zone of sub-horizontal shears noted in our first trench along the base of the bluff approximately coincide with the location of the ancient landslide complex mapped by the recent USGS study. The eastern portion of this bluff, where our second trench noted older alluvial materials overlying potential landslide materials on a much a much less distinct shear, was mapped by the USGS as being covered by an older alluvial fan that is covering a portion of the landslide. This appears to indicate that the findings our study are in general agreement with the USGS interpretation of this region. However the slight tilting of the older alluvial materials appears to indicate that they have been rotated slightly, perhaps by rolling up along the basal portion of the landslide.

However, on his field review, the city geologist, Mr. Scott Magorian noted that the zone of the shearing in our first trench was unusually well developed for a landslide, and noted that it had an appearance of Transpressive related thrust fault instead. The mechanics of such features have been described by past authors such as by (Saleeby 1981). If a fault system with strike slip motion develops a region of oblique convergent the resultant compression creates a wrench zone which then results in uplift along a very complicated sequence of superimposed faults which dip near vertical at depths, then roll over horizontal at the surface in a wrench zone. This model has been suggested by past authors as the result of the rapid uplifting of the Yucaipa Ridge along the "Big Bend" of the San Andreas (Spotila, J.A., and Sieh, K., 2000).

This model would have the advantage of explaining the faults noted in the earlier study by other firms to the west, and why faulting was not noted in the trench excavated on the property adjacent the site to the east, as these types of faults can end and/or turn abruptly and are best mapped by geomorphology. This might also explain why these features die out to the east on the subject site, as the main motion of faulting is turning northward between these two trenches. However this model

would not preclude that a secondary result of this uplift resulted in the ancient landslide perhaps taking advantage of a pre-existing shear system as a basal plane.

As previously noted, the aspects of this model, and the impact it would have on the 11.85 acre "Remainder Parcel" are being studied on a separate study for this parcel that was not completed at the time of this report. If the findings of this secondary study indicate that the horizontal features noted along the base of the bluff are tectonic in origin, and indicate recent activity, then standard minimum setbacks of 50 feet would appear appropriate for structures on both sides. If the findings indicate that the features represent a landslide feature then additional analysis may be warranted to verify the USGS conclusion that this is an ancient feature that is grossly stable in this configuration. However until that time it appears to be prudent to advise that any planned structures should be offset a reasonable distance from the base of this feature.

### CONCLUSIONS

Our study has documented that there are no features within the proposed development areas of the tract that would fall into the classification of an "active" earthquake hazard as defined by the State of California Alquist-Priolo Earthquake Fault Zone act. However we did note a relatively large sequence of "sub-horizontal shears" extending along the base of the bluff that lies in an area on the site where no development is currently planned. As it has not yet been determined if these features represent active faulting along this location, or an ancient pseudo stable landslide, at this time we are recommending that all structures should be set back a safe distance from the toe of this feature, even though this setback zone may be drastically reduced, or even removed entirely based on future studies.

It should also be noted that there is an equal potential for the entire site to experience very strong ground motions from an earthquake at or very near the site along the San Andreas fault. Therefore, we would recommend that the other geotechnical hazards associated with the close proximity to a large seismic source should be investigated in a geotechnical report.

### RECOMMENDATIONS

Due to the presence of potentially active faulting or landsliding noted along the base of the bluff on the far northwestern end of the site, a Restricted Use Zone (RUZ) is recommended for any future development of the site. It is our opinion that no structures for human occupancy should be constructed within this zone set up by taking the region south of the surface projection of the sub-horizontal shears and offsetting a distance of 150 feet. The location of this zone is given on Plate 2.

The scope of work for the exploratory trenches, including excavation and backfilling, was provided for our studies by the client. Therefore, the backfilling of these will be the responsibility of the client. However, it is our recommendations that these should be backfilled as soon as possible. At a minimum we recommend that trenches should be backfilled by pushing the materials in lifts that do not exceed 5-feet in vertical depth, then compacted by wheel rolling, or "track-walking" with the equipment to return the trenches to as near as practical to the pre-trenched conditions and to minimize settlement. However, it should be noted that this manner is not enough to be considered "engineered-fill" and may not be suitable for the support of any future improvements such as structures, roads, and/or utilities. Therefore, the geotechnical report should incorporate the surveyed locations of these trenches along with the final development plans for future recommendations which would most likely include the removal of these materials and re compaction within any structural areas.

The geotechnical hazards associated with the close proximity to a large seismic source should be investigated in an additional geotechnical report which will be necessary once preliminary development plans are prepared. This report will require additional site sampling by additional trenching and/or drilling, to determine the other site specific conditions for building and grading recommendations.

### CLOSURE

This report contains geotechnical conclusions and recommendations developed solely for use by S.C.R.V. LLC. for the purposes described earlier. It may not contain sufficient information for other uses or the purposes of other parties. The contents should not be extrapolated to other areas or used for other facilities without consulting LOR Geotechnical Group, Inc.

S.C.R.V. LLC  
November 30, 2005

Project No. 32137.3

The report was prepared using generally accepted geologic engineering practices under the direction of a state licensed engineering geologist. As such, the client is aware that no warranty, expressed or implied, is made as to conclusions and professional advice included in this report. Should you have any questions regarding this report, please contact us.

Respectfully submitted,  
LOR Geotechnical Group, Inc.



Andrew A. Tardie  
Staff Geologist



Jeffrey J. Johnston CEG 1893  
Engineering Geologist

JJJ:AAT/mmm

Distribution: Addressee (6)

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## AERIAL PHOTOGRAPHS

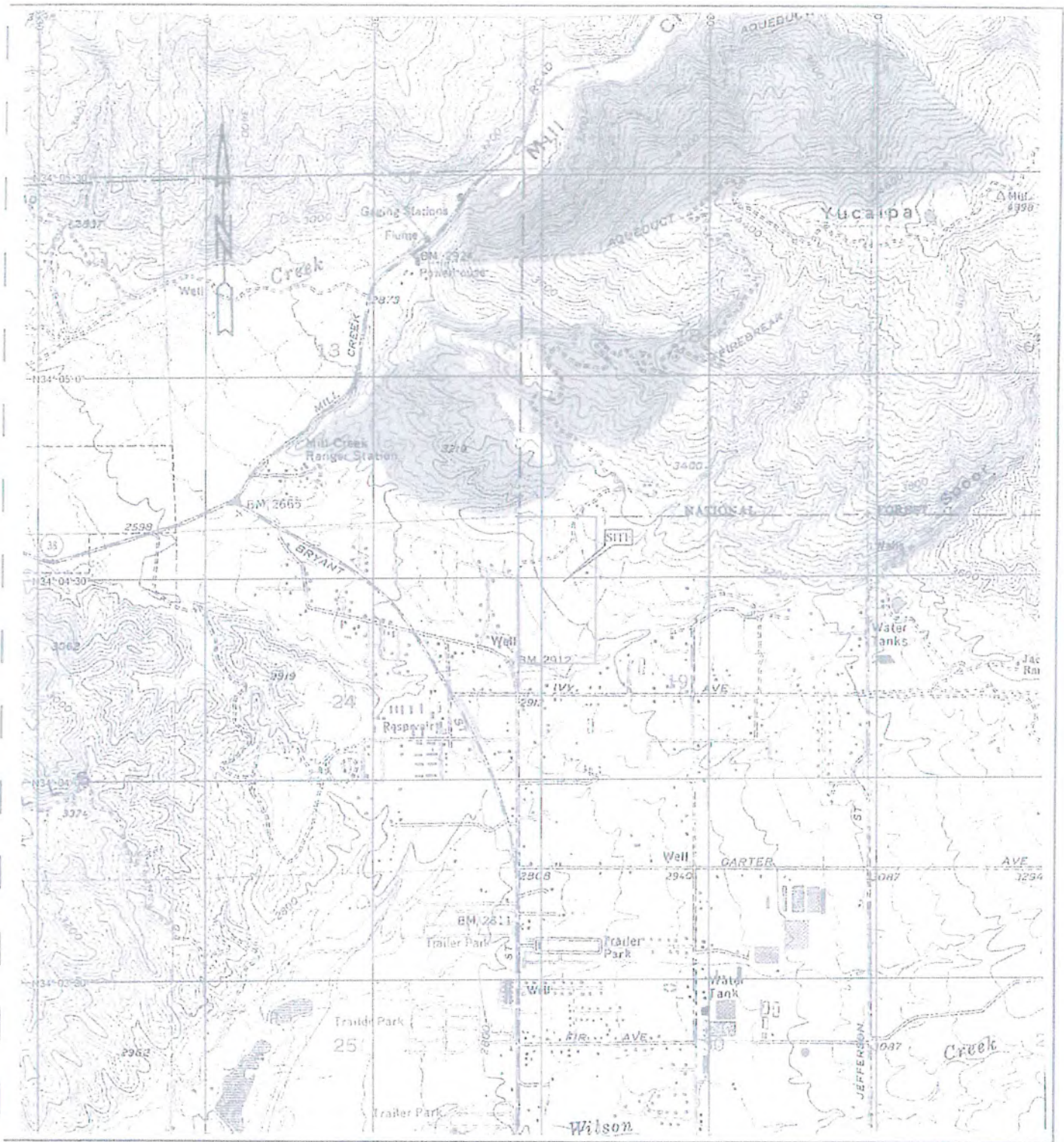
*(Source: San Bernardino County Public Works Aerial photographic collection)*

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1955	AXL-43K	30-31	1,667'
1968	AXL-9JJ	58-59	1,667'
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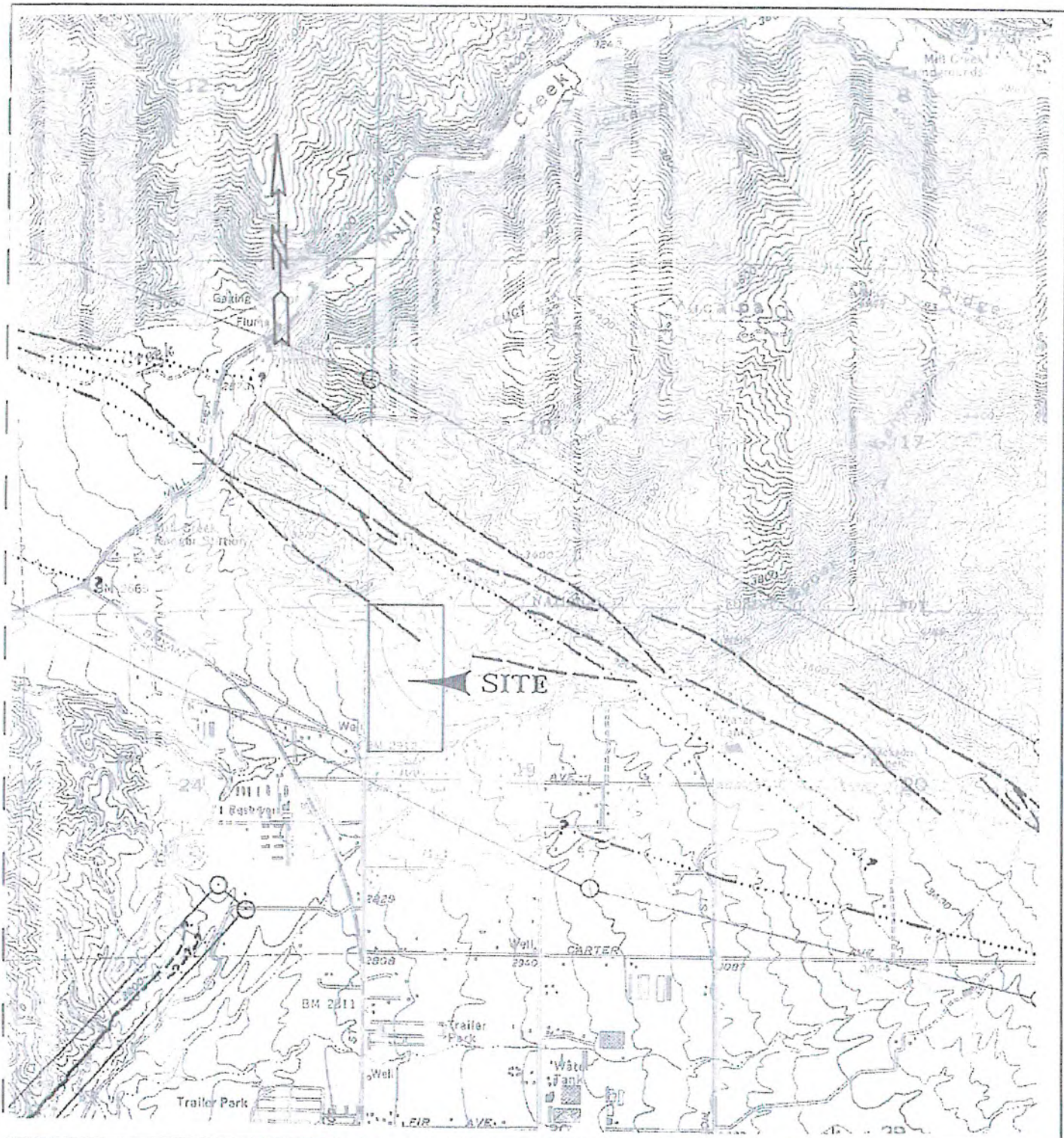
APPENDIX A

Index Map, Earthquake Fault Zone Map,  
and Regional Geologic Map



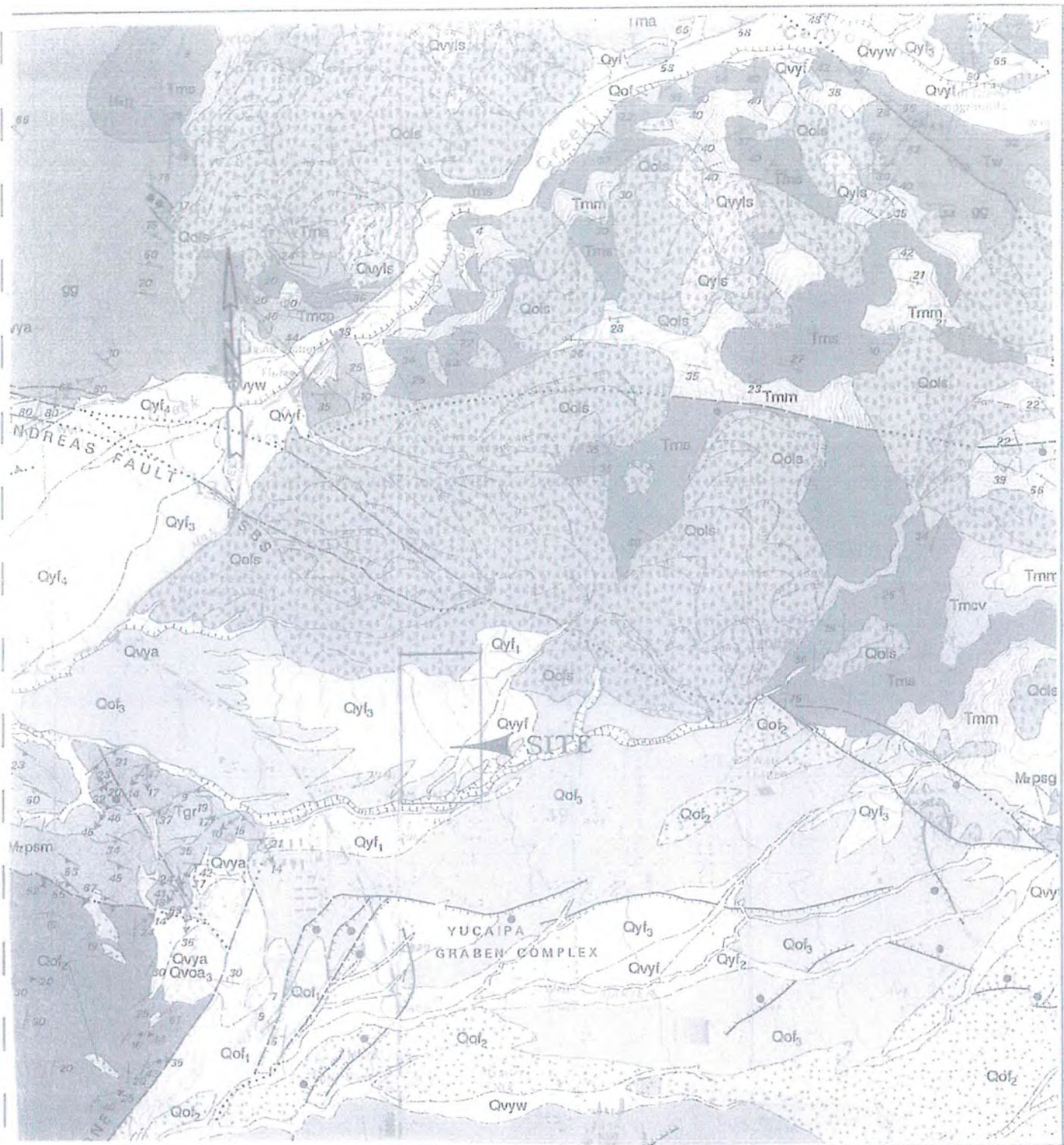
**INDEX MAP**

PROJECT:	TENTATIVE TRACT NO. 14927, YUCAIPA, CALIFORNIA	PROJECT NO.:	32137.3
CLIENT:	S.C.R.V. LLC	ENCLOSURE:	A-1
<b>LOR Geotechnical Group, Inc.</b>		DATE:	NOVEMBER 2005
		SCALE:	1" = 2,000'



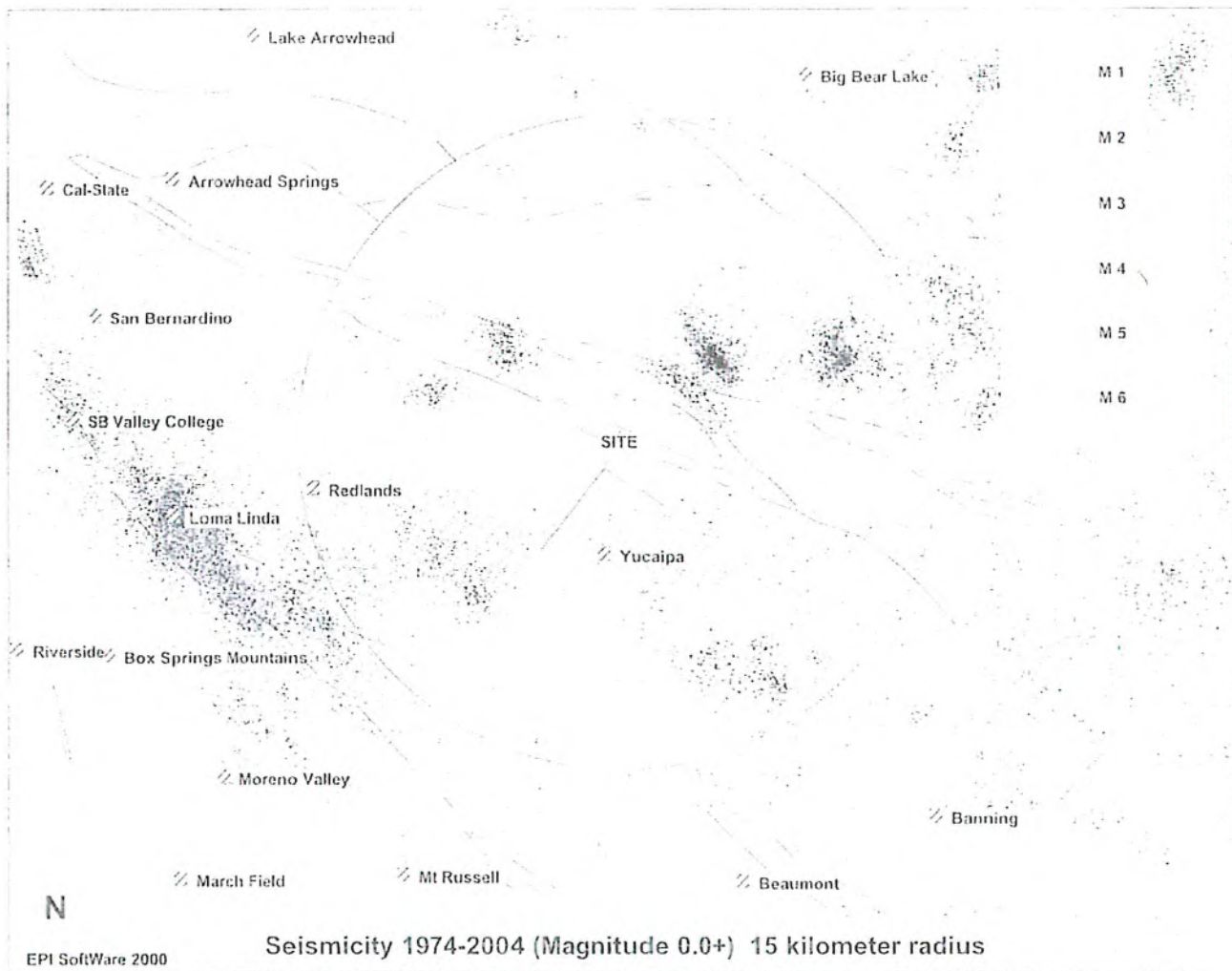
**EARTHQUAKE FAULT ZONE MAP**

<b>PROJECT:</b>	TENTATIVE TRACT NO. 14927, YUCAIPA, CALIFORNIA	<b>PROJECT NO.:</b>	32137.3
<b>CLIENT:</b>	S.C.R.V. LLC	<b>ENCLOSURE:</b>	A-2
<b>LOR Geotechnical Group, Inc.</b>		<b>DATE:</b>	NOVEMBER 2005
		<b>SCALE:</b>	1" = 2,000'



### REGIONAL GEOLOGIC MAP

PROJECT:	TENTATIVE TRACT NO. 14927, YUCAIPA, CALIFORNIA	PROJECT NO.:	32137.3
CLIENT:	S.C.R.V. LLC	ENCLOSURE:	A-3
<b>LOR Geotechnical Group, Inc.</b>		DATE:	NOVEMBER 2005
		SCALE:	1" = 2,000'



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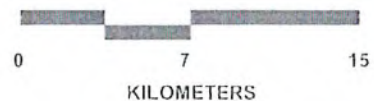
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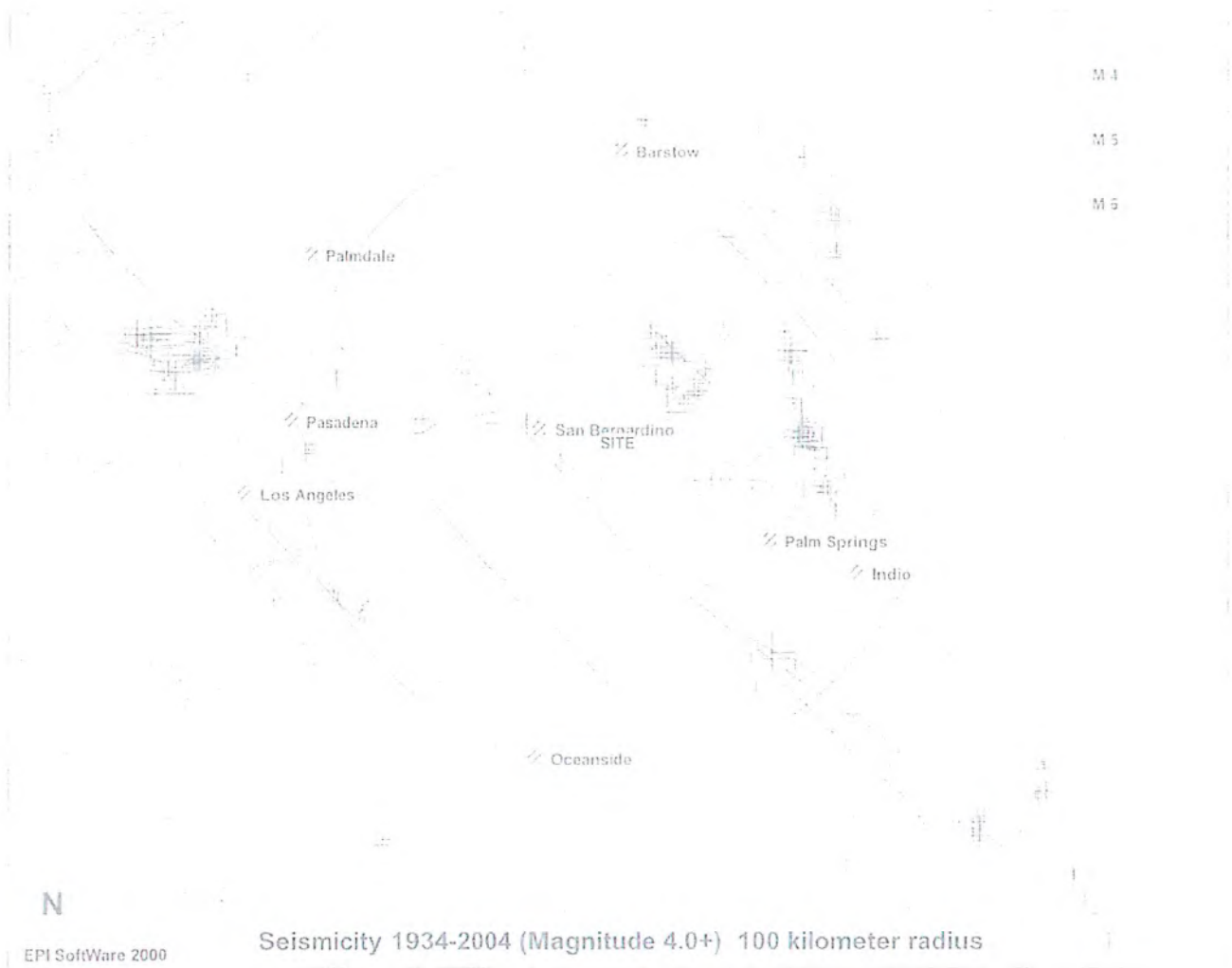


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 4.7 ON THURSDAY, OCTOBER 01, 1992 LOCATED APPROX. 11 KILOMETERS EAST OF THE SITE  
 4.7 ON SUNDAY, AUGUST 16, 1992 LOCATED APPROX. 10 KILOMETERS NORTHEAST OF THE SITE  
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 4.4 ON TUESDAY, JUNE 30, 1992 LOCATED APPROX. 4 KILOMETERS EAST OF THE SITE

Enclosure A-4



EPI SoftWare 2000

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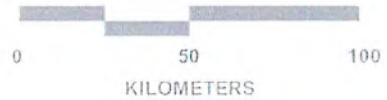
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TOTAL # OF EVENTS WITHIN SEARCH RADIUS 557

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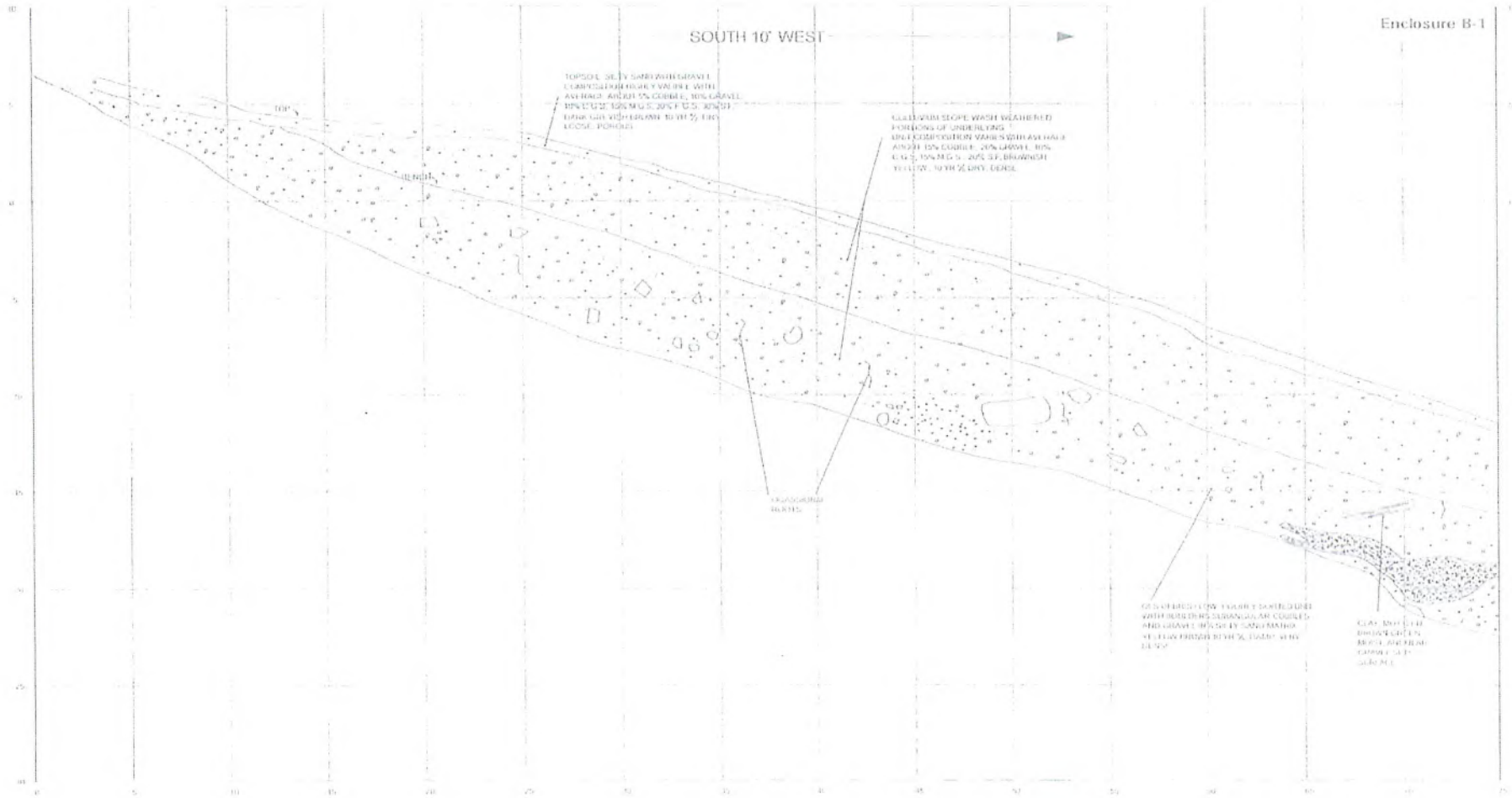
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 6.4 ON SUNDAY, JUNE 28, 1992 LOCATED APPROX. 23 KILOMETERS NORTHEAST OF THE SITE  
 6.1 ON THURSDAY, APRIL 23, 1991 LOCATED APPROX. 67 KILOMETERS EAST OF THE SITE  
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Enclosure A-5

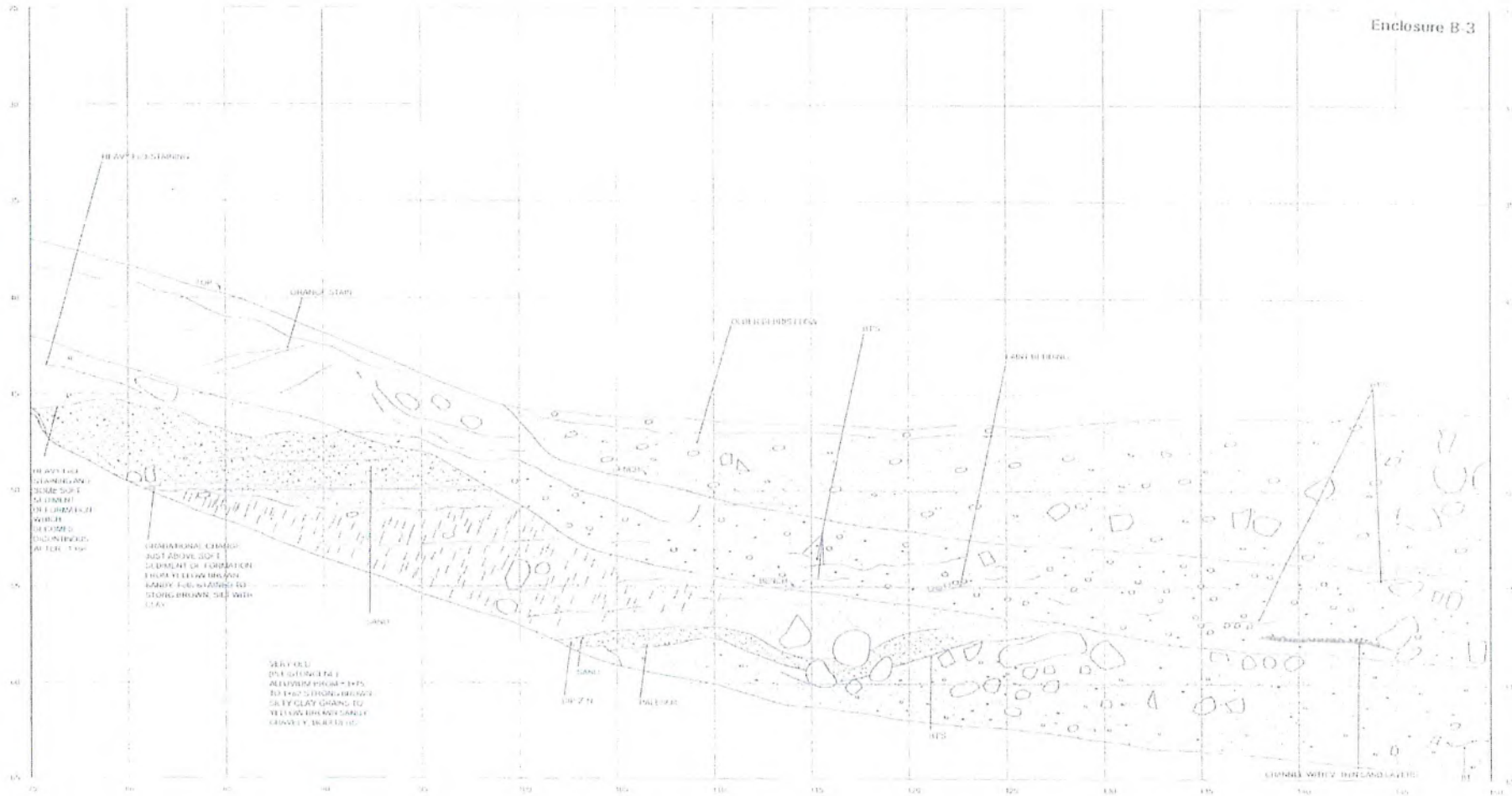
APPENDIX B  
Fault Trench Logs

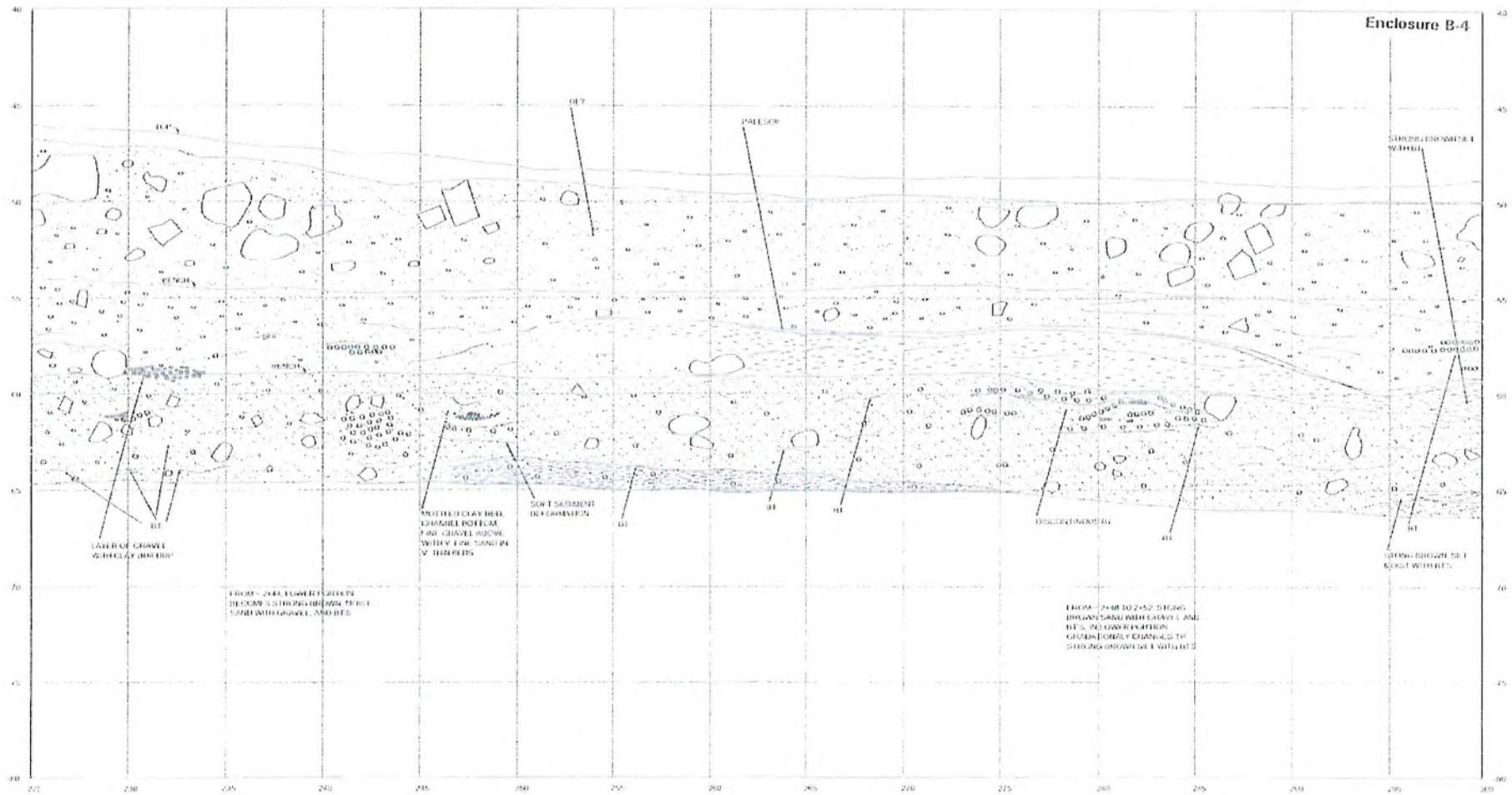
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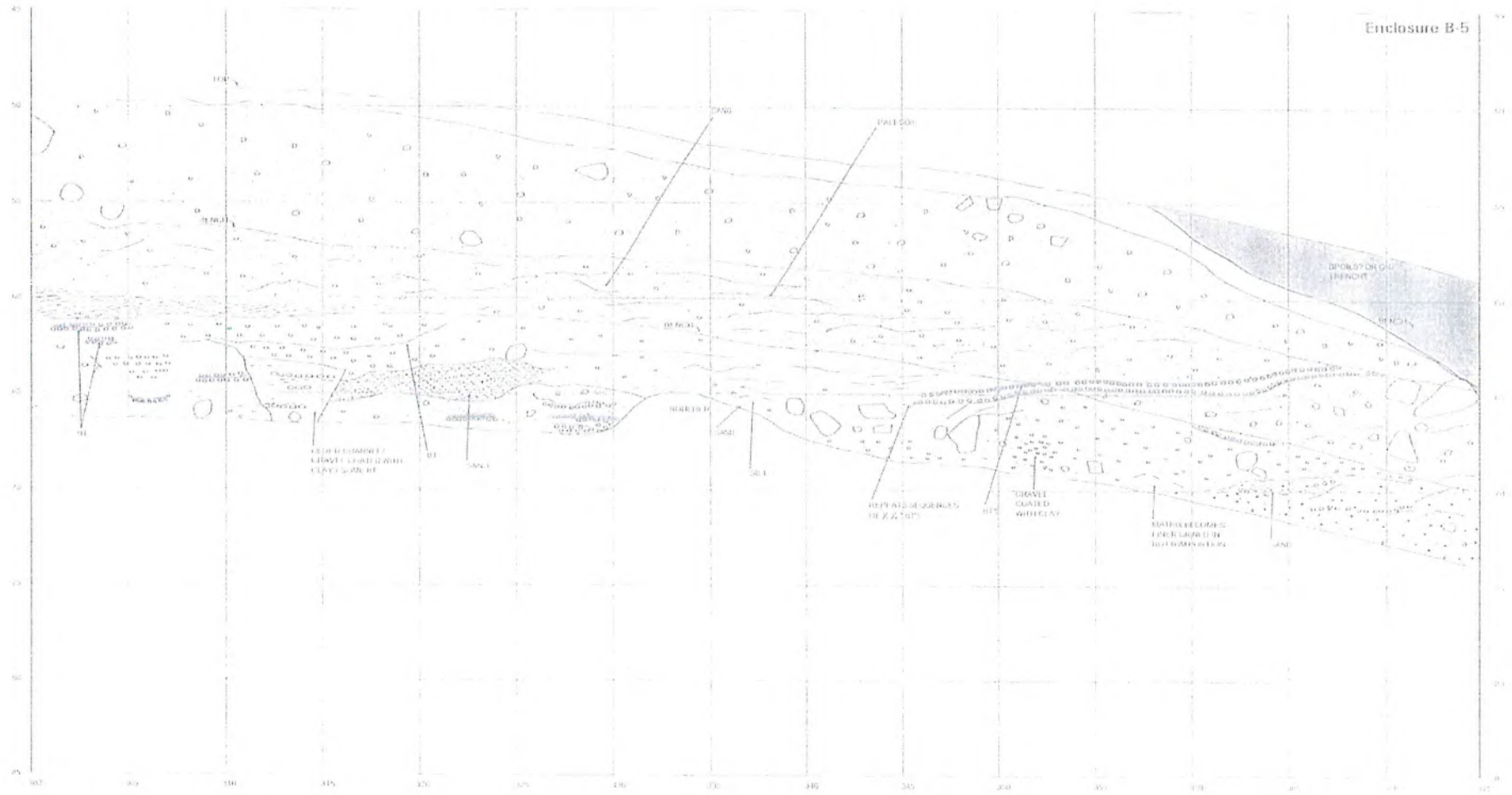


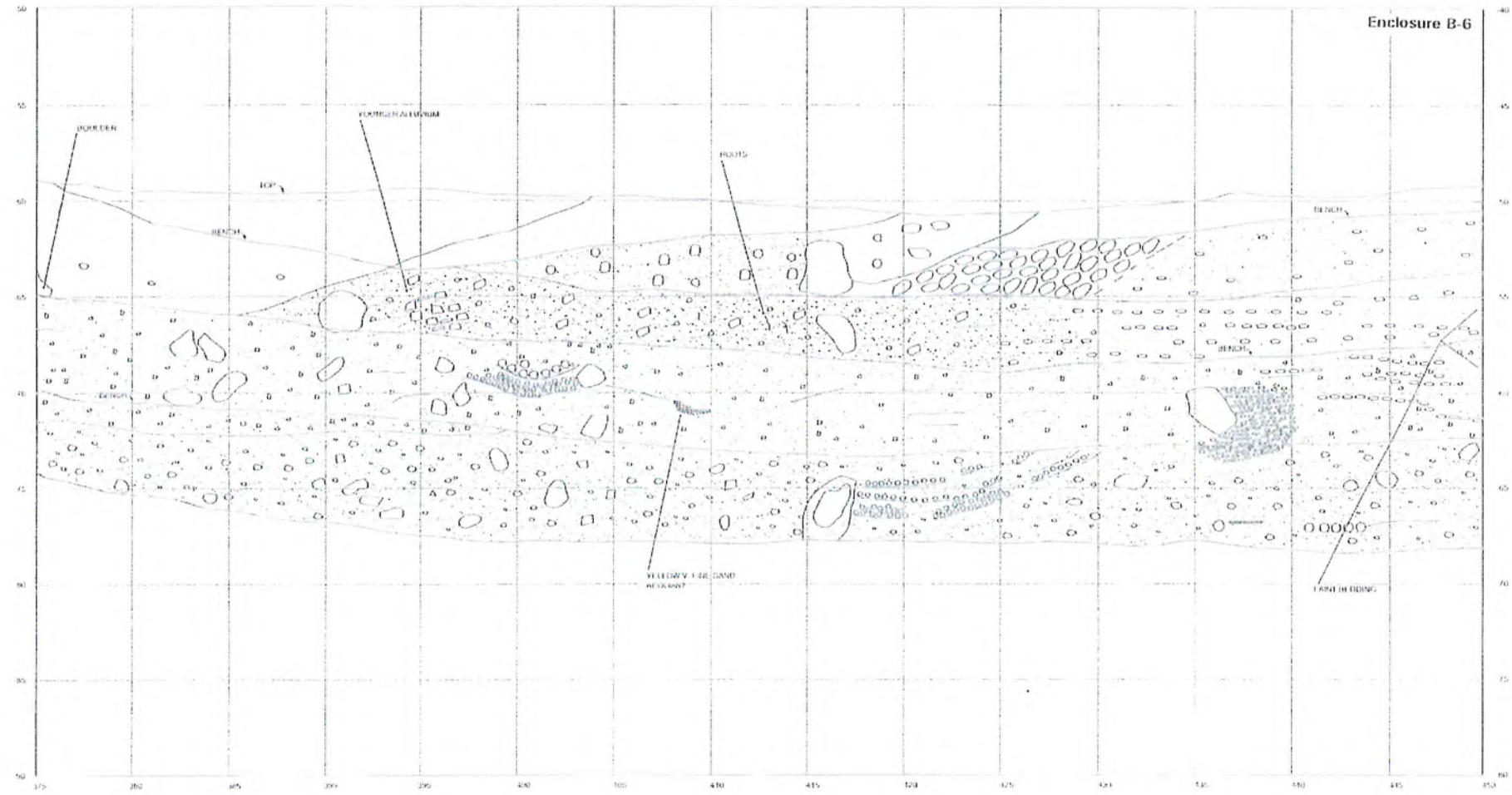


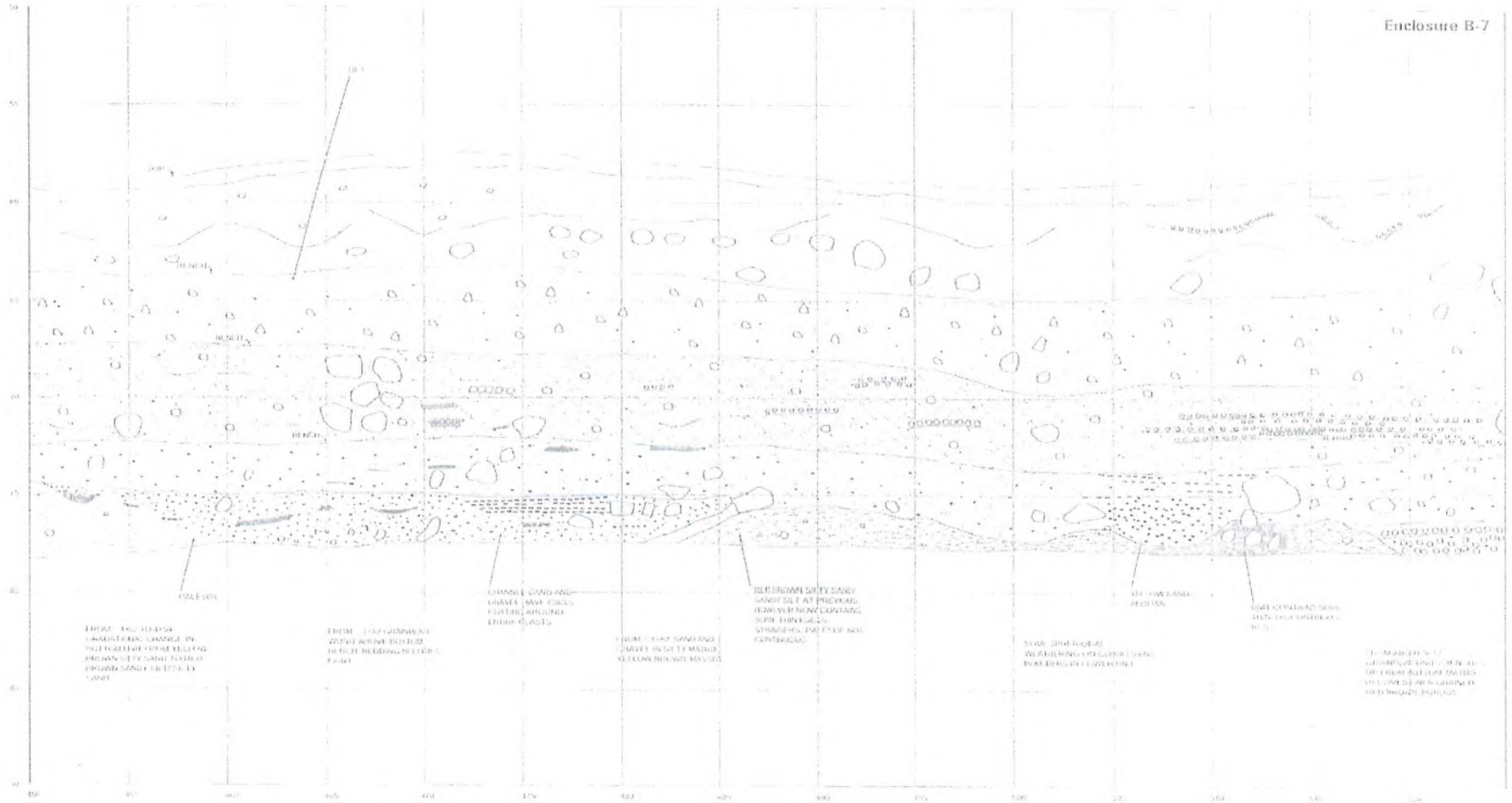




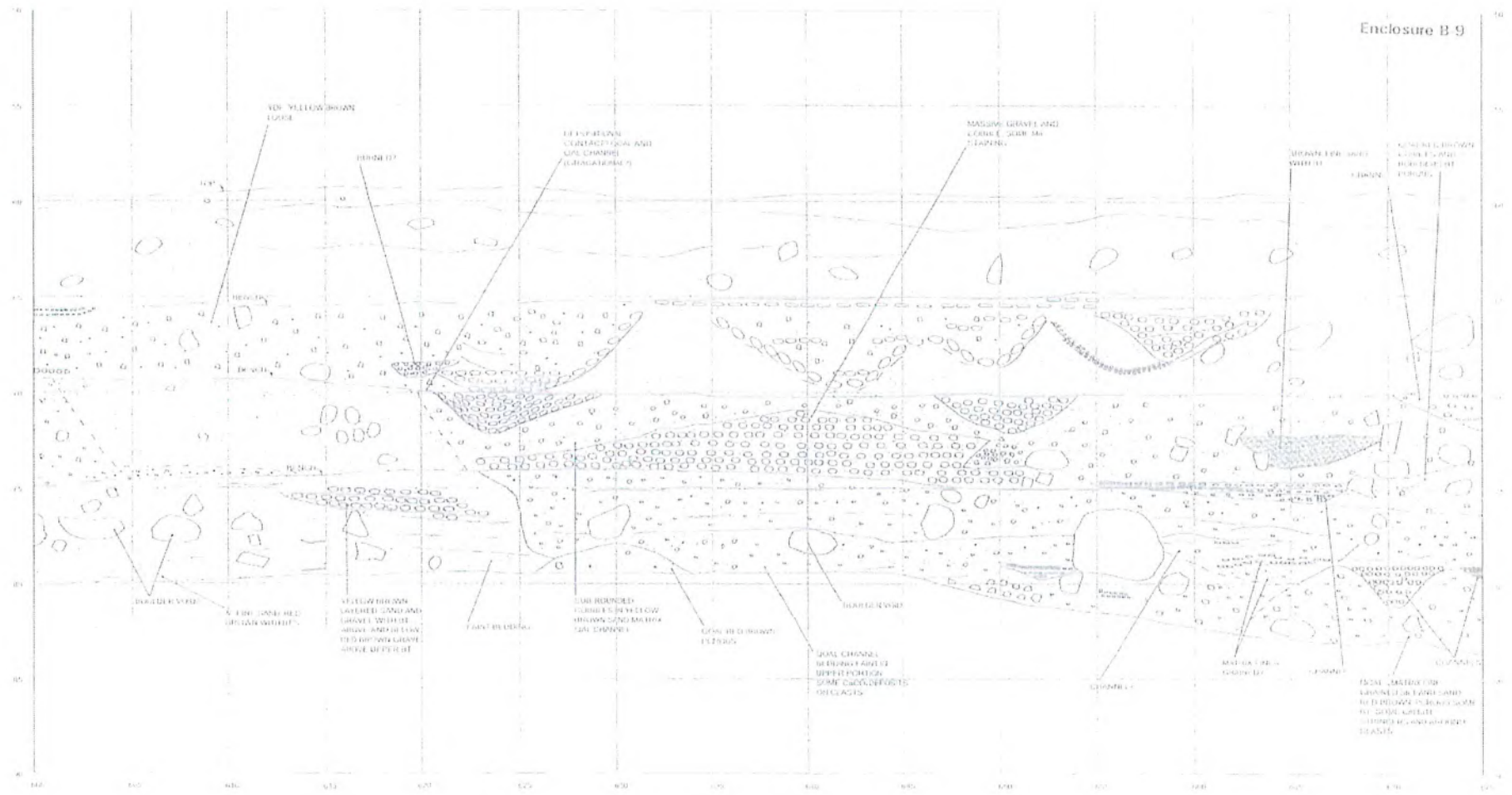




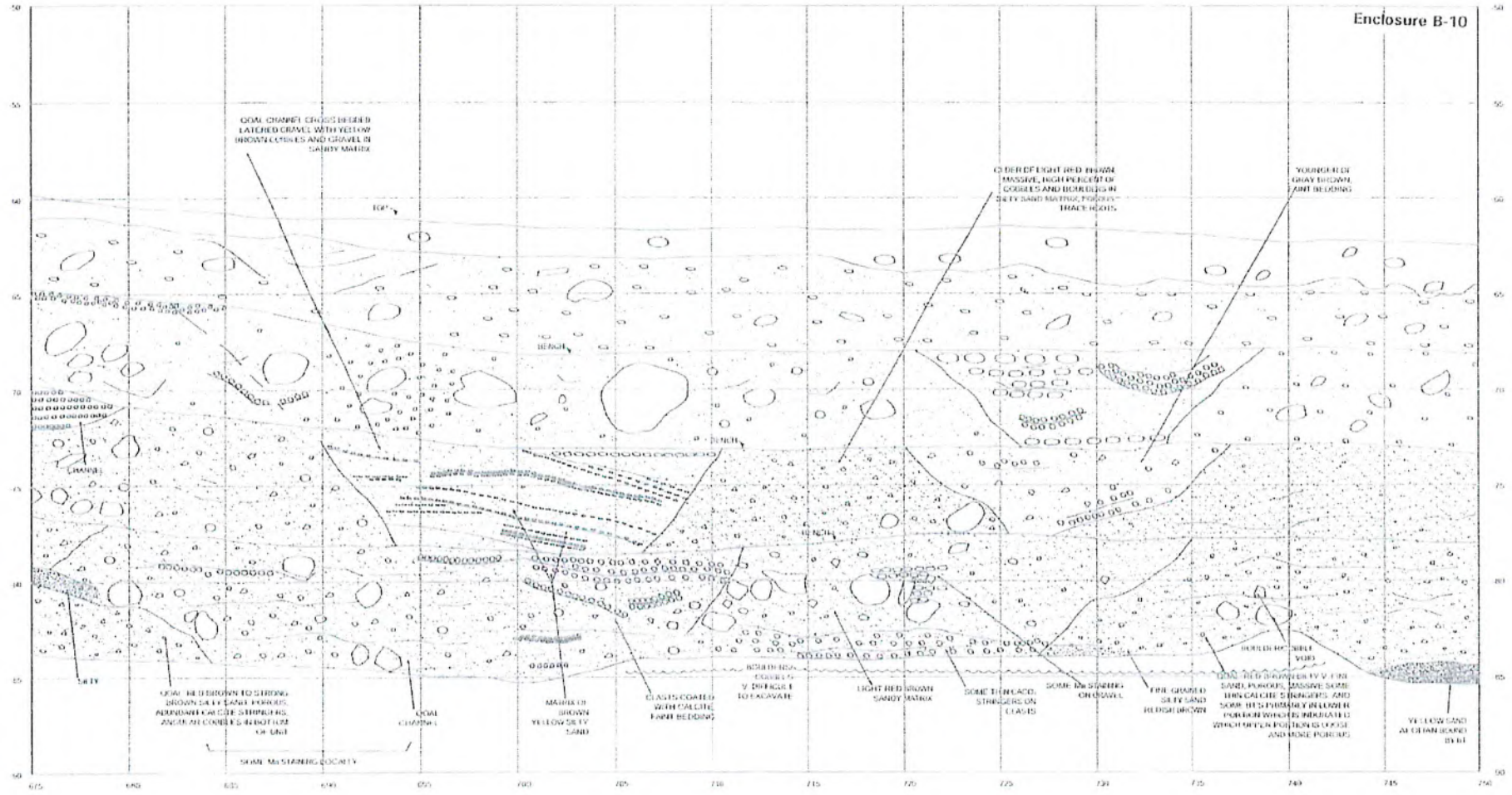


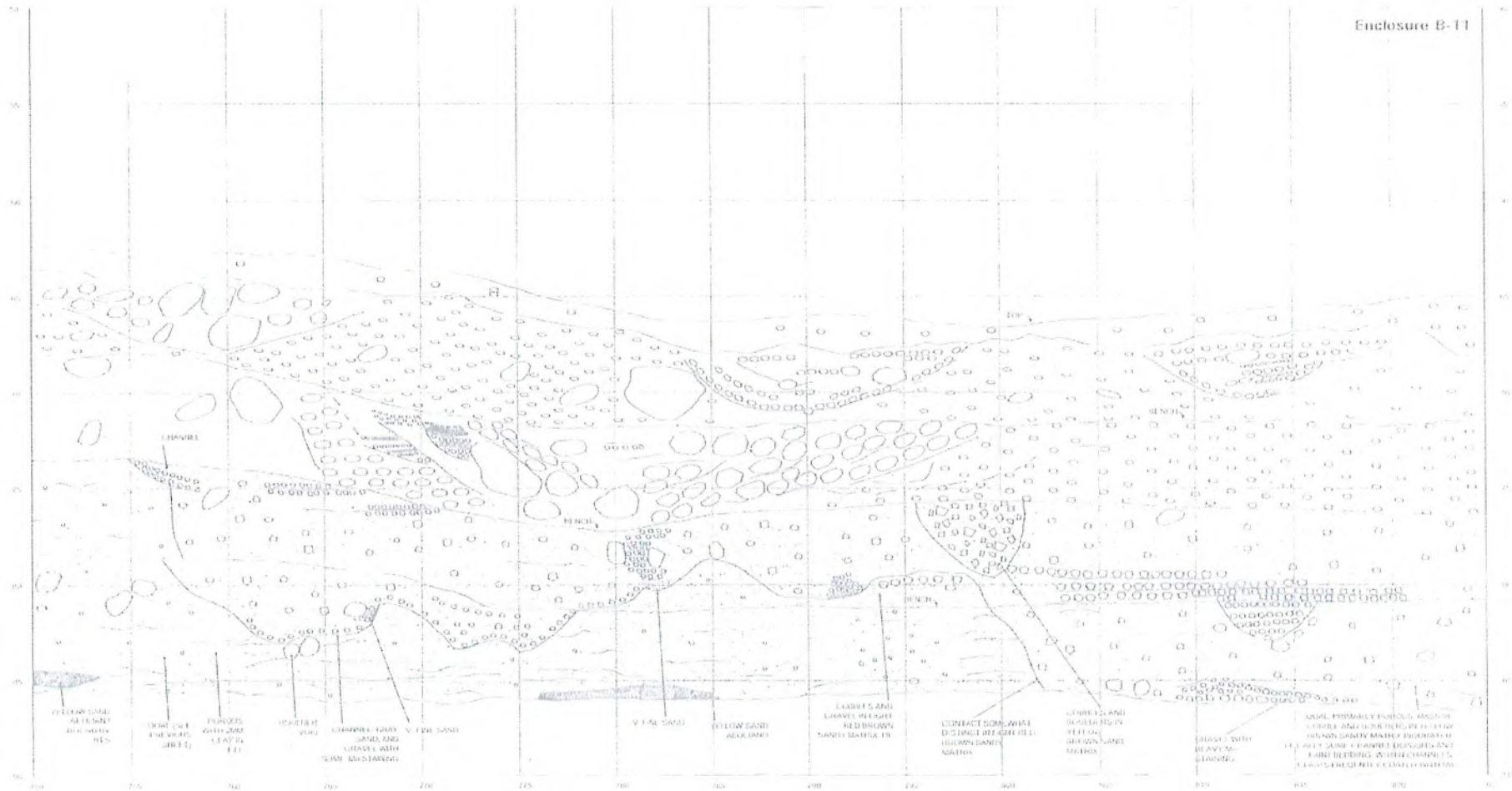


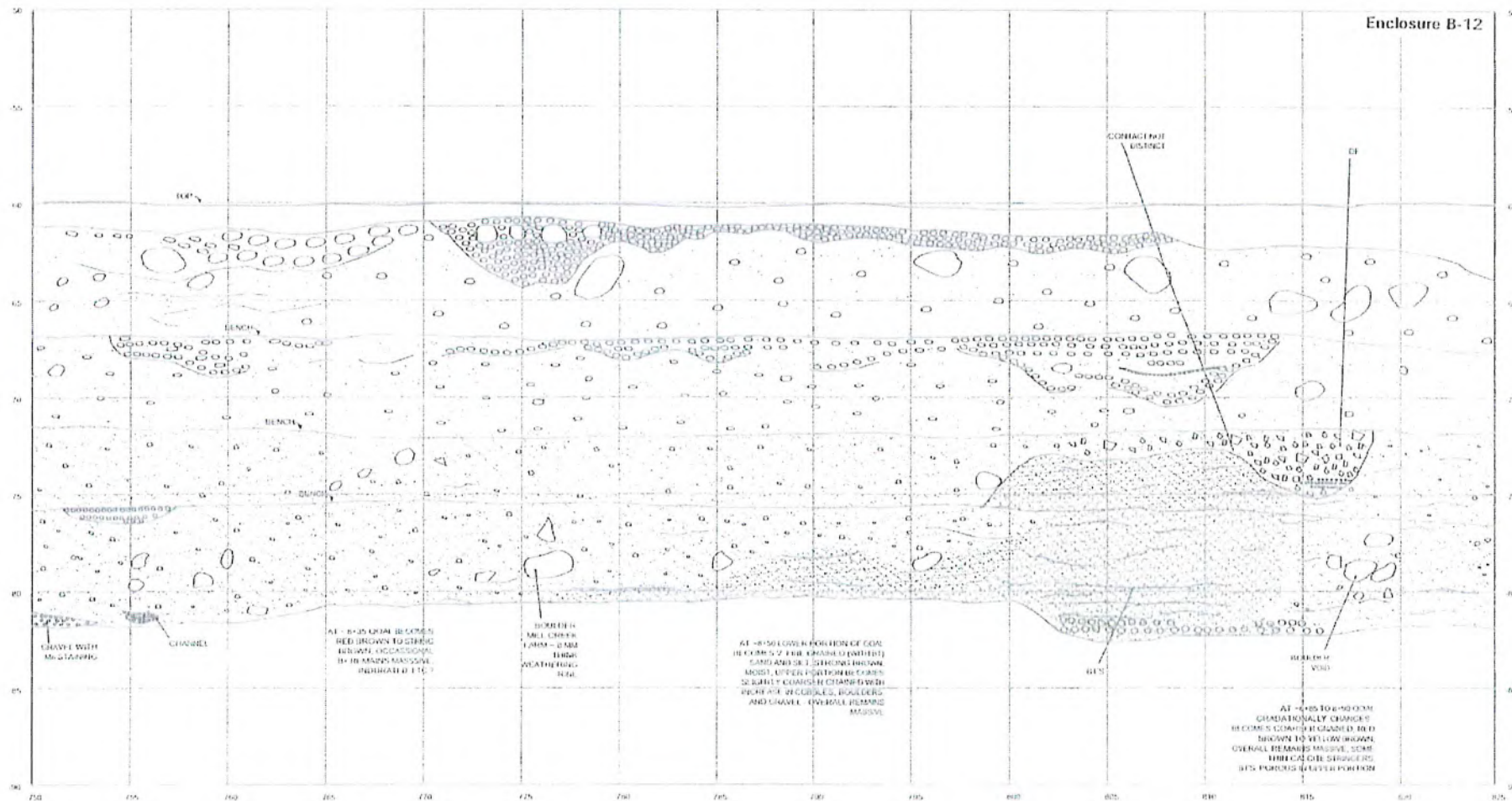


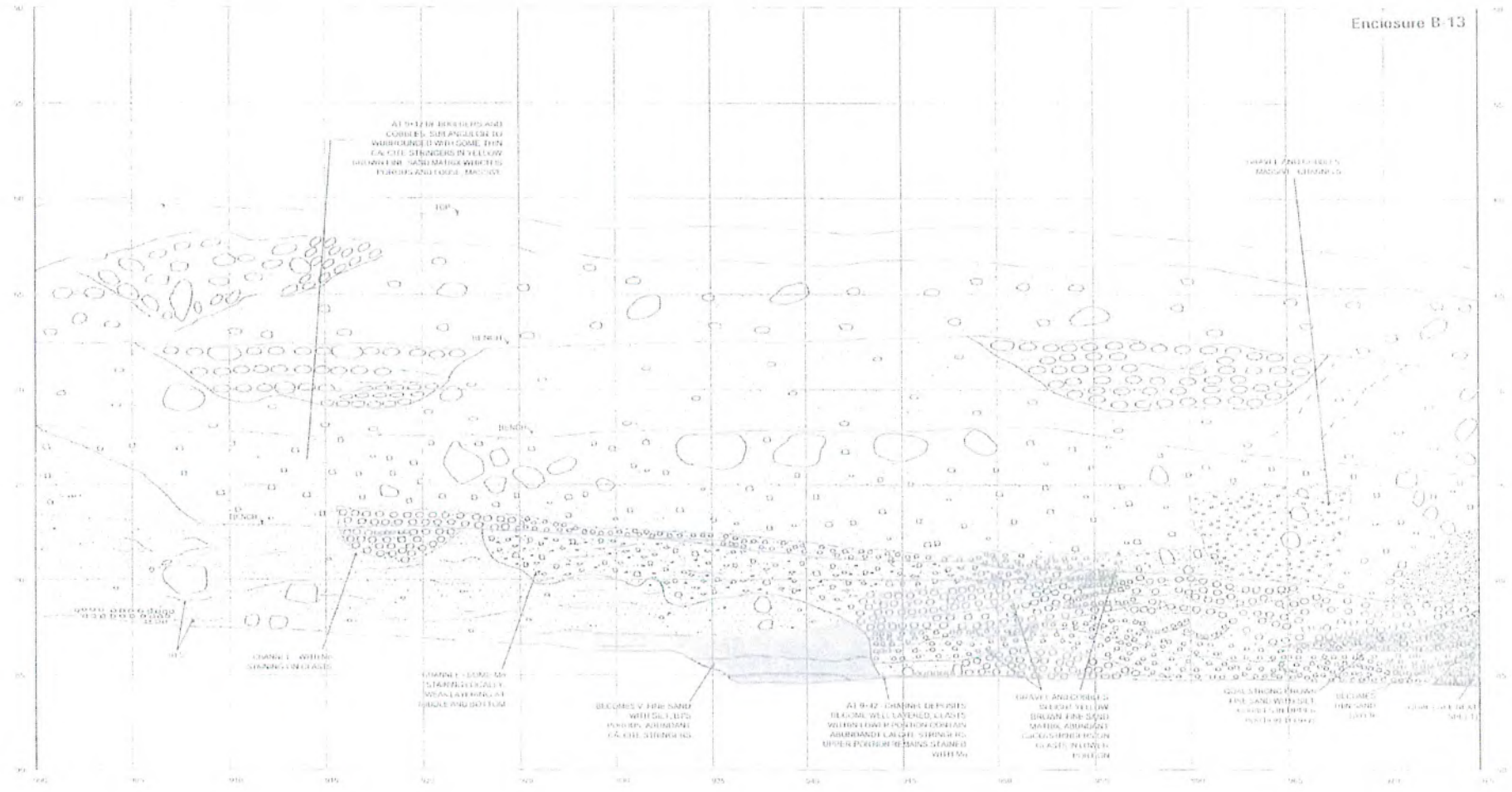


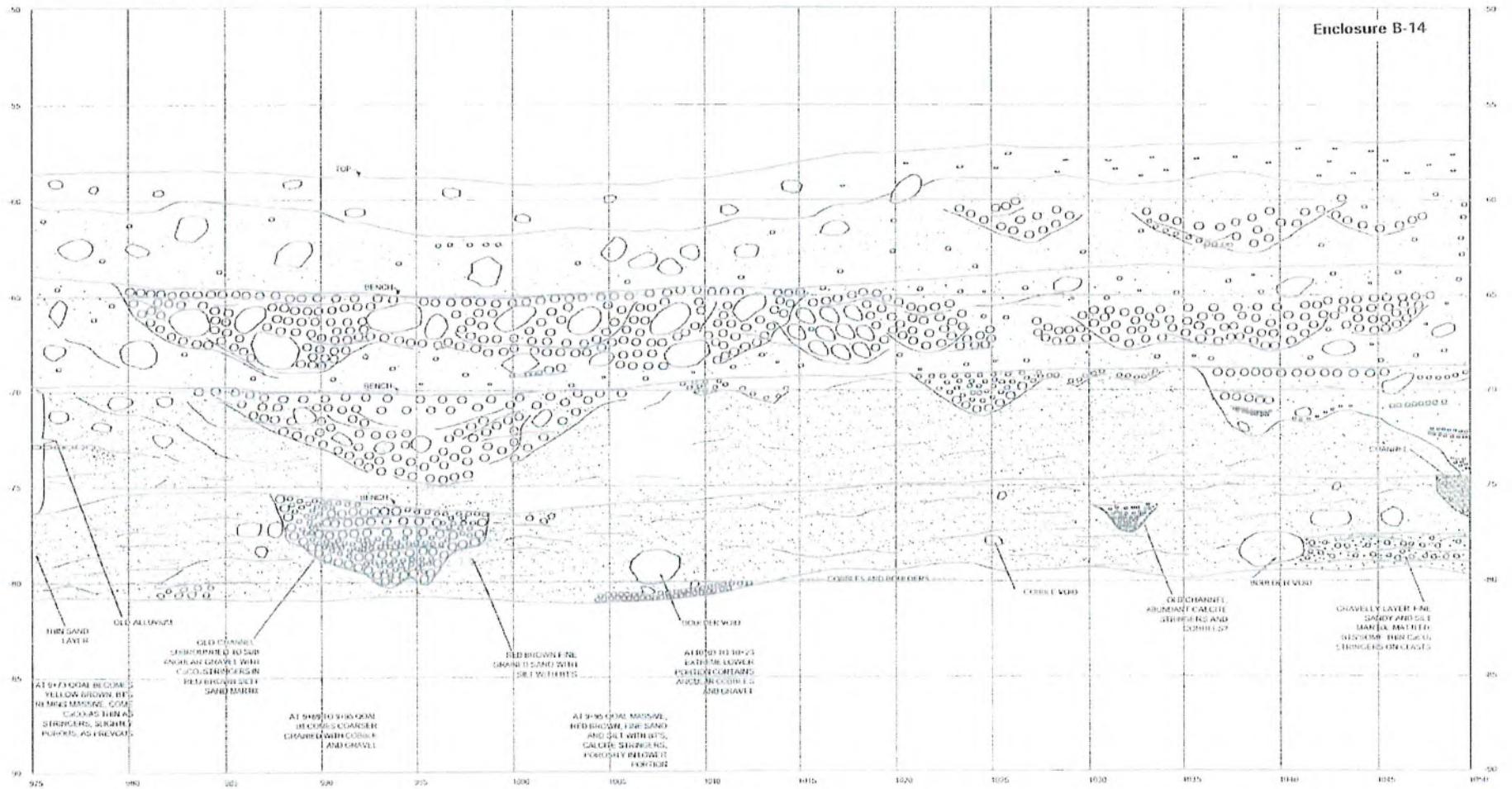


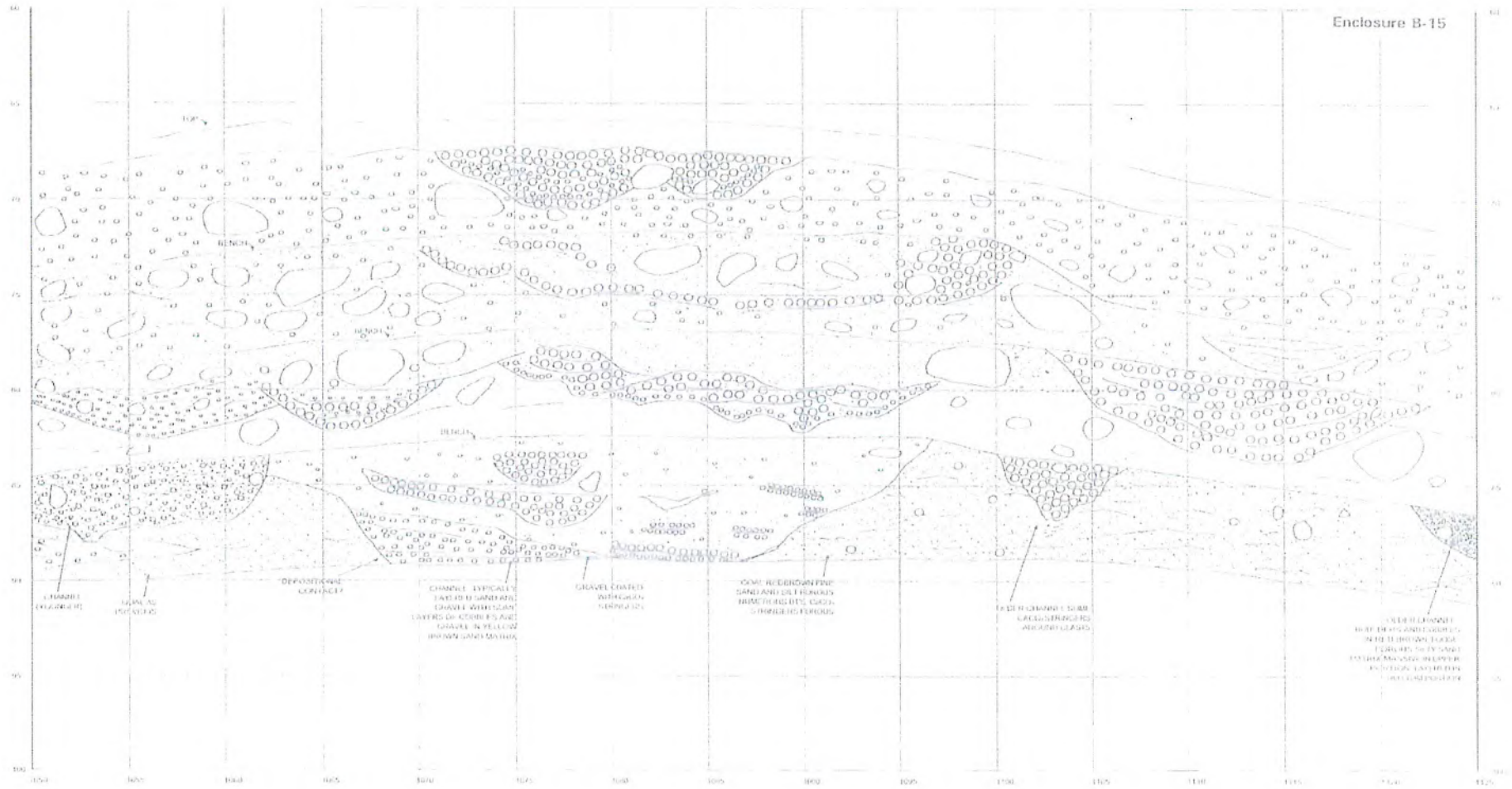


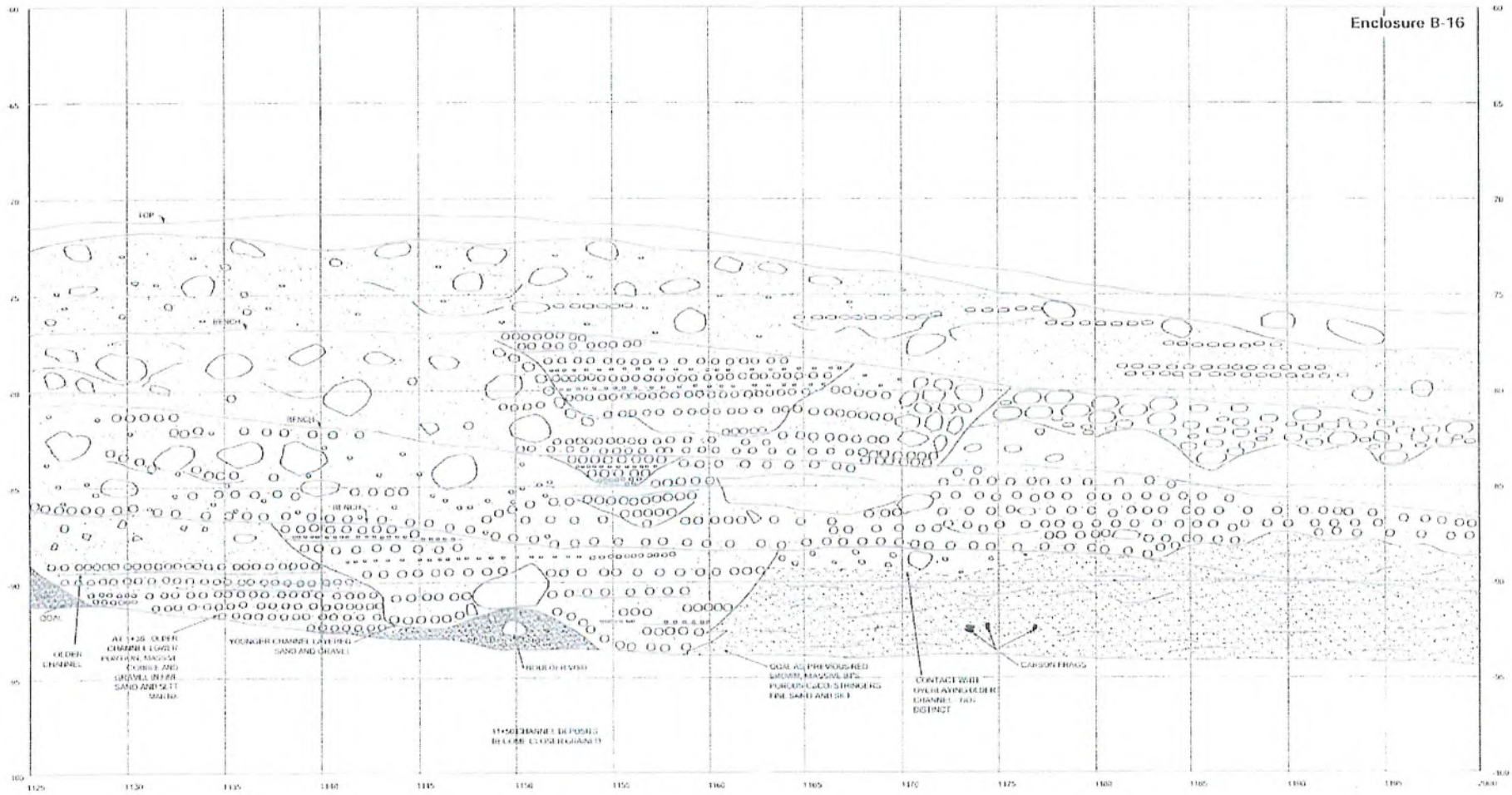


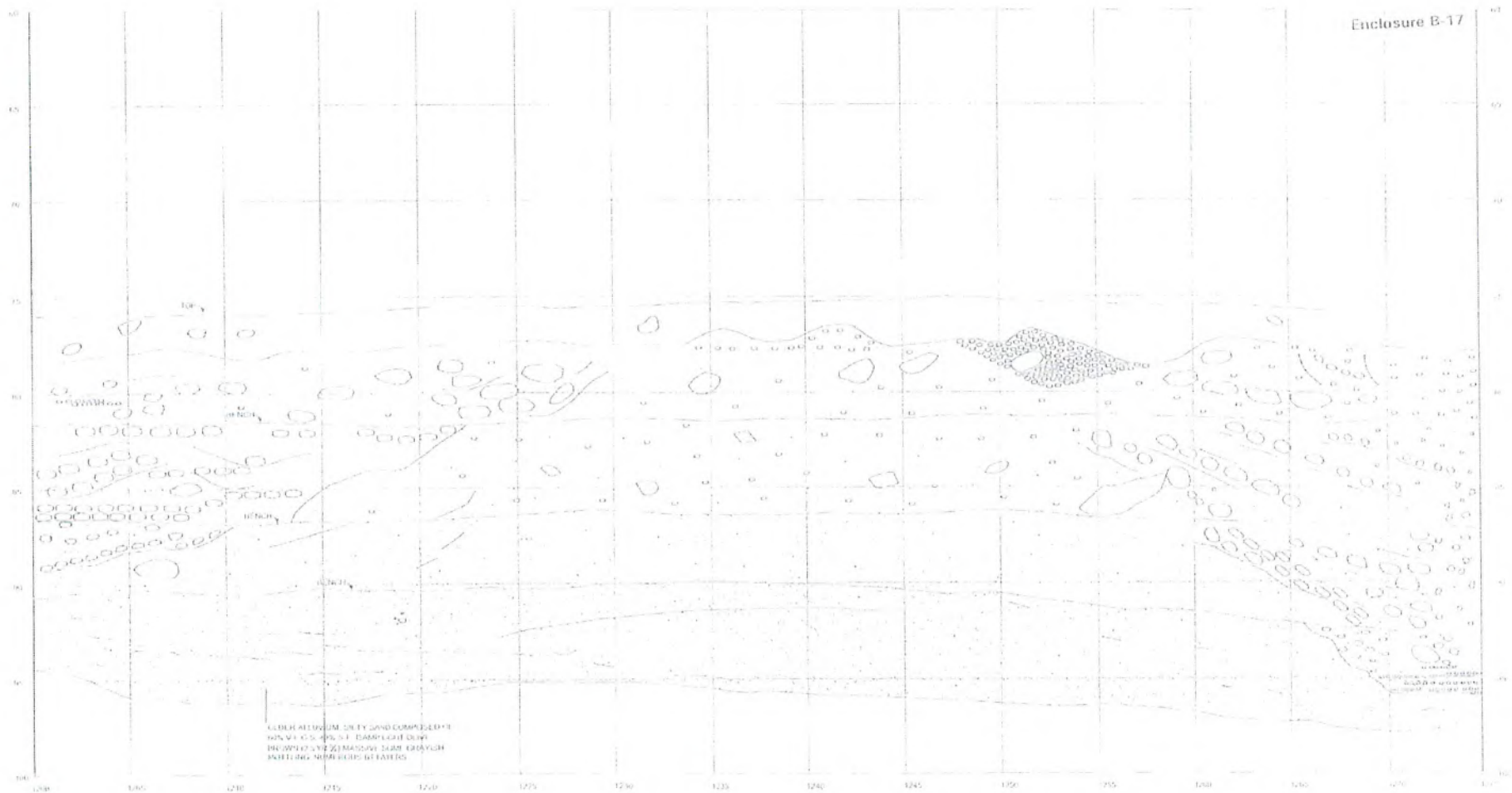




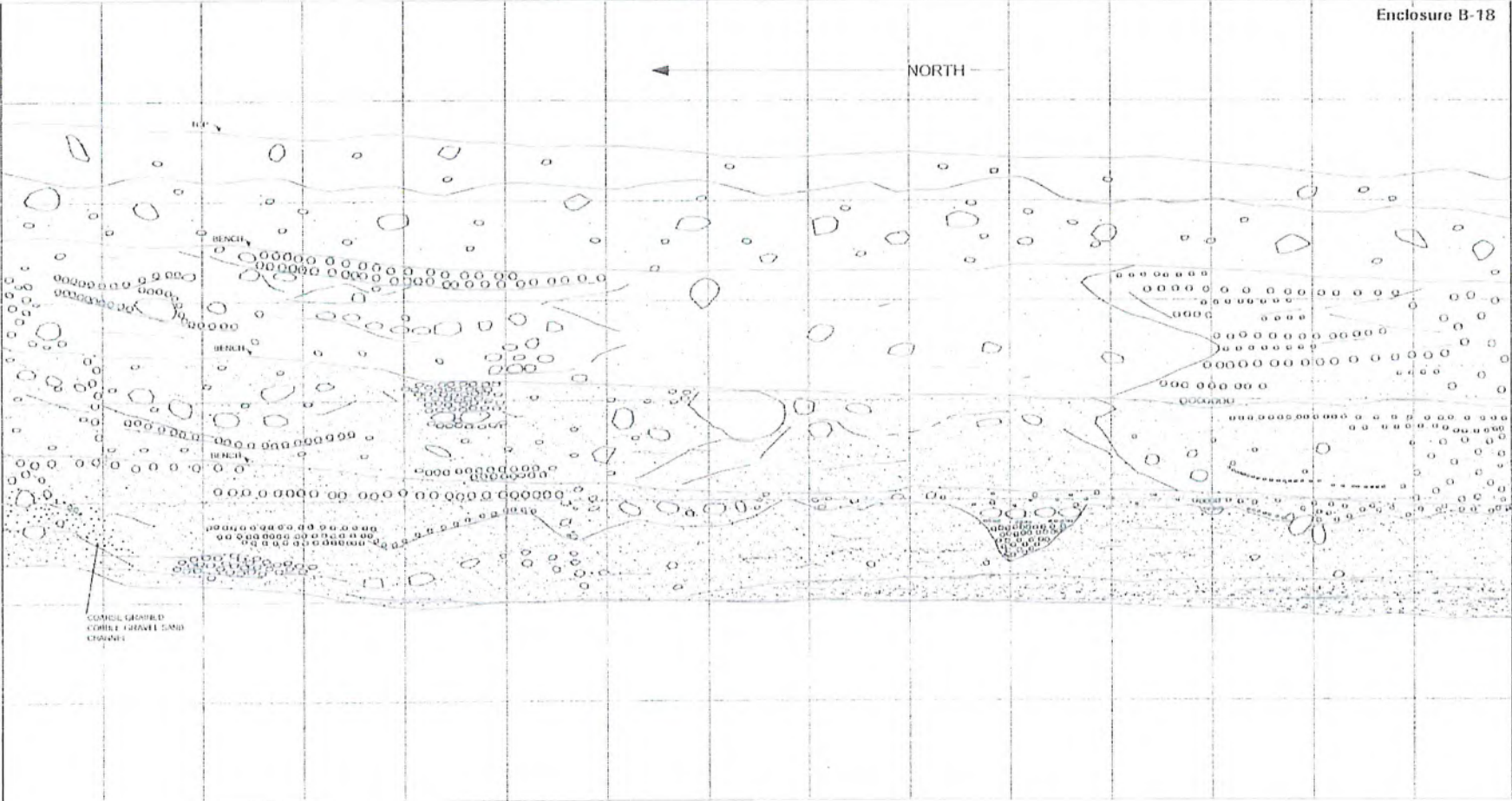


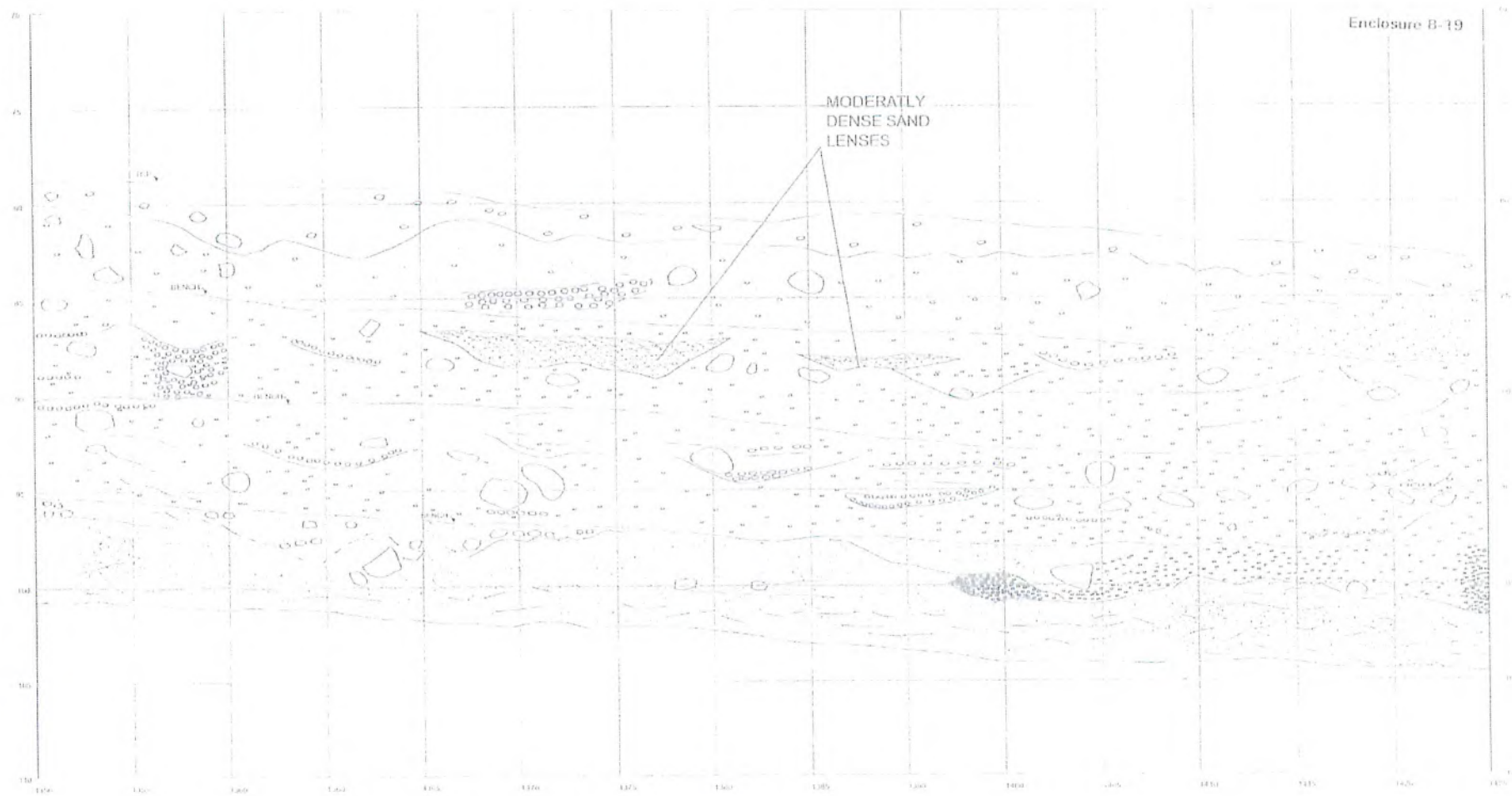


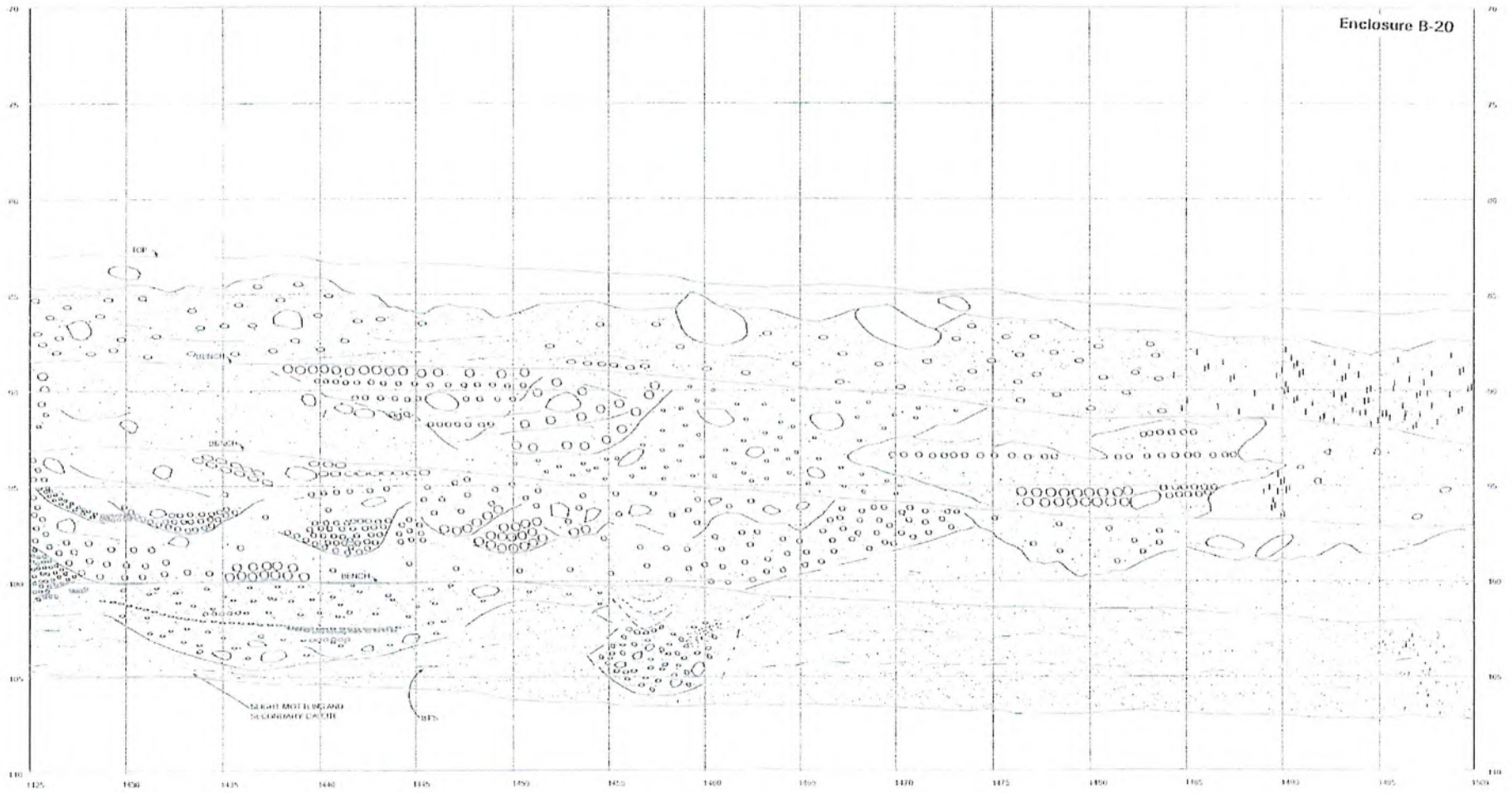


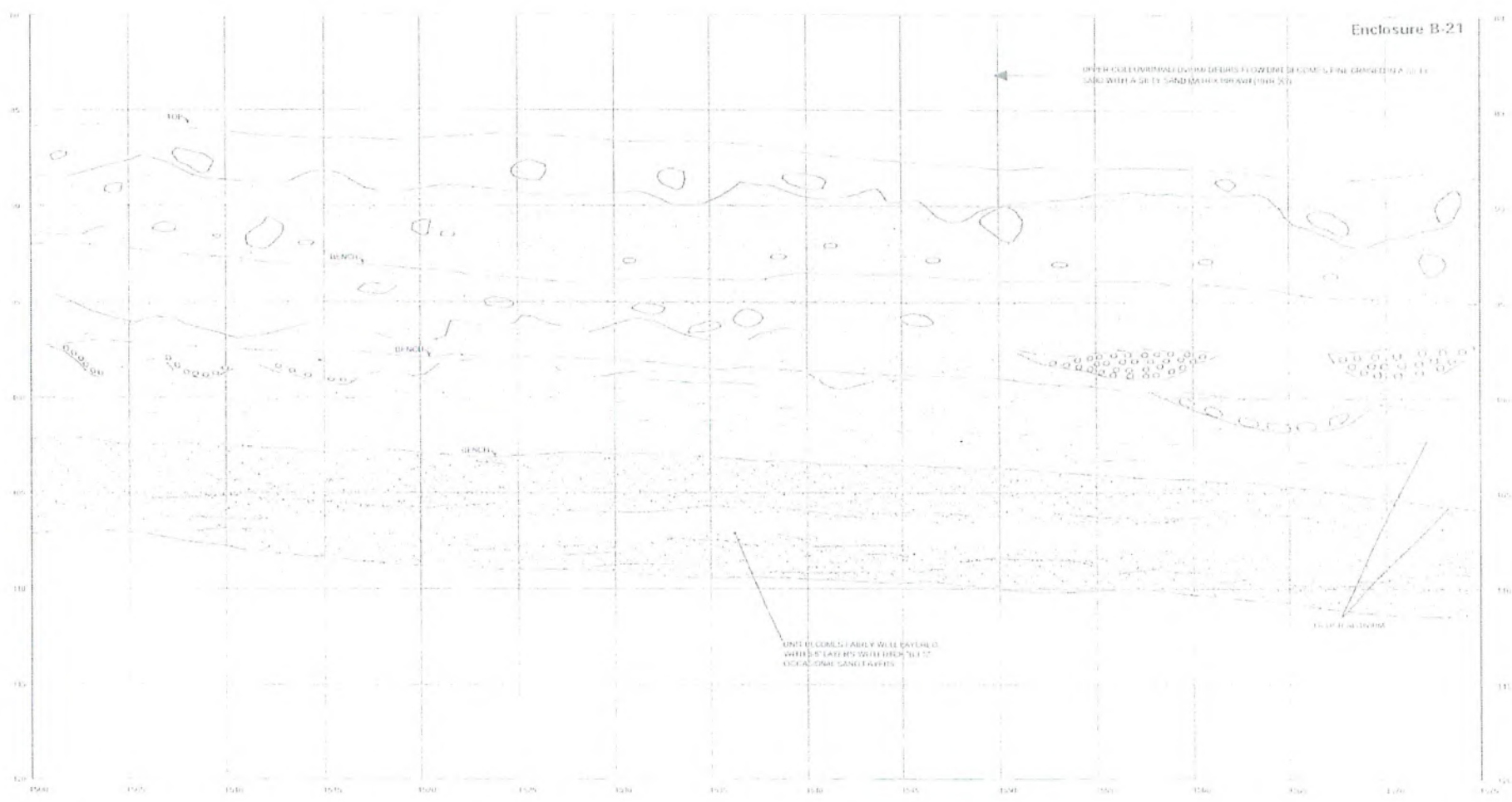


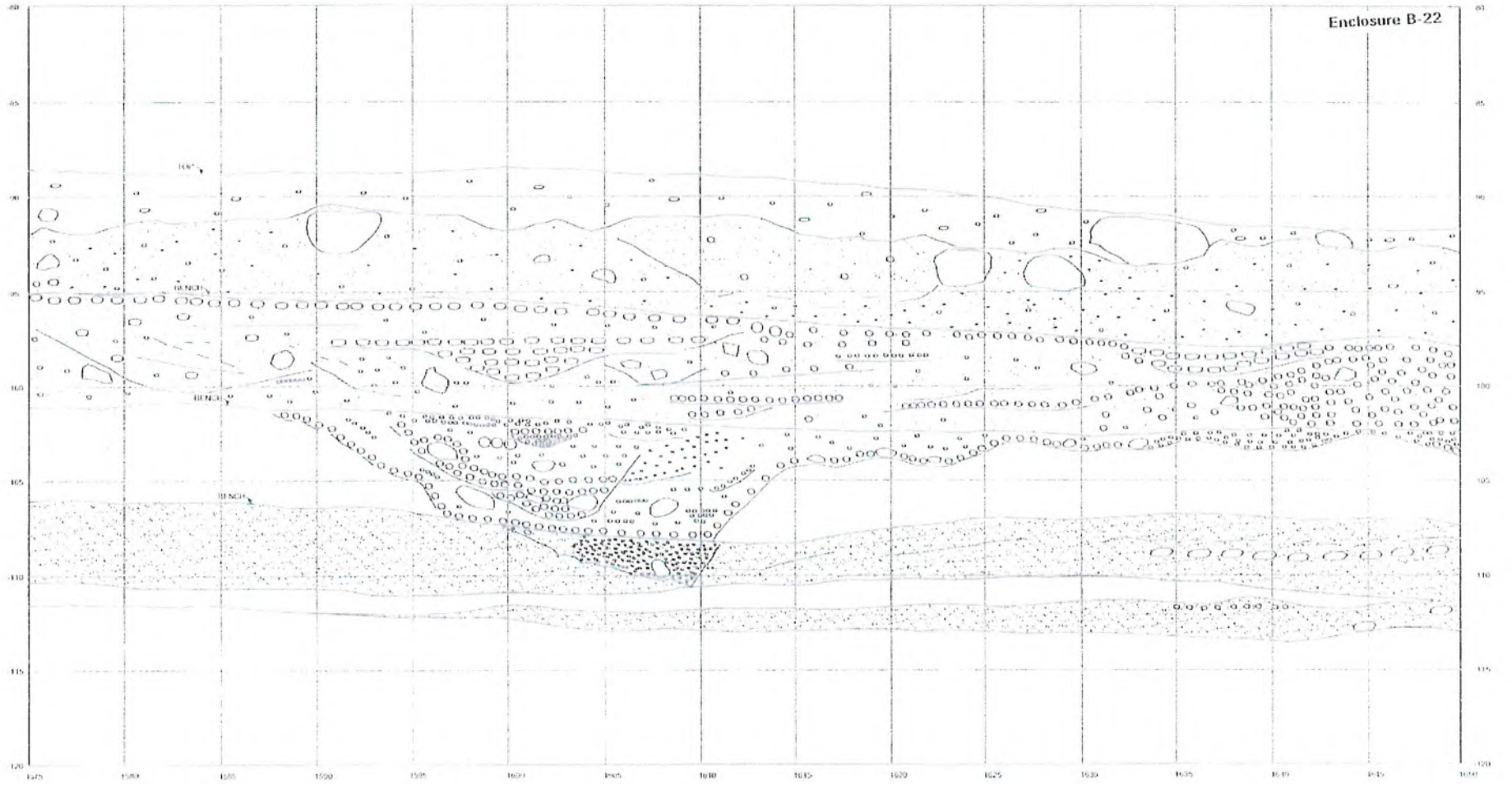




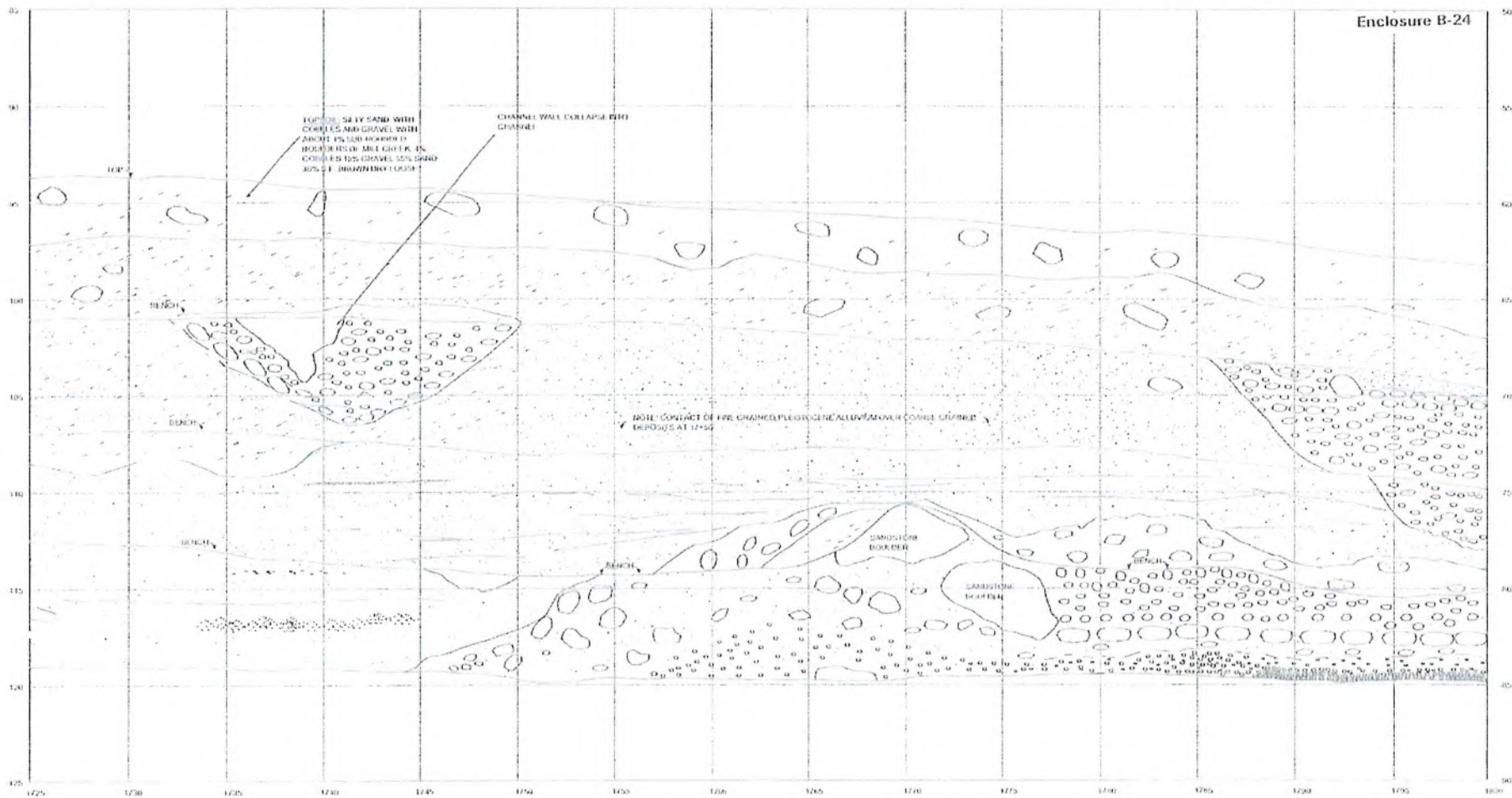


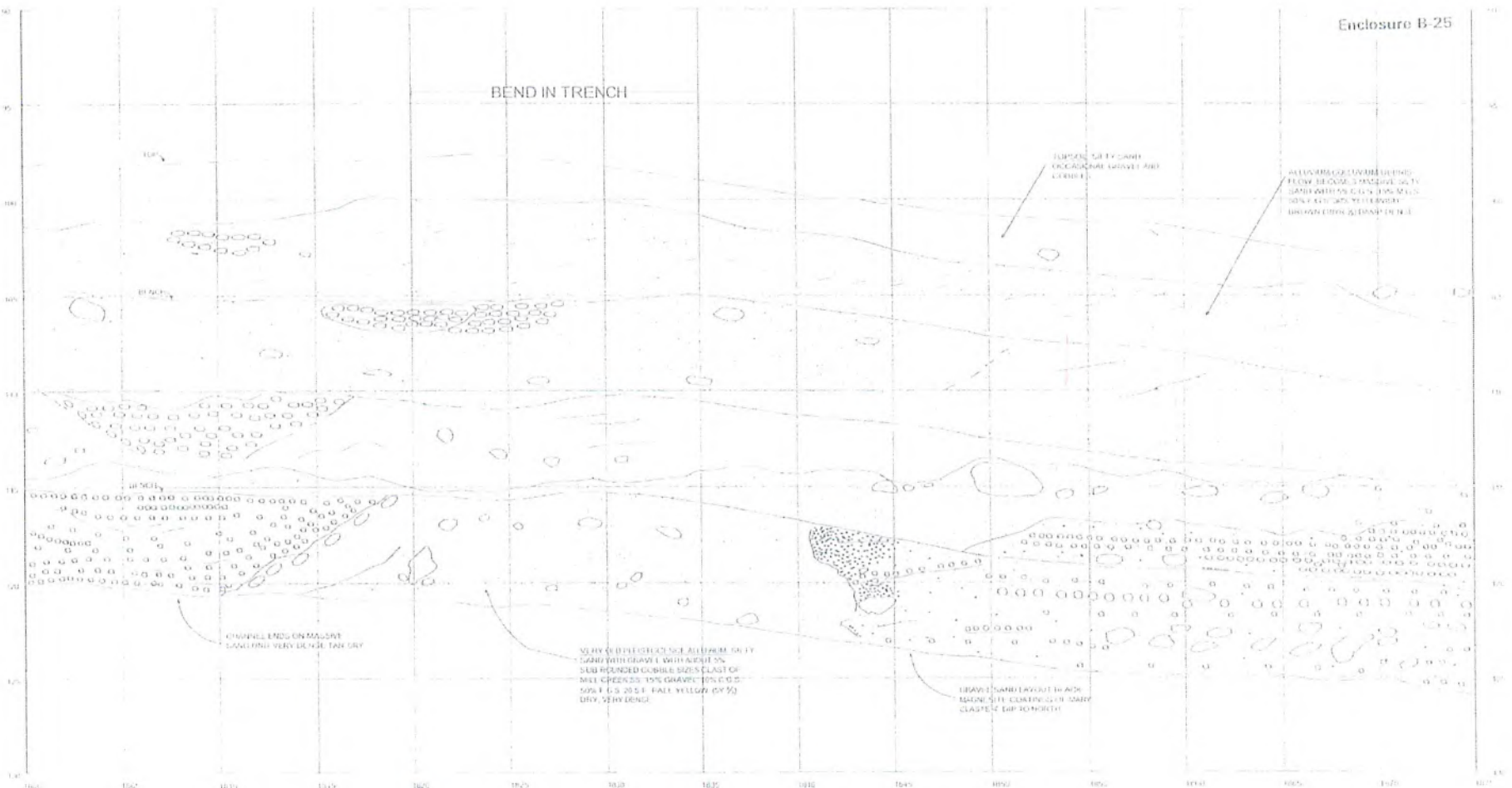




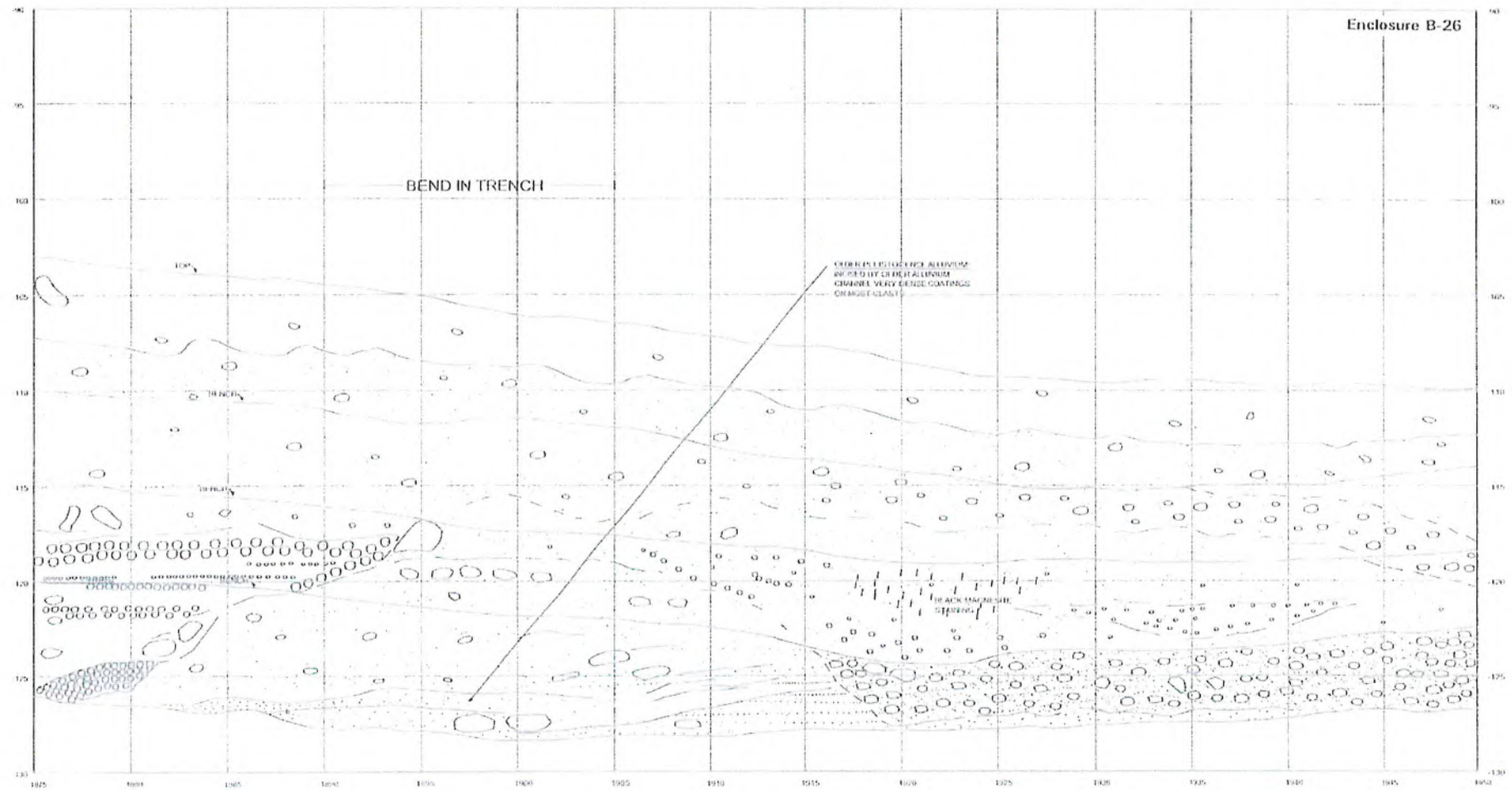




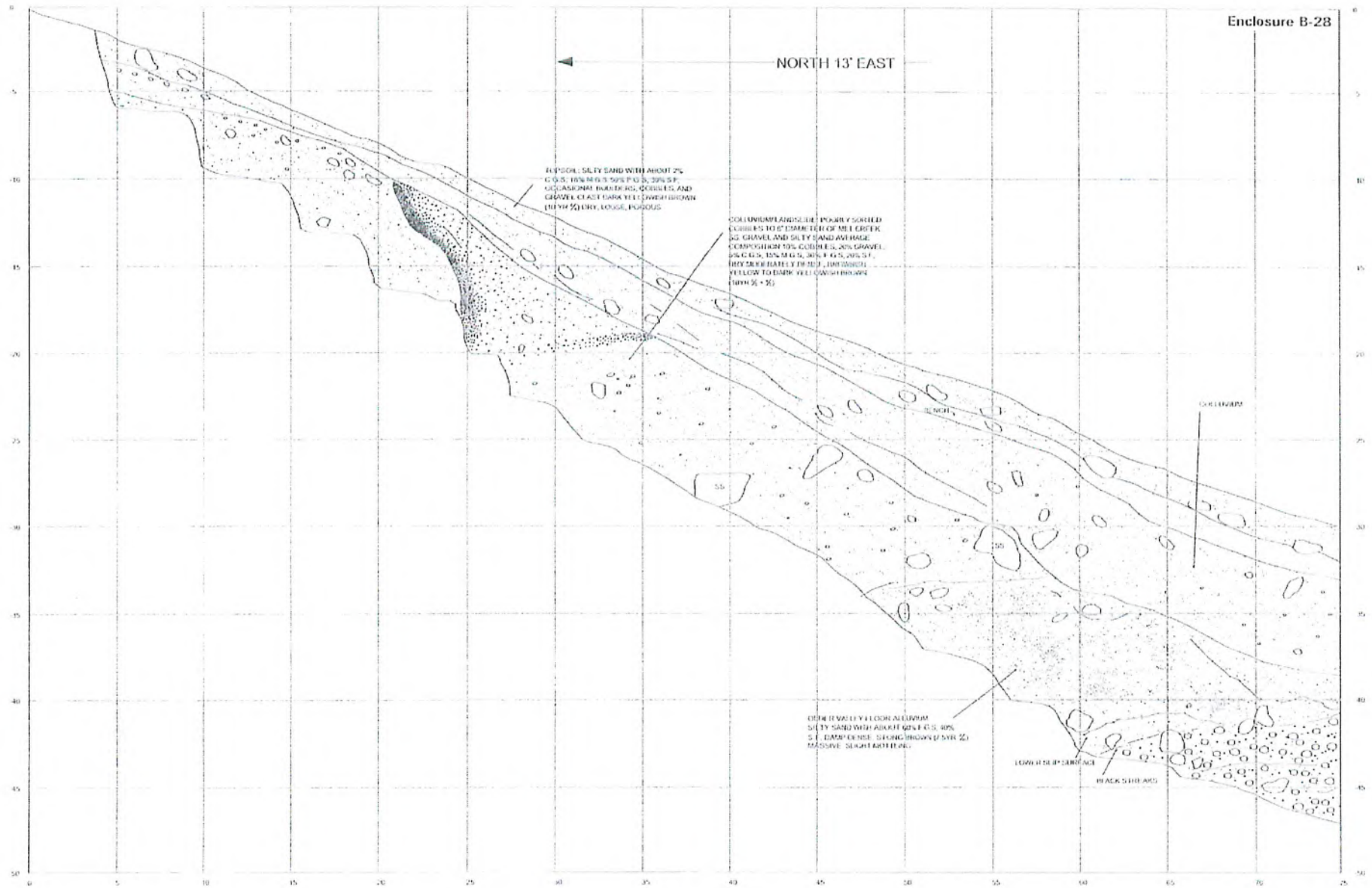


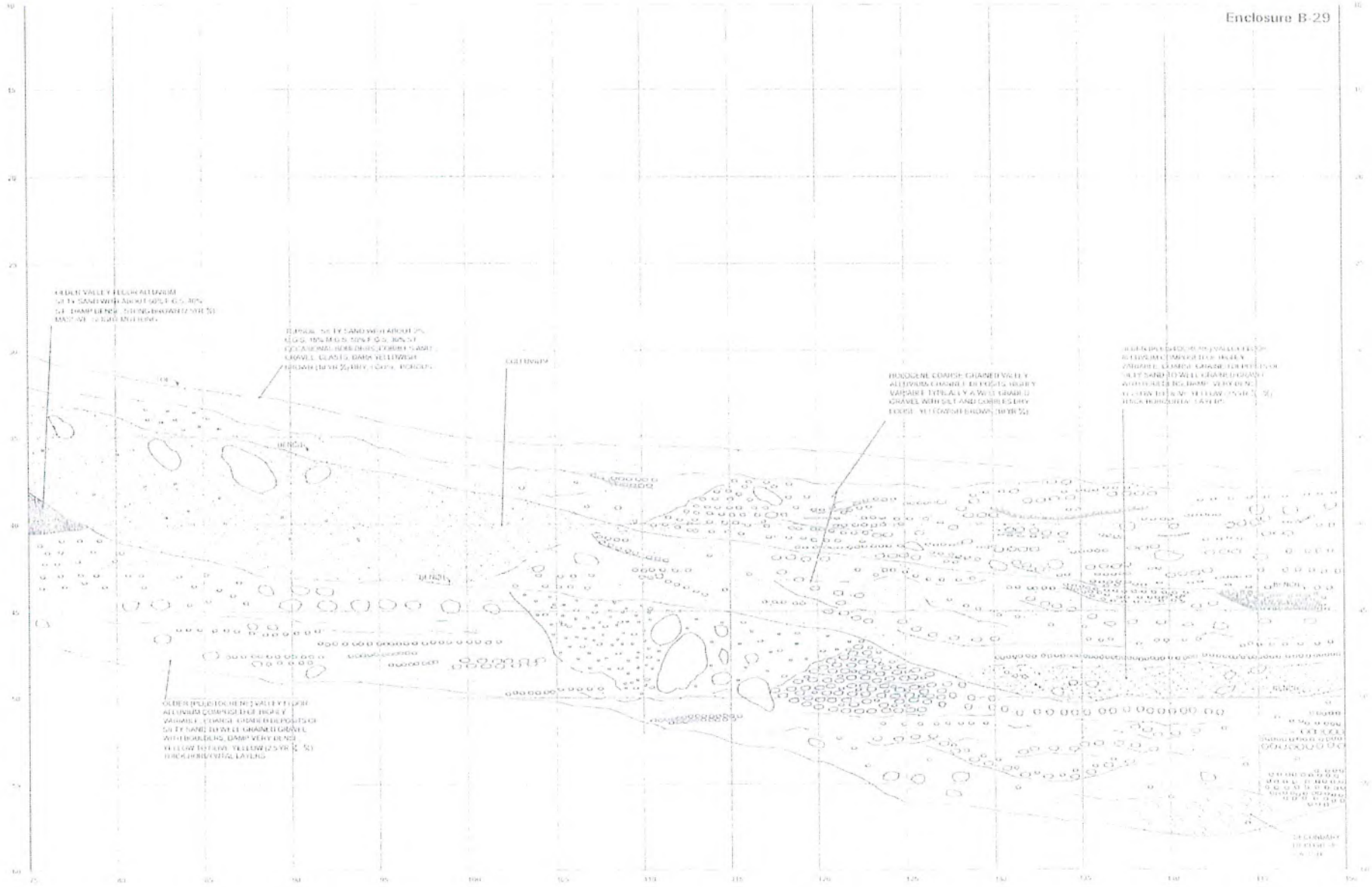












FERTILE VALLEY FLUVENT SOILS  
 50 TO 75% SAND WITH ABOUT 5% TO 10% CLAY  
 15 TO 20% SILT AND 10% TO 15% SILT  
 10 TO 15% SILT AND 10% TO 15% SILT

FINE SANDY SOILS WITH ABOUT 2% CLAY  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT

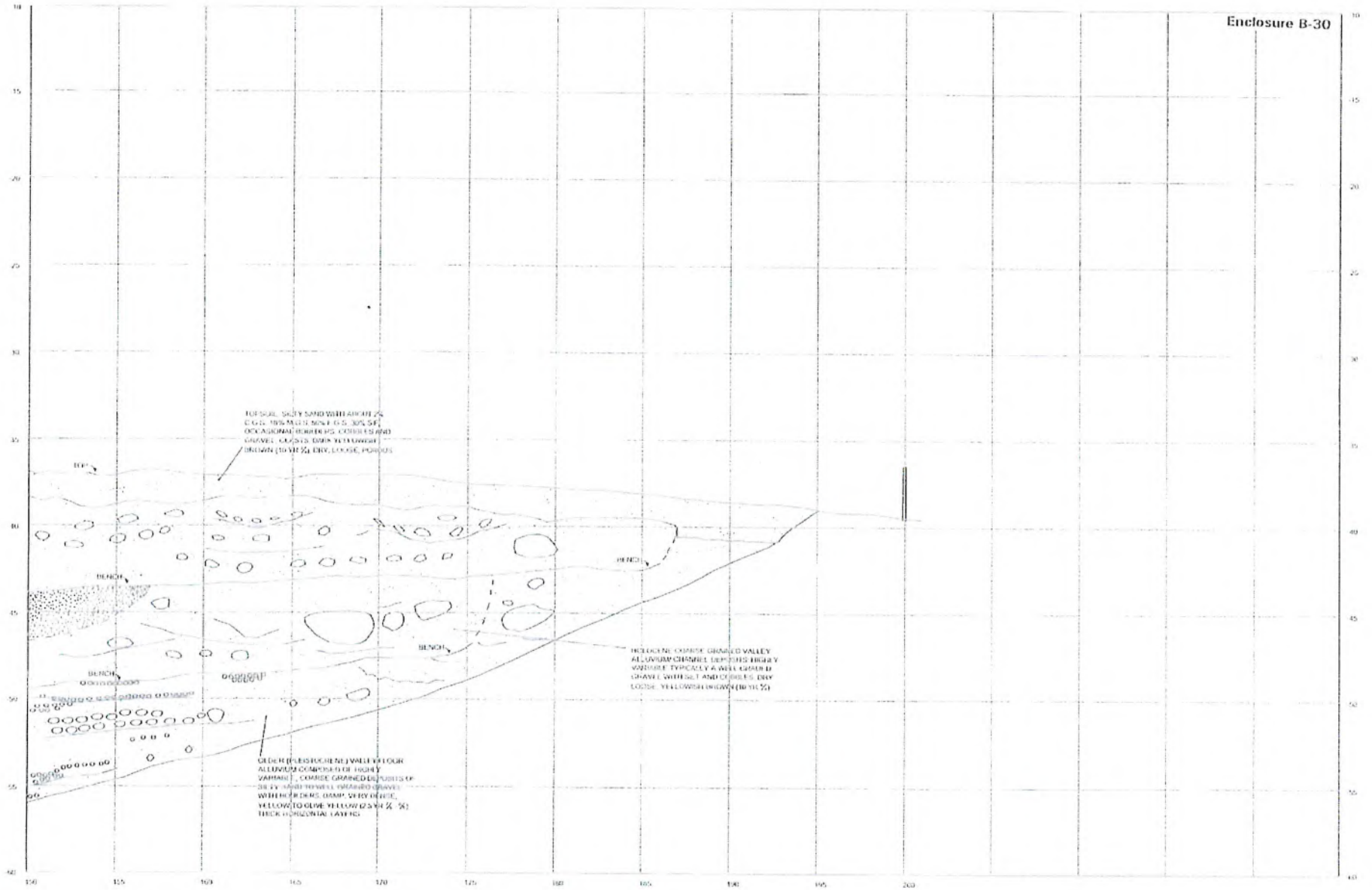
CUTLINE

PROGENE COMPLEX GRAVELLY VALLEY ALLUVIAL SANDS  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT

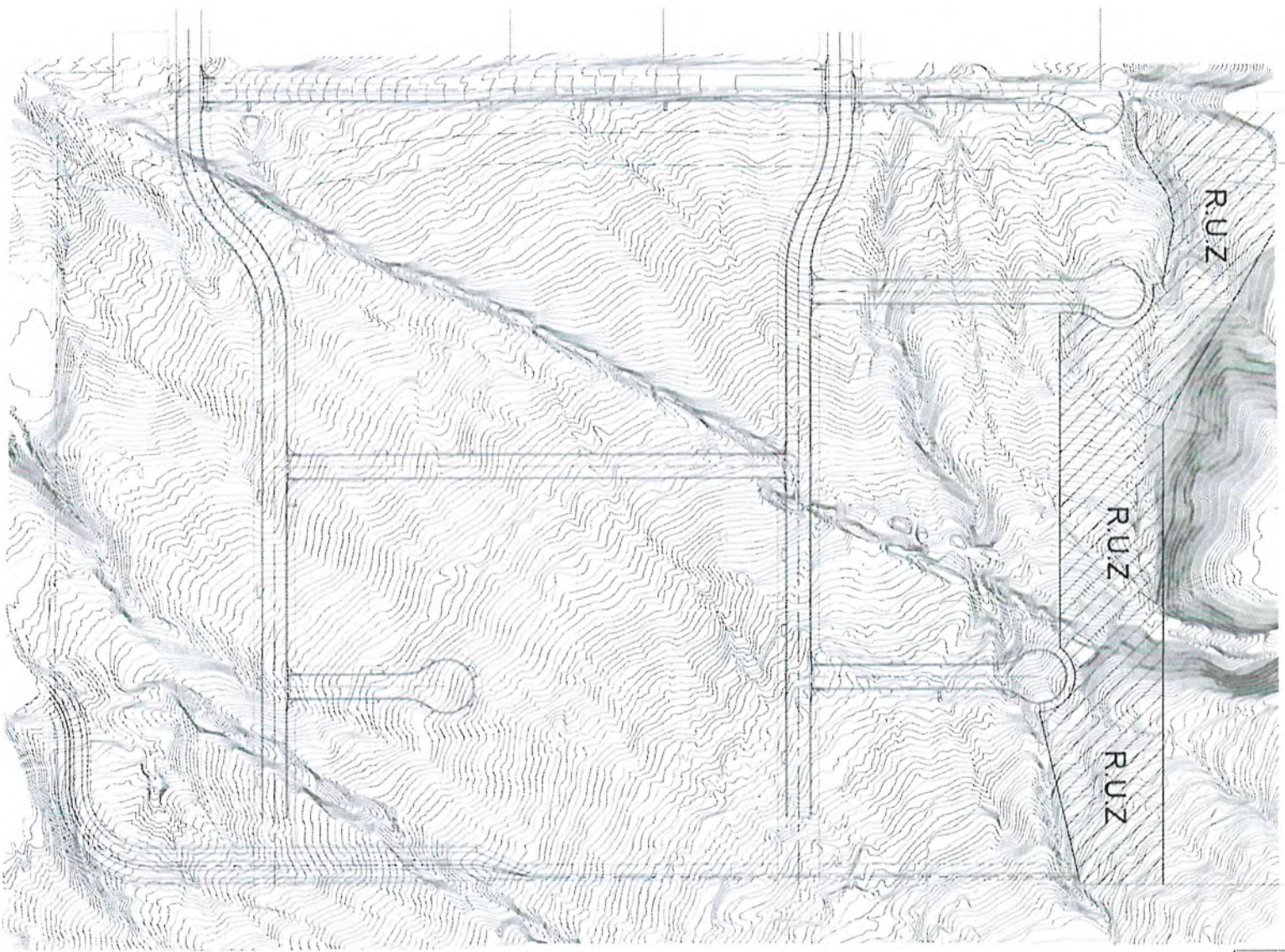
SILT SAND TO SILT CLAY  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT

OTHER PROGENE COMPLEX GRAVELLY VALLEY ALLUVIAL SANDS  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT


10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT  
 10% TO 15% SILT AND 10% TO 15% SILT







**PLATE 2**  
EAST WINDY  
1997-1998

 **THE R.U.Z. ZONE**

**PROJECT NO. 10000**     **DATE: NOVEMBER 2000**  
**10000-10000**     **PROJECT NO. 10000-10000**





PRELIMINARY SOILS INVESTIGATION  
TENTATIVE TRACT 14297  
YUCAIPA, CALIFORNIA

Prepared for:

N.Y. GROUP  
1205 West Cedar Avenue  
Redlands, California 92373

Prepared by:

RANPAC Soils, Inc.  
41710 Enterprise Circle South  
Temecula, California 92390

September 8, 1989

Work Order No. 900-62.1

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Figure 1 - Location Map

Figure 2 - Geologic Cross Sections

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Appendix B - Test Pits

Appendix C - Laboratory Test Results

Appendix D - Geologic Cross Sections and Slope Stability Analysis

Appendix E - Grading Specifications

# RANPAC



SOILS, INC.

September 8, 1989

Mr. J. Lydell Lambeth  
N.Y. Group  
1205 W. Cedar Avenue  
Redlands, California 92373

SUBJECT: PRELIMINARY SOILS INVESTIGATION  
Tentative Tract 14297  
Yucaipa, California  
Work Order No. 900-62.1

Dear Mr. Lambeth:

## 1.0 INTRODUCTION

This report presents the results of our Preliminary Soils Investigation for the subject site. The geographic relationships of the site are shown on the enclosed Location Map, Figure 1.

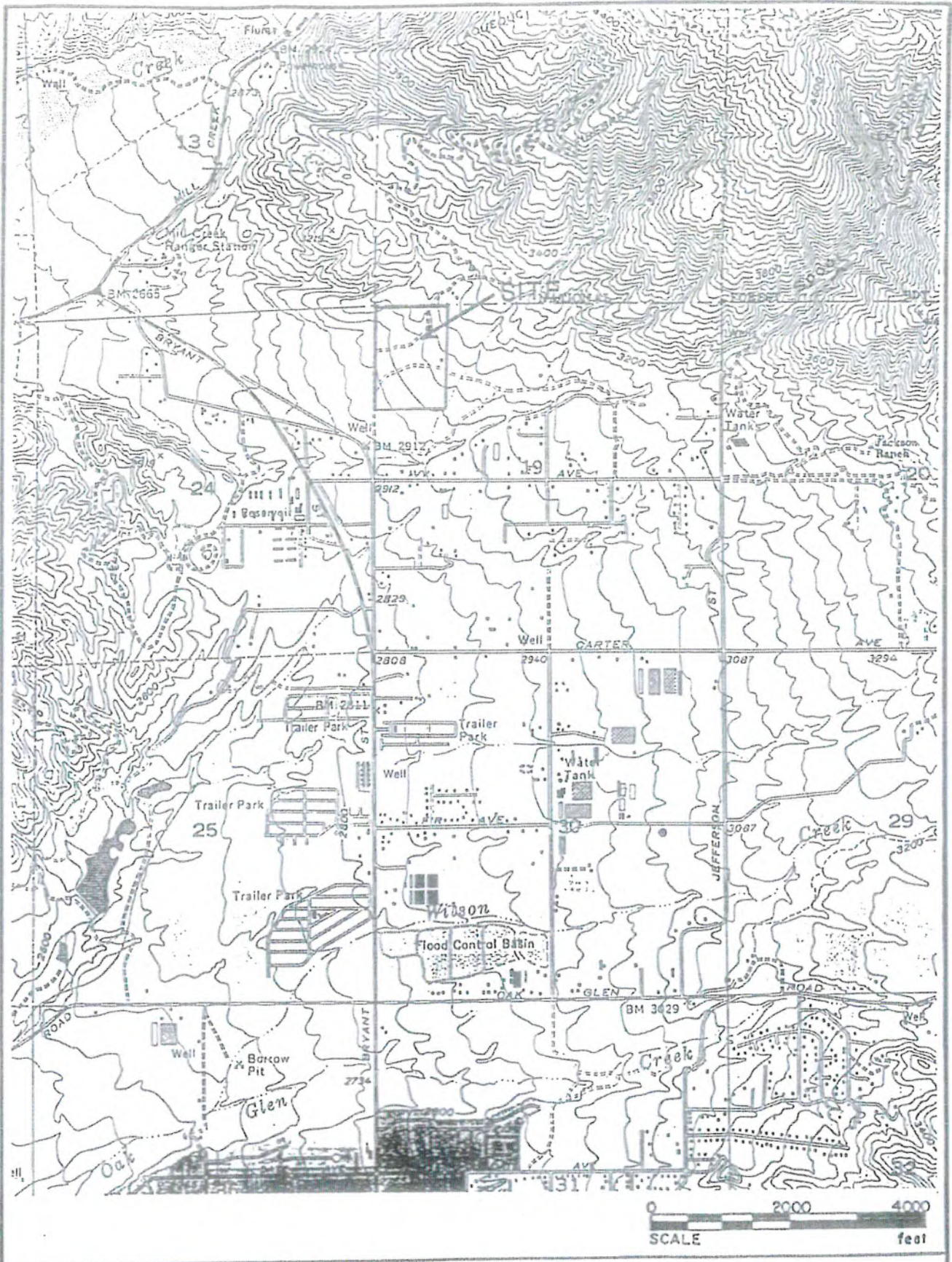
### 1.1 Proposed Development

It is our understanding that the planned development includes the grading and subsequent grading for 40 single family residences for the tract. It is anticipated that cuts and fills will be on the order of 20 ft and 30 ft, respectively.

The 100-scale Grading Plan prepared by Engineering Design Center, San Bernardino, dated 6/1/89 indicates maximum cuts on the order of 28 feet are planned in the area of Lots 37 and 38. Maximum fills up to 12 feet are planned on Lots 14 and 35. All slopes are planned at a 2:1 (horizontal:vertical) or flatter slope ratio and several transition slopes of fill over cut are planned.

### 1.2 Authorization

The scope of investigation was verbally authorized by Mr. J. Lydell Lambeth of N.Y. Group.



LOCATION MAP- TR. 14297

W.O. NO: 900-62	DATE: JULY, 1989	FIGURE: 1
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Mr. J. Lydell Lambeth  
N.Y. Group  
September 8, 1989  
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### 1.3 Scope of Services

The purpose of our investigation was to provide field, laboratory and office services to determine the soils engineering parameters of the site, evaluate the stability of the existing landslides in the north portion of the project for the proposed residential development, and develop conclusions and recommendations for site grading, foundation, slab, retaining wall, and pavement design.

### 1.4 References

For the purpose of this investigation, we were supplied with a 100-scale Tentative Tract Map prepared by Engineering Design Center Inc., revised dated June 1, 1989, and a Report of Geologic Hazards Study of the site prepared by Craig Smith, Civil Engineering and Geology, dated January 17, 1989. Additional references are presented in Appendix A.

## 2.0 EXECUTIVE SUMMARY

Our conclusions and recommendations are based on the information obtained during our investigation of the site. Our work was limited to the scope requested and is specifically addressed to the proposed project, as described herein. In summary, our findings are as follows:

- o Development of the site will not adversely affect adjoining sites.
- o The north portion of the site (encompassing Lots 27-29 and 35-38) is the toe of an apparent smaller internal multiple slide within a larger ancient landslide mass. Additional subsurface exploration is recommended prior to site development to determine landslide depths and pertinent soil parameters if these northern lots are considered for development.
- o Based on our landslide stability analysis, the smaller internal landslide toe in the north portion of the site is susceptible to possible seismic induced landsliding.

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### 3.0 SITE DESCRIPTION

The site consists of a rectangularly shaped, 52± acre parcel of land which is bounded by undeveloped land to the north, east, and south, and by single-family residential properties to the west. Currently, man-made developments in the site include dirt access roads and an abandoned residential dwelling in the central portion of the site.

Topographically, the central and south portions of the site consist of a generally uniform, 10± percent south-southwest sloping alluvial basin, whereas the north portion of the site consist of moderate to steep sloping, south trending ridges and drainages.

### 4.0 SITE INVESTIGATION

#### 4.1 Field Exploration

Our subsurface exploration of the site was performed on June 22, 1989. Eight exploratory trenches were excavated to a maximum depth of 18 feet. A Ford 755B rubber-tired backhoe with a 24 inch bucket was used for the trenches. Soil samples were taken at required intervals and transported to our laboratory for testing.

Excavation of the exploratory trenches was supervised by our Field Engineer who prepared field logs and obtained bulk samples for laboratory testing, and logged the exploratory trenches. Our exploratory trench and geologic cross section locations are shown on the geotechnical map, Plate 1 of this report.

#### 4.2 Laboratory Testing Program

Representative samples of materials encountered during our field investigation were obtained for laboratory testing. Sieve analyses, expansion testing, maximum dry density, optimum moisture determinations and direct shear testing were performed on bulk samples or near surface soils. Results of the moisture and density determinations, together with classifications, are shown on the Logs of Test Pits included in Appendix B. All other laboratory test results and descriptions are included in Appendix C.

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#### 5.0 GEOLOGY

The site geology and seismicity has been discussed in the referenced Report of Geologic Hazards Study of the project prepared by Craig Smith.

#### 6.0 SUBSURFACE CONDITIONS

Based on our subsurface investigation of the site and review of the referenced reports, the central and south portions of the project are underlain by medium dense alluvial deposits composed of silty sands, sandy silts, and sands with variable amounts of cobbles and boulders. The north portion of the site consists of apparent landslide debris composed of fragmented sandstones and metamorphic rock set in a sandy silt to silty sand matrix.

No known subsurface work has been performed in the vicinity of the site to establish the subsurface extent of landsliding under the exposed alluvial materials.

No ground water was encountered in any of the exploratory trenches. A detailed presentation of the exploratory trenches is presented on the Test Pit Logs, Appendix B.

#### 7.0 LANDSLIDE POTENTIAL

Based on our geologic reconnaissance of the site, subsurface exposures and review of the referenced aerial photographs and geotechnical reports, it is our opinion, that the northern most portion of the site represents the toe of a smaller internal multiple slide within a larger ancient landslide mass. The large ancient slide extends approximately 1 mile into the San Bernardino Mountains to the north (Matti, 1984), and may extend as far as Bryant Street to the south. Younger and older alluvial deposits which are believed to be underlain by the larger landslide within and south of the site appear to provide a natural buttress to this slide. Based on review of the referenced aerial photographs and our site reconnaissance, the larger landslide mass which may underlie the southern portions of the site has been stable for over 15,000 years based on subdued geomorphic features. No geomorphic features indicating recent or past landsliding were observed within the southern portions of the site and south of the site. Currently, no known geologic subsurface investigations other than shallow exploratory trenches have

Mr. J. Lydell Lambeth  
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been performed to determine the actual depth, lateral extent, and engineering properties of the landslide. Our slope stability evaluations are based on soil strength values obtained from near surface samples during our field evaluation. The actual slide plane configuration, especially for the larger ancient landslide, was extrapolated from geomorphic data north and east of the subject site. Our slope stability analyses of the larger slide indicated a Static Factor of Safety of 2.1 and a Pseudostatic Factor of Safety of 1.2 for landslide depths of 150 to 200 feet. For our analysis, we assumed a rotational slide configuration, a shear plane soil cohesion of 200 psf, and internal friction angle value of 16 degrees.

Based on our landslide stability analysis and aerial photograph review of the smaller internal landslide in the north portion of the site, it is our preliminary opinion that this interior slide mass may be susceptible to possible seismic induced landsliding with a Seismic Factor of Safety of only 0.70 where 1.1 is required.

A probable geologic cross section of the larger landslide configuration showing possible inner multiple slides is presented as Figure 2. Additional geologic cross sections and our landslide stability analyses are presented in Appendix D.

The proposed cuts and fills in the north portion of the site should have minimal or no effect on the stability of either the larger ancient or smaller internal landslides. Geologic cross-sections of the proposed cut and fill areas in the north portion of the site are presented in Appendix D. The slope stability of the proposed cuts and fills of the development are discussed in Section 8.3 of this report.

## 8.0 GEOTECHNICAL EVALUATION AND RECOMMENDATIONS

### 8.1 General

Based on the results of this Preliminary Soils Investigation, recommendations for the site grading and design of retaining devices, pavement sections and slabs are presented in the following sections of this report.



Mr. J. Lydell Lambeth  
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## 8.2 Grading and Earthwork

### 8.2.1 Alluvial/Colluvial Removals

Alluvial removals beneath the building locations are estimated to be on the order of 3 to 5 feet below existing grade or one-half the fill height, whichever is greater. The actual depths of removal should be estimated in the field during grading by observation and density testing. Total removal of alluvium/colluvium is recommended inside drainages and narrow canyons on the site. Removal depths are anticipated to be on the order of 3 to 5 feet in these areas.

### 8.2.2 Rippability

Based on the fractured and in-situ nature of the on-site bedrock fragments encountered during our field work, we anticipate easy to moderate rippability in cut areas. No seismic refraction studies have been performed and precise data from a rippability evaluation should include seismic refraction studies in the future. Large boulders may be encountered in localized areas, requiring moderate to difficult grading efforts in these regions.

### 8.2.3 Subdrainage

It is anticipated that subdrains will not be required at the fill to bedrock contact, but this should be determined during rough grading of the site.

### 8.2.4 Grading

All grading should be accomplished in accordance with the guidelines presented in Appendix E unless superceded within the text of this report.

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Page Seven

8.2.5 Site Preparation and Fill Placement

Prior to grading, the site should be cleared of existing vegetation and debris. Existing fill and loose alluvial material should be removed to a depth of four feet below existing grade in building pad areas and areas to receive fill. Where the need for extensive overexcavation is required due to localized porous or loose material, or where the in-situ density is below 85%, the use of an approved geotextile fabric may be required to provide an adequate base on which place compacted fill. The limit of overexcavation should extend at least 5 feet beyond the building limits. Removals to a depth of 7 feet may be required in localized areas. Footings should have a minimum of 2 feet of compacted fill beneath the bottom of footing. Areas to receive fill should be scarified a minimum of 12 inches, moisture conditioned to near optimum moisture and compacted to at least 90% of the maximum density (ASTM D 1557). On-site fill should be brought to near optimum moisture content and compacted to at least 90% of the maximum dry density as determined by ASTM D 1557. Oversized materials, 12 inches or more in maximum dimension, should not be incorporated in fills within 10 feet of finish grade or a slope. Details for rock disposal are presented in Appendix E.

8.2.6 Expansive Soil Conditions

On-site materials exhibit very low to low expansion potential. Further expansion testing should be performed at the time of grading to verify these results.

8.2.7 Shrinkage and Subsidence

The alluvial soils encountered may shrink 12 to 15 percent during grading and compaction of the subject site. Subsidence due to grading on-site materials is anticipated to be on the order of 0.2 foot.

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### 8.3 Slope Stability

#### 8.3.1 Bedrock/Soil Stability

As discussed in Section 7.0, Landslide Potential, the central and south portions of the site are underlain by recent and older alluvial soils which are believed to be underlain by older landslide materials. Based on our review of the referenced aerial photographs and our site reconnaissance, the southern portions of the site have been stable for at least 15,000 years.

In the north portion of the site, it is our preliminary opinion that this area is susceptible to possible seismic induced landsliding which may effect the stability of Lots 28, 29, 30, 35, 36, 37 and 38.

#### 8.3.2 Fill Slopes

Based on the slope stability calculations presented in Appendix D, slopes up to 30 feet in height at a 2:1 (horizontal:vertical), slope ratio should be grossly stable.

If the natural slopes are steeper than 5:1, compacted fill should be keyed into firm material as indicated in Appendix E.

#### 8.3.3 Cut Slopes

Based on our slope stability analyses presented in Appendix D, cut slopes within the central and southern portions of the site are anticipated to be grossly and surficially stable at a slope ratio of 2:1 (horizontal:vertical) or flatter, to a maximum height of 30 feet.

Cut slopes within the landslide materials in the north portion of the site are anticipated to be relatively shallow and should be locally stable provided the cut slopes are constructed

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Page Nine

at 2:1 (horizontal:vertical) slope ratio or flatter and no adverse jointing, shear zones, or other structural adverse contacts exist which might produce instability. However, due to the possibility that these cut slopes are within a potential active landslide area we recommend that additional subsurface exploration be performed within the northern portion and north of the site prior to development of Lots 28, 29, 30, 36, 37, and 38 to determine the overall stability of the landslide mass in the north portion of the site and to further evaluate the effects of the proposed cuts and fills on the stability of the landslide. This additional investigative work could be avoided if no construction is anticipated for these upper lots.

#### 8.3.4 Fill Over Cut Slopes

Fill over cut slopes above building pads should be eliminated typically by the construction of stabilization blanket fills against the cut portion of the cut slopes. Construction of blanket fills should begin with the excavation of equipment with keys (minimum) at the toes of the slopes. Details are presented in Appendix E.

#### 8.4 Foundations

For continuous footings supported on properly compacted fill, the total settlement is not anticipated to exceed 3/4 inch, or 1/2 inch for differential settlement. These settlements should occur, primarily during the grading phase of the project.

Continuous foundations for one and two story structures should have a minimum width of 12 in and 15 in, respectively. Minimum reinforcing should consist of one #4 bar placed at the top and bottom. Foundations for structures on compacted fill may be designed using an allowable bearing value of 1500 lb/ft<sup>2</sup> for continuous footings 12 inches wide and 12 inches in depth or 15 in

Mr. J. Lydell Lambeth  
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wide and 18 in in depth, respectively. The allowable bearing value may be increased by 200 lb/ft<sup>2</sup> for each foot of width and/or depth to a maximum of 3000 lb/ft<sup>2</sup>.

For purposes of lateral resistance, a value of 0.40 may be used for frictional resistance. A value of 300 lb/ft<sup>2</sup>/ft may be used for passive resistance footings placed into properly compacted fill. Frictional and passive resistance may be combined, provided the later is reduced by one-third.

#### 8.5 Retaining Walls

Retaining walls should be designed using the parameters outlined above for foundations. Additionally, retaining walls should be designed using the following parameters:

- o Active pressure (level backfill) 35 lb/ft<sup>2</sup>/ft.
- o Active pressure (2:1 backfill) 45 lb/ft<sup>2</sup>/ft.

#### 8.6 Grading Plan Review

As soon as preliminary grading plans are completed, they should be forwarded to us for review for compatibility with site conditions.

#### 9.0 LIMITATIONS OF INVESTIGATION

Our investigation was performed using the degree of care and skill ordinarily exercised, under similar circumstances, by reputable Geotechnical Engineers and Geologists practicing in this or similar localities. No other warranty, expressed or implied, is made as to the conclusions and professional advice included in this report.

The samples taken and used for testing and the observations made are believed representative of the entire project; however, soil and geologic conditions can vary significantly between test pits, borings and surface outcrops.

As in most projects, conditions revealed by excavation may be at variance with preliminary findings. If this occurs, the changed conditions must be evaluated by the Project Geotechnical Engineer and Geologist and designs adjusted as

Mr. J. Lydell Lambeth  
N.Y. Group  
September 8, 1989  
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required or alternate designs recommended. Unexpected conditions are especially likely on this project because of the prior usages of the site.

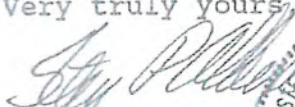
This report is issued with the understanding that it is the responsibility of the owner, or his representative, to ensure that the information and recommendations contained herein are brought to the attention of the architect and engineer for the project and incorporated into the plans, and the necessary steps are taken to see that the contractor and subcontractors carry out such recommendations in the field.

The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or the works of man on this or adjacent properties. In addition, changes in applicable or appropriate standards may occur, whether they result from legislation or the broadening of knowledge.

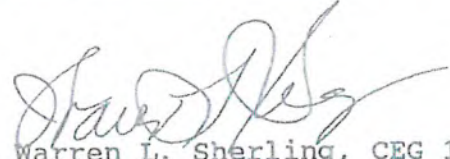
Accordingly, the findings of this report may be invalidated wholly or partially by changes outside our control. Therefore, this report is subject to review and revision as changed conditions are identified.

This opportunity to be of service is sincerely appreciated. If you have any questions, please contact this office.

Very truly yours,

  
Steven P. Alford  
Associate Engineer  
Registration Expires 9/30/91 \*



  
Warren L. Sherling, CEG 1182  
Director of Geotechnical Services  
Registration Expires 6/30/90

WLS/jek

- Figure 1 - Location Map
- Figure 2 - Geologic Cross Sections
- Appendix A - References
- Appendix B - Test Pits
- Appendix C - Laboratory Test Results
- Appendix D - Geologic Cross Sections and Slope Stability Analysis
- Appendix E - Grading Specifications

APPENDIX A

References

REFERENCES

Generalized Map of Southwestern San Bernardino County, California; Morton, D.M.; USGS; 1974;

Engineering Geology Investigation; Tentative Tract 10204; Project No. 1239-2; Gary S. Rasmussen and Assoc. 2/3/78;

Geologic Hazards in Southwestern San Bernardino County, California; Fife, D.L. et al; CDMG Special Report 113; 1976;

Geologic Hazards Study, 40 Lot Subdivision, North 52 Acres of W1/1, NW 1/4, Section 19, T1S, R1W1 SBB&M, Yucaipa, California; Smith, C.R., 1-17-89;

Geologic Hazards Study, Seven Acre Parcel, NE Corner Section 24, T1S, R1W, SBB&M, Yucaipa Area: Smith, C.R. & Seff, P.; 12/14/86;

Geologic Map of the Yucaipa Quadrangle, San Bernardino County, California; Dibblee, T.W. Jr.; CDMG; 1969;

Preliminary Landslide Map of the Yucaipa 7.5' Quadrangle, California, Jonathan C. Matti, 1984.

UNPUBLISHED REFERENCES

Preliminary Soils Investigation, Tentative Tract 14297, Yucaipa, California, RANPAC Soils, Inc., Work Order No. 900-62, dated July 19, 1989

AERIAL PHOTOGRAPHS

<u>Agency</u>	<u>Flight No.</u>	<u>Date</u>
San Bernardino County Flood	C-289: 8, 9, 16, 17	June 8, 1979



APPENDIX B

Test Pits

DATE OBSERVED: 7-10-89 METHOD OF DRILLING: Ford Backhoe with 24 inch bucket

LOGGED BY: SPA GROUND ELEVATION: LOCATION: See Geotechnical Map

DEPTH (FEET)	CLASSIFICATION	BLOWS/FOOT	UNDISTURBED SAMPLE	BULK SAMPLE	MOISTURE CONTENT (%)	IN PLACE DRY DENSITY (PCF)	LOG OF TRENCH NO. 1	
							DESCRIPTION	SOIL TEST
5							<p><u>Alluvium</u>                      Silty Sand, tan-light brown, dry, loose, intermixed with cobbles to boulders to 2-1/2 ft diameter, very porous cobbles to 40%                      1/4 in rootlets @ 2 1/2 ft                      continuing porous material with cobble to boulder intermix                      soil slightly cemented                      Rootlets to 1/8 in                      Boulders to 2 ft                      Refusal due to boulders</p> <p>End of Trench 6 ft                      No Ground Water                      No Caving                      Trench Backfilled</p>	

JOB NO.: 900-62

RANPAC SOILS, INC.

FIGURE: B-1

DATE OBSERVED: 7-10-89 METHOD OF DRILLING: Excavated by others

LOGGED BY: RM/SR GROUND ELEVATION: LOCATION: See Geotechnical Map

LOG OF TRENCH NO. 2							SOIL TEST
Sheet 1 of 1							
DEPTH (FEET)	CLASSIFICATION	BLOWS/FOOT	UNDISTURBED SAMPLE	BULK SAMPLE	MOISTURE CONTENT (%)	IN PLACE DRY DENSITY (PCF)	
0							Sandy Silt: 10YR 7/6, dry, loose, interbedded cobbles/boulders to 1 ft diameter. slight moisture, moderately dense
5							<u>Slide Debris (Qls)</u> porous, voids to 1/4 inch, cobbles to boulders, 2 inches to 3 ft, cobbles, boulders angular, sandstone fragments, landslide debris fragmented to massive to bottom of excavation continued massive slide debris, silty sand with fragmented isolated sandstone
10							End of Trench 12.5 Ft Trench Excavated by Others No Ground Water Slight Caving  Trench not Backfilled

JOB NO.: 900-62

RANPAC SOILS, INC.

FIGURE: B-2

DATE OBSERVED: 7-10-89 METHOD OF DRILLING: Ford Backhoe with 24 inch bucket

LOGGED BY: SPA GROUND ELEVATION: LOCATION: See Geotechnical Map

DEPTH (FEET)	CLASSIFICATION	BLOWS/FOOT	UNDISTURBED SAMPLE	BULK SAMPLE	MOISTURE CONTENT (%)	IN PLACE DRY DENSITY (PCF)	LOG OF TRENCH NO. 3	
							DESCRIPTION	SOIL TEST
0							<p><u>Alluvium/Colluvium</u>                      Gravelly Silty Sand - tan/ light brown, dry, loose, intermixed with cobbles/ boulders (2 inches to 3-1/2 feet), very porous, rootlets to 1/4 inch @ 1-1/2 ft, Sandy Silt: tan, dry, loose, occasional cobble to 6 in intermixed cobbles/boulders ( 2 in to 3 ft), Angular boulders, Subrounded pebbles, root hairs, porous</p>	
5							<p>Fine Sand: Reddish Brown, moist, moderately dense, intermixed with cobbles and boulders to 1.5 ft                      Cobbles/boulders intermixed with fine sand</p>	
10							<p>End Of Trench 18 Ft                      No Ground Water                      No Caving                      Trench Backfilled</p>	
15								

JOB NO: 900-62

RANPAC SOILS, INC.

FIGURE: B-3

DATE OBSERVED: 7-10-89 METHOD OF DRILLING: Ford Backhoe with 24 inch bucket

LOGGED BY: SPA GROUND ELEVATION: LOCATION: See Geotechnical Map

DEPTH (FEET)	CLASSIFICATION	BLOWS/FOOT	UNDISTURBED SAMPLE	BULK SAMPLE	MOISTURE CONTENT (%)	IN PLACE DRY DENSITY (PCF)	LOG OF TRENCH NO. 4	
							DESCRIPTION	SOIL TEST
0							Silty Sand: light brown, dry, loose, porous, roots to 1/4 in, 5-10% voids, intermixed with cobbles/boulders to 2 feet diameter, subangular to subrounded	Remolded Shear Sieve Analysis Expansion Index Maximum Density Sand Equivalent
5							Silty Sand: red brown, moist, moderately dense, rootlets to 1/8 in, less porous	
10								
15							End Of Trench 16 Ft No Ground Water Slight Caving at 8 ft Trench Backfilled	

JOB NO: 900-62

RANPAC SOILS, INC.

FIGURE: B-4

DATE OBSERVED: 7-10-89 METHOD OF DRILLING: Ford Backhoe with 24 inch bucket

LOGGED BY: SPA GROUND ELEVATION: LOCATION: See Geotechnical Map

DEPTH (FEET)	CLASSIFICATION	BLOWS/FOOT	UNDISTURBED SAMPLE	BULK SAMPLE	MOISTURE CONTENT (%)	IN PLACE DRY DENSITY (PCF)	LOG OF TRENCH NO. 5	
							DESCRIPTION	SOIL TEST
							Silty Sand, Tan, dry, loose, porous, intermixed with gravel/cobbles and boulders to 2 ft	
							End of Trench 2 1/2 Ft (Refusal) No Ground Water No Caving Trench Backfilled	

JOB NO.: 900-62

RANPAC SOILS, INC.

FIGURE: B-5

DATE OBSERVED: 7-10-89 METHOD OF DRILLING: Ford Backhoe with 24 inch bucket

LOGGED BY: SPA GROUND ELEVATION: LOCATION: See Geotechnical Map

LOG OF TRENCH NO. 6							SOIL TEST	
DEPTH (FEET)	CLASSIFICATION	BLOWS/FOOT	UNDISTURBED SAMPLE	BULK SAMPLE	MOISTURE CONTENT (%)	IN PLACE DRY DENSITY (PCF)		Sheet 1 of 1
								DESCRIPTION
					3.0	107	Sand Cone Test	
								<p><u>Alluvium</u>                      Silty Sand: tan, dry, loose to moderately dense, porous, roots to 1/4 in, voids 10 to 15</p>
5								<p>Sandy Gravel: medium brown, dry, loose, cobbles/boulders to 18 inches</p>
10							<p>Silty Sand: red brown, dry, moderately dense, porous, rootlets to 1/8 in</p>	
							<p>End of Trench 12 ft                      No Ground Water                      No Caving                      Hole Backfilled</p>	

JOB NO.: 900-62

RANPAC SOILS, INC.

FIGURE: B-6

DATE OBSERVED: 7-10-89 METHOD OF DRILLING: Ford Backhoe With 24 inch bucket

LOGGED BY: SPA GROUND ELEVATION: LOCATION: See Geotechnical Map

DEPTH (FEET)	CLASSIFICATION	BLOWS/FOOT	UNDISTURBED SAMPLE	BULK SAMPLE	MOISTURE CONTENT (%)	IN PLACE DRY DENSITY (PCF)	LOG OF TRENCH NO. 7	
							DESCRIPTION	SOIL TEST
0							Silty Sand: medium brown, dry, porous, loose to moderately dense, roots to 1/4 inch, 10 - 15% voids, sandstone fragments present	
5							porous, voids 10-15% Boulders to 2 feet,	
10							Boulders to 3 feet	
							End of Trench 11.5 Ft No Ground Water No Caving Trench Backfilled	

JOB NO.: 900-62

RANPAC SOILS, INC.

FIGURE: B-7



DATE OBSERVED: 7-10-89 METHOD OF DRILLING: Ford Backhoe with 24 inch bucket

LOGGED BY: SPA GROUND ELEVATION: LOCATION: See Geotechnical Map

DEPTH (FEET)	CLASSIFICATION	BLOWS/FOOT	UNDISTURBED SAMPLE	BULK SAMPLE	MOISTURE CONTENT (%)	IN PLACE DRY DENSITY (PCF)	LOG OF TRENCH NO. 8	
							DESCRIPTION	SOIL TEST
0							Silty Sand: tan, dry, moderately dense, occasional cobbles, boulders to 12 inches	Sieve Analysis Expansion index Maximum density  Undisturbed Direct Shear
5							Silty Sand, dark brown, moderately moist, moderately dense, cobbles well rounded, no boulder size fragments	
10							<u>Alluvium:</u> Silty Sand: tan to buff brown, dry, moderately dense, porous rootlets present, voids to 1/4 in	
15							End of Trench 16 Ft No Ground Water No Caving	

JOB NO.: 900-62

RANPAC SOILS, INC.

FIGURE: B-8

APPENDIX C

Laboratory Test Results

## LABORATORY TESTING

### A. Classification

Soils were classified visually according to the Unified Soil Classification System. Classification was supplemented by index tests, such as particle size analysis. Moisture content and dry density determinations were made from undisturbed samples. Results of tests are recorded on the Logs of Test Pits included in Appendix A.

### B. Particle Size Analysis

Particle size analysis, consisting of mechanical analyses (sieve) were performed on representative samples of the on-site soils in accordance with ASTM D 422. Test results are shown on Figure C-1 through C-2.

### C. Sand Equivalent

A sand equivalent test was performed in a representative sample of the subsurface soils to supplement visual classifications and mechanical analysis. The laboratory standard used was ASTM D 2419. The test results are presented on Figure C-3, Table I.

### D. Maximum Density/Optimum Moisture Content

The maximum density/optimum moisture content relationship was determined for typical samples of the on-site soils. The laboratory standard used was ASTM D 1557. The test results are summarized on Figure C-3, Table II.

### E. Expansion

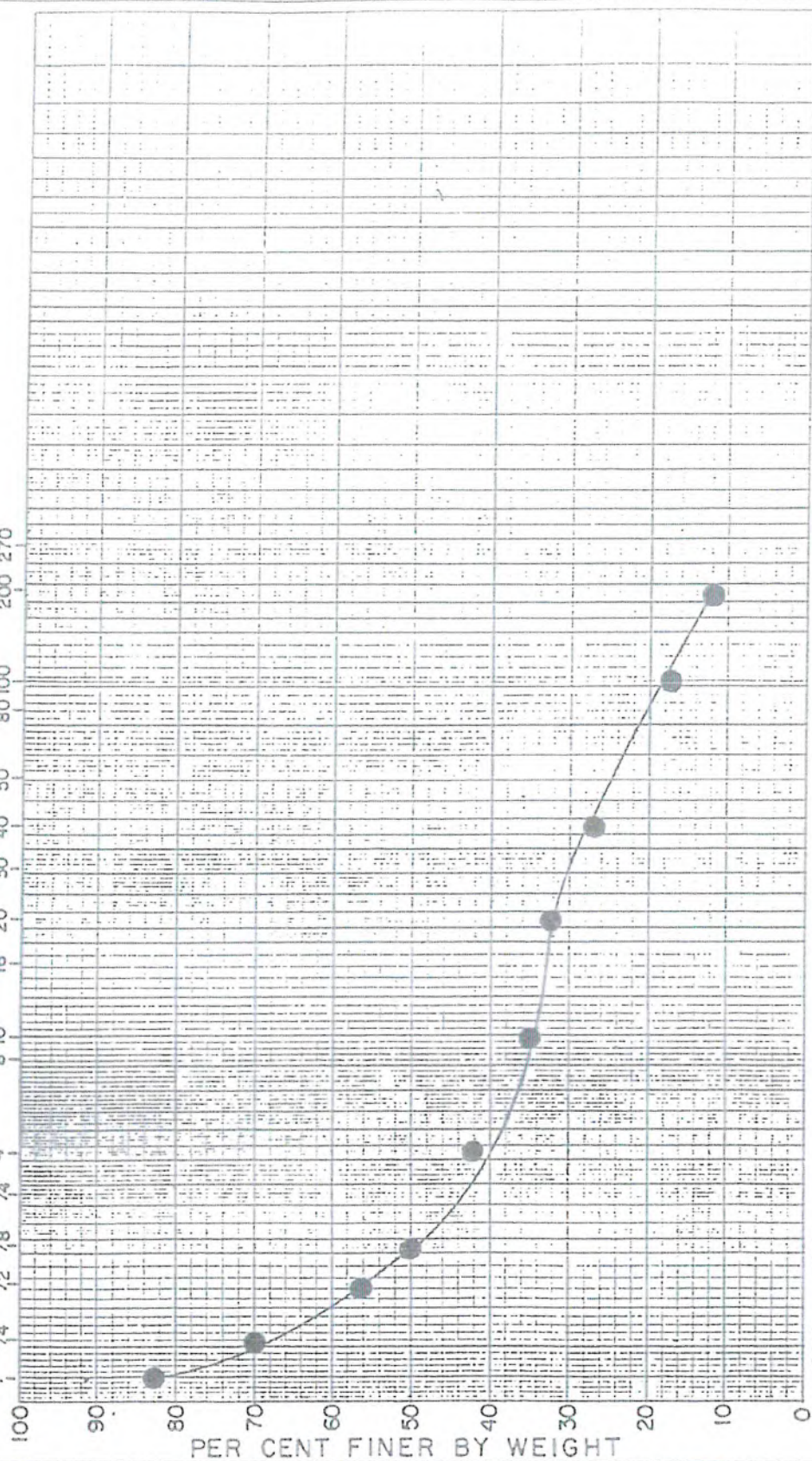
An expansion test was performed on a representative sample of the on-site soils remolded and tested under a surcharge of 144 lb/ft<sup>2</sup> in accordance with the Uniform Building Code Standard No. 29-2. The test results are summarized on Figure C-3, Table III.

### F. Direct Shear

A direct shear strength test was performed in a representative sample of the on-site soils remolded to 90% relative compaction. To simulate possible adverse field conditions, the test specimen was saturated prior to shearing. The test results are presented on Figure C-4 through C-5.

SIEVE SIZES - U.S. STANDARD

1" 3/4" 1/2" 3/8" 1/4" 8 10 16 20 30 40 50 80 100 200 270



PARTICLE DIAMETER - MILLIMETERS

GRAVEL COARSE SAND FINE SAND SILT CLAY

UNIFIED CLASS

L.L. P I

FT

NO. 4 4-8

DEPTH

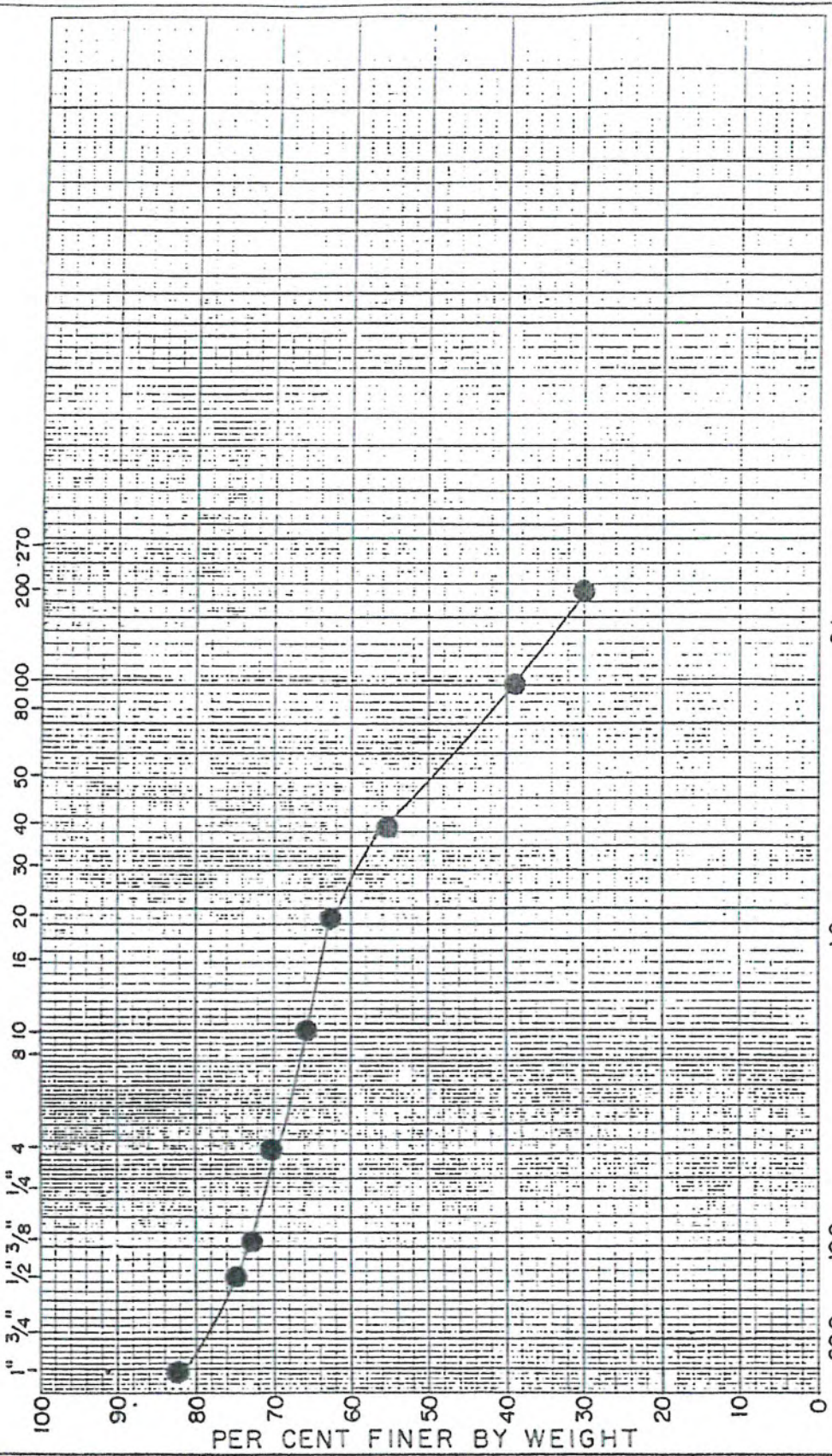
PER CENT FINER BY WEIGHT  
GRAIN SIZE DISTRIBUTION

By: J.N. 900-62 Date:

EXHIBIT NUMBER C-1

RANPAC SOILS

SIEVE SIZES - U.S. STANDARD



GRAIN SIZE DISTRIBUTION

By: \_\_\_\_\_ Date: \_\_\_\_\_  
 J.N. 900-62

EXHIBIT NUMBER  
 C-2

RANPAC SOILS

Consulting Engineers and Geologists

NO. 8  
 6-8 FT.  
 L.L. \_\_\_\_\_ P.I. \_\_\_\_\_  
 UNIFIED CLASS \_\_\_\_\_  
 A.A.S.H.O CLASS \_\_\_\_\_

TABLE I  
RESULTS OF SAND EQUIVALENT TESTS  
(ASTM D 2419)

<u>Test Location</u>	<u>Sand Equivalent</u>
T4 @ 4-8'	30
T8 @ 6-8'	17

TABLE II  
MAXIMUM DENSITY/OPTIMUM MOISTURE RELATIONSHIP  
(ASTM D 1557)

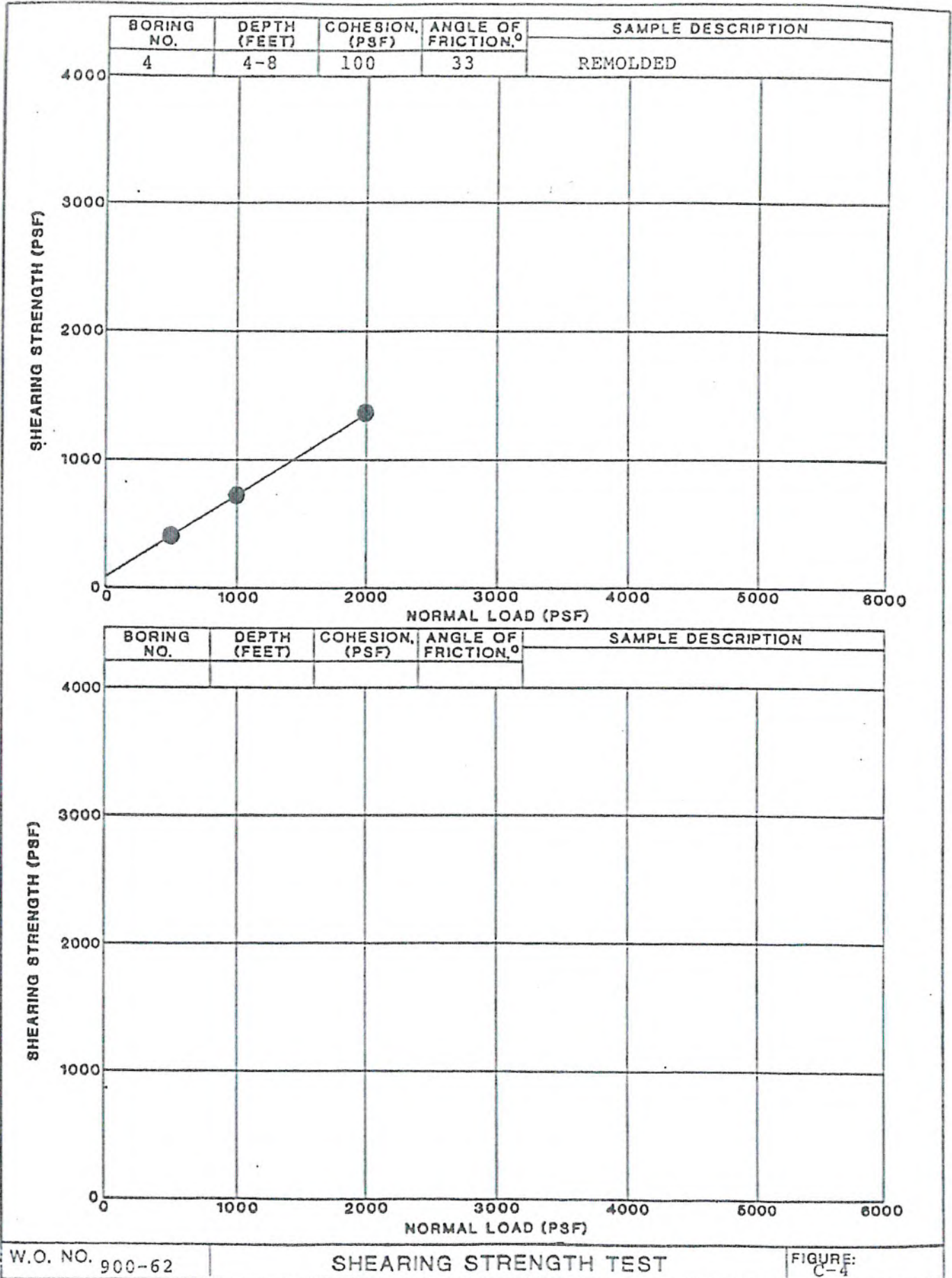
<u>Test Location</u>	<u>Maximum Dry Density (pcf)</u>	<u>Optimum Moisture (%)</u>
T4 @ 4-8'	132.7	7.0
T8 @ 6-8'	129.6	8.2

TABLE III  
RESULTS OF EXPANSION TESTS  
(U.B.C. 29-2)

<u>Test Location</u>	<u>Expansion Index</u>	<u>Expansion Potential</u>
T4 @ 4-8'	0	VERY LOW
T8 @ 6-8'	0	VERY LOW

WORK ORDER NO: 900-62

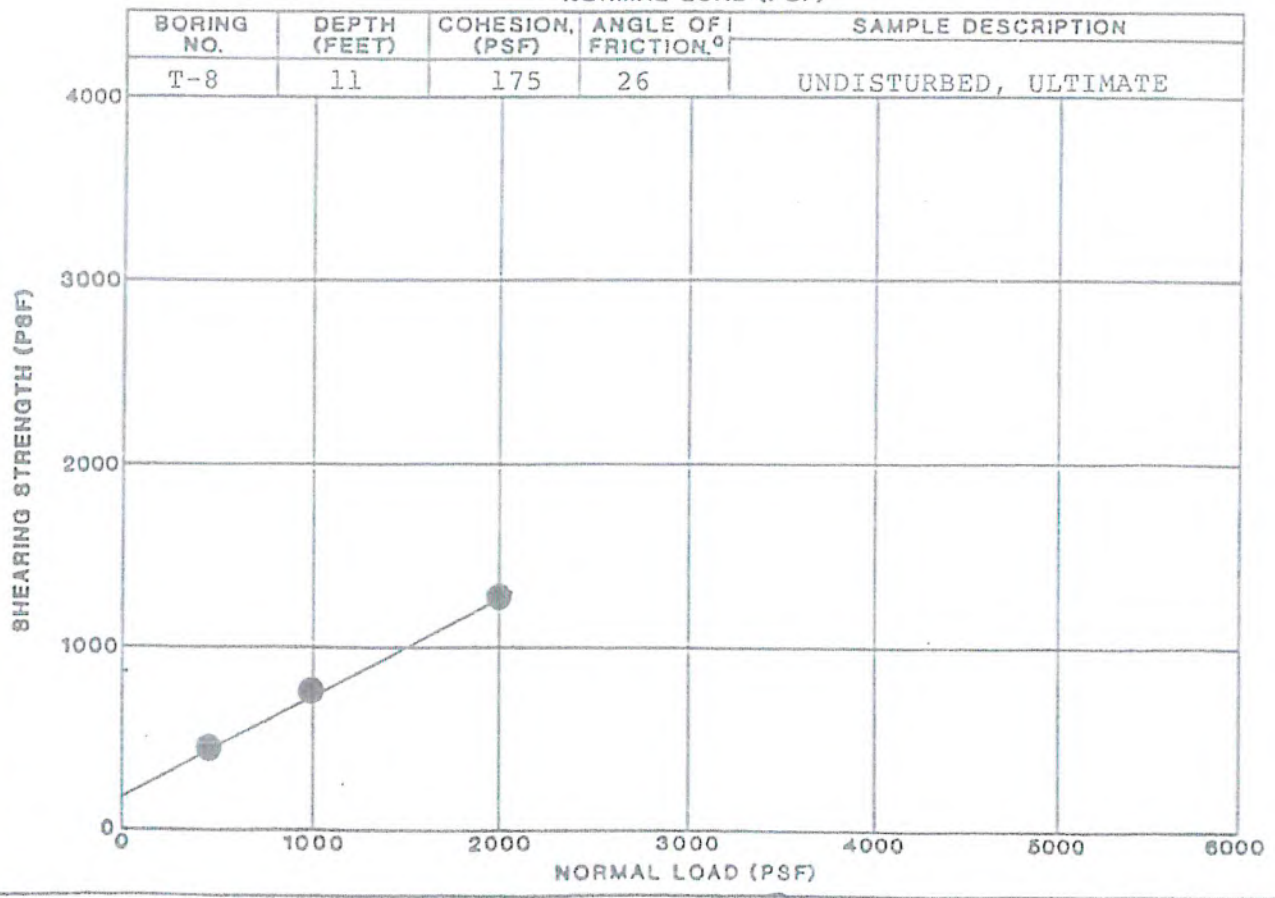
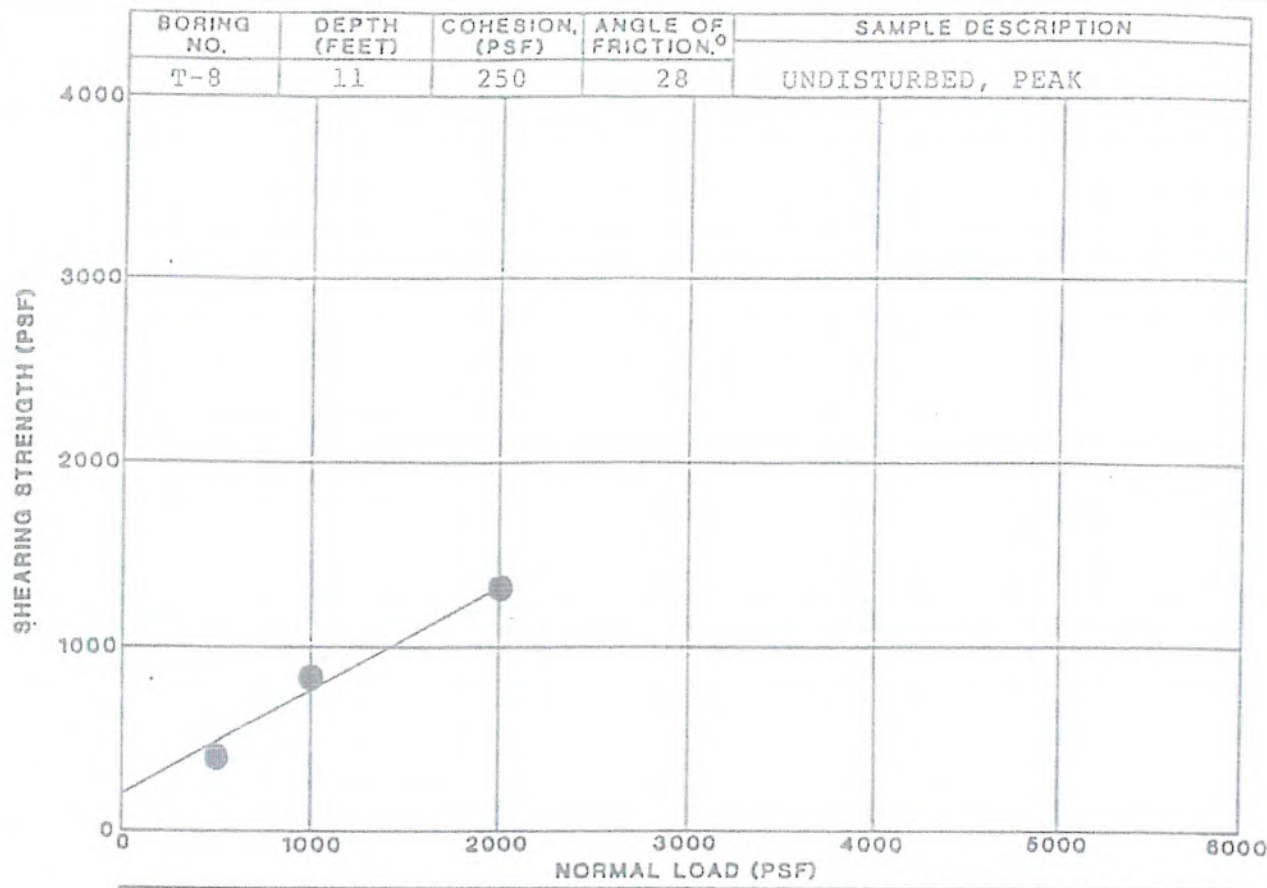
FIG. C-3



W.O. NO. 900-62

SHEARING STRENGTH TEST

FIGURE: C-4



W.O. NO. 900-62

SHEARING STRENGTH TEST

FIGURE: C-5



APPENDIX D

Geologic Cross Sections  
Slope Stability Analyses

Y - AXIS (ft)

X - AXIS (ft)

INNER LANDSLIDE

N35E

SITE

Qal

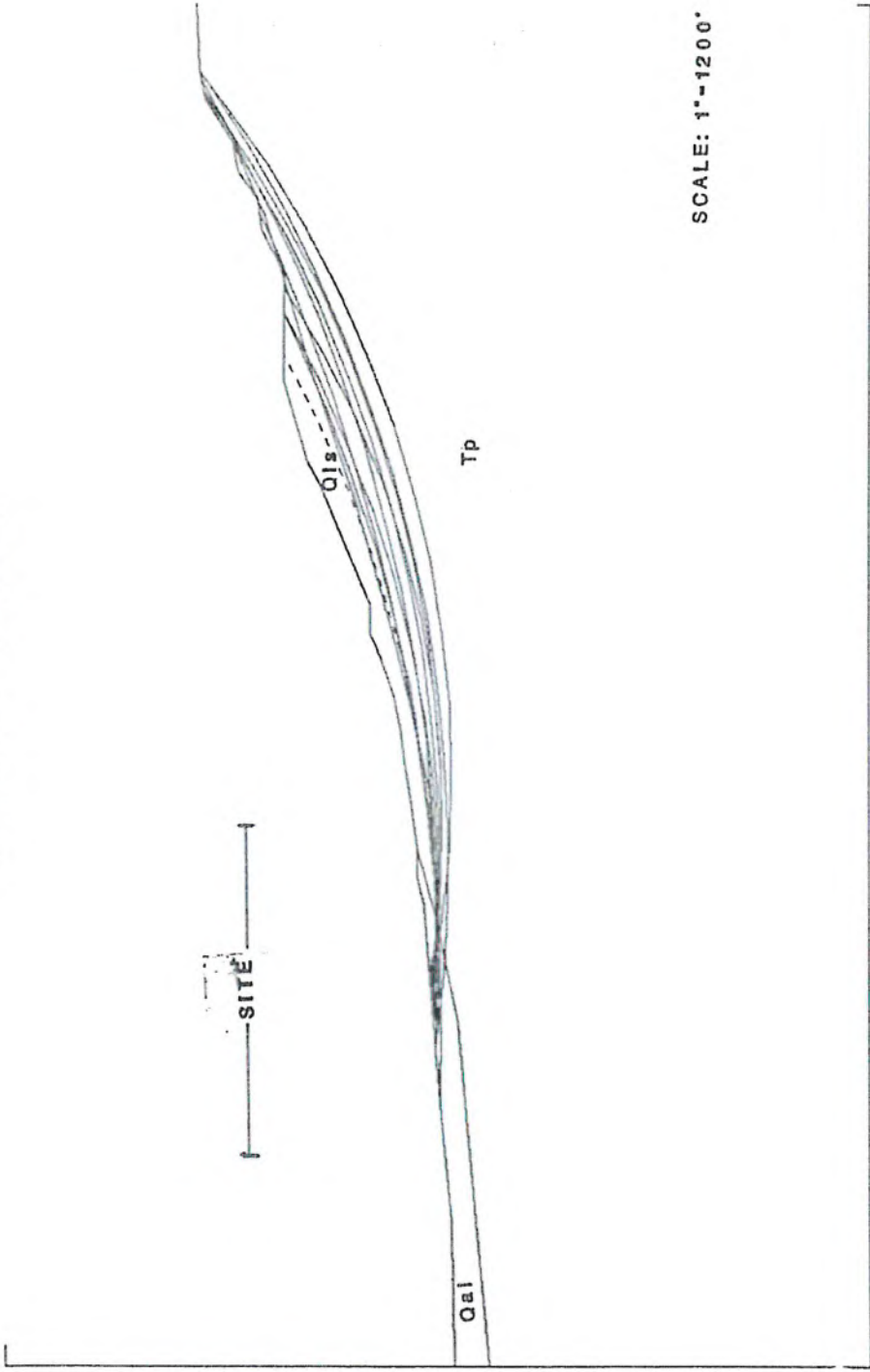
TP

SCALE: 1"=1200'

N35E



# LARGER SLIDE



SCALE: 1" = 1200'

X - AXIS (ft)

Y - AXIS (ft)

\*\* PCSTABL5M \*\*

by  
Purdue University

--Slope Stability Analysis--  
Simplified Janbu, Simplified Bishop  
or Spencer's Method of Slices

Run Date:  
Time of Run:  
Run By:  
Input Data Filename: land  
Output Filename: landso  
Plotted Output Filename: lans.plt

PROBLEM DESCRIPTION N.Y. PARTNERS (static, larger slide)

BOUNDARY COORDINATES

25 Top Boundaries  
34 Total Boundaries

Boundary No.	X-Left (ft)	Y-Left (ft)	X-Right (ft)	Y-Right (ft)	Soil Type Below Bnd
1	.00	2840.00	1000.00	2843.00	3
2	1000.00	2843.00	1750.00	2920.00	3
3	1750.00	2920.00	2300.00	2960.00	3
4	2300.00	2960.00	3200.00	3040.00	3
5	3200.00	3040.00	3400.00	3080.00	3
6	3400.00	3080.00	3600.00	3081.00	3
7	3600.00	3081.00	3900.00	3120.00	2
8	3900.00	3120.00	4200.00	3160.00	2
9	4200.00	3160.00	4450.00	3200.00	2
10	4450.00	3200.00	4650.00	3240.00	2
11	4650.00	3240.00	4800.00	3280.00	2
12	4800.00	3280.00	5000.00	3360.00	2
13	5000.00	3360.00	5100.00	3400.00	2
14	5100.00	3400.00	5300.00	3401.00	2
15	5300.00	3401.00	6150.00	3760.00	2
16	6150.00	3760.00	6300.00	3840.00	2
17	6300.00	3840.00	6850.00	4000.00	2
18	6850.00	4000.00	7600.00	4010.00	2

19	7600.00	4010.00	7900.00	4160.00	2
20	7900.00	4160.00	8100.00	4180.00	2
21	8100.00	4180.00	8300.00	4320.00	2
22	8300.00	4320.00	8500.00	4360.00	2
23	8500.00	4360.00	8800.00	4560.00	1
24	8800.00	4560.00	9000.00	4600.00	1
25	9000.00	4600.00	9450.00	4620.00	1
26	.00	2600.00	2400.00	2800.00	1
27	2400.00	2800.00	3000.00	2930.00	1
28	3000.00	2930.00	3600.00	3081.00	2
29	3000.00	2930.00	4000.00	3000.00	1
30	4000.00	3000.00	5000.00	3220.00	1
31	5000.00	3220.00	6000.00	3500.00	1
32	6000.00	3500.00	7000.00	3840.00	1
33	7000.00	3840.00	8000.00	4130.00	1
34	8000.00	4130.00	8500.00	4360.00	1

#### ISOTROPIC SOIL PARAMETERS

3 Type(s) of Soil

Soil Type No.	Total Unit Wt. (pcf)	Saturated Unit Wt. (pcf)	Cohesion Intercept (psf)	Friction Angle (deg)	Pore Pressure Param.	Pressure Constant (psf)	Piez. Surface No.
1	118.2	126.0	100.0	33.0	.00	.0	0
2	114.5	129.9	200.0	16.0	.00	.0	0
3	110.0	115.0	100.0	35.0	.00	.0	0

A Horizontal Earthquake Loading Coefficient Of .000 Has Been Assigned

A Vertical Earthquake Loading Coefficient Of .000 Has Been Assigned

Cavitation Pressure = .0 psf

A Critical Failure Surface Searching Method, Using A Random Technique For Generating Circular Surfaces, Has Been Specified.

150 Trial Surfaces Have Been Generated.

10 Surfaces Initiate From Each Of 15 Points Equally Spaced Along The Ground Surface Between X =1400.00 ft.

and X =2700.00 ft.

Each Surface Terminates Between X =4000.00 ft.  
and X =9000.00 ft.

Unless Further Limitations Were Imposed, The Minimum Elevation  
At Which A Surface Extends Is Y =\*\*\*\*\* ft.

500.00 ft. Line Segments Define Each Trial Failure Surface.

Restrictions Have Been Imposed Upon The Angle Of Initiation.  
The Angle Has Been Restricted Between The Angles Of -25.0  
And .0 deg.

Following Are Displayed The Ten Most Critical Of The Trial  
Failure Surfaces Examined. They Are Ordered - Most Critical  
First.

\* \* Safety Factors Are Calculated By The Modified Bishop Method \* \*

Failure Surface Specified By 11 Coordinate Points

Point No.	X-Surf (ft)	Y-Surf (ft)
1	2235.72	2955.32
2	2735.28	2934.42
3	3235.22	2942.09
4	3733.90	2978.32
5	4229.71	3042.99
6	4721.00	3135.88
7	5206.19	3256.69
8	5683.67	3405.03
9	6151.91	3580.41
10	6609.35	3782.26
11	7040.07	4002.53

Circle Center At X = 2851.1 ; Y = \*\*\*\*\* and Radius, 8746.6

FACTOR OF SAFETY:   \*\*\*   2.057   \*\*\*

\*\* PCSTABL5M \*\*

by  
Purdue University

--Slope Stability Analysis--  
Simplified Janbu, Simplified Bishop  
or Spencer's Method of Slices

Run Date:  
Time of Run:  
Run By:  
Input Data Filename: land  
Output Filename: landout  
Plotted Output Filename: land.plt

PROBLEM DESCRIPTION N.Y. PARTNERS (seismic, larger slide)

BOUNDARY COORDINATES

25 Top Boundaries  
34 Total Boundaries

Boundary No.	X-Left (ft)	Y-Left (ft)	X-Right (ft)	Y-Right (ft)	Soil Type Below Bnd
1	.00	2840.00	1000.00	2843.00	3
2	1000.00	2843.00	1750.00	2920.00	3
3	1750.00	2920.00	2300.00	2960.00	3
4	2300.00	2960.00	3200.00	3040.00	3
5	3200.00	3040.00	3400.00	3080.00	3
6	3400.00	3080.00	3600.00	3081.00	3
7	3600.00	3081.00	3900.00	3120.00	2
8	3900.00	3120.00	4200.00	3160.00	2
9	4200.00	3160.00	4450.00	3200.00	2
10	4450.00	3200.00	4650.00	3240.00	2
11	4650.00	3240.00	4800.00	3280.00	2
12	4800.00	3280.00	5000.00	3360.00	2
13	5000.00	3360.00	5100.00	3400.00	2
14	5100.00	3400.00	5300.00	3401.00	2
15	5300.00	3401.00	6150.00	3760.00	2
16	6150.00	3760.00	6300.00	3840.00	2
17	6300.00	3840.00	6850.00	4000.00	2
18	6850.00	4000.00	7600.00	4010.00	2

19	7600.00	4010.00	7900.00	4160.00	2
20	7900.00	4160.00	8100.00	4180.00	2
21	8100.00	4180.00	8300.00	4320.00	2
22	8300.00	4320.00	8500.00	4360.00	2
23	8500.00	4360.00	8800.00	4560.00	1
24	8800.00	4560.00	9000.00	4600.00	1
25	9000.00	4600.00	9450.00	4520.00	1
26	.00	2600.00	2400.00	2800.00	1
27	2400.00	2800.00	3000.00	2930.00	1
28	3000.00	2930.00	3600.00	3081.00	2
29	3000.00	2930.00	4000.00	3000.00	1
30	4000.00	3000.00	5000.00	3220.00	1
31	5000.00	3220.00	6000.00	3500.00	1
32	6000.00	3500.00	7000.00	3840.00	1
33	7000.00	3840.00	8000.00	4130.00	1
34	8000.00	4130.00	8500.00	4360.00	1

ISOTROPIC SOIL PARAMETERS

3 Type(s) of Soil

Soil Type No.	Total Unit Wt. (pcf)	Saturated Unit Wt. (pcf)	Cohesion Intercept (psf)	Friction Angle (deg)	Pore Pressure Param.	Pressure Constant (psf)	Piez. Surface No.
1	118.2	126.0	100.0	33.0	.00	.0	0
2	114.5	129.9	200.0	16.0	.00	.0	0
3	110.0	115.0	100.0	35.0	.00	.0	0

A Horizontal Earthquake Loading Coefficient Of .150 Has Been Assigned

A Vertical Earthquake Loading Coefficient Of .000 Has Been Assigned

Cavitation Pressure = .0 psf

A Critical Failure Surface Searching Method, Using A Random Technique For Generating Circular Surfaces, Has Been Specified.

150 Trial Surfaces Have Been Generated.



10 Surfaces Initiate From Each Of 15 Points Equally Spaced  
Along The Ground Surface Between X =1400.00 ft.  
and X =2700.00 ft.

Each Surface Terminates Between X =4000.00 ft.  
and X =9000.00 ft.

Unless Further Limitations Were Imposed, The Minimum Elevation  
At Which A Surface Extends Is Y =\*\*\*\*\* ft.

500.00 ft. Line Segments Define Each Trial Failure Surface.

Restrictions Have Been Imposed Upon The Angle Of Initiation.  
The Angle Has Been Restricted Between The Angles Of -25.0  
And .0 deg.

Following Are Displayed The Ten Most Critical Of The Trial  
Failure Surfaces Examined. They Are Ordered - Most Critical  
First.

\* \* Safety Factors Are Calculated By The Modified Bishop Method \* \*

Failure Surface Specified By 11 Coordinate Points

Point No.	X-Surf (ft)	Y-Surf (ft)
1	2235.72	2955.32
2	2735.28	2934.42
3	3235.22	2942.09
4	3733.90	2978.32
5	4229.71	3042.99
6	4721.00	3135.88
7	5206.19	3256.69
8	5683.67	3405.03
9	6151.91	3580.41
10	6609.35	3782.26
11	7040.07	4002.53

Circle Center At X = 2851.1 ; Y = \*\*\*\*\* and Radius, 8746.6

FACTOR OF SAFETY      \*\*\*      1.254      \*\*\*

\*\* PCSTABL5M \*\*

by  
Purdue University

--Slope Stability Analysis--  
Simplified Janbu, Simplified Bishop  
or Spencer's Method of Slices

Run Date:  
Time of Run:  
Run By:  
Input Data Filename: land  
Output Filename: lando  
Plotted Output Filename: lan.plt

PROBLEM DESCRIPTION N.Y. PARTNERS (seismic, inner slide)

BOUNDARY COORDINATES

25 Top Boundaries  
34 Total Boundaries

Boundary No.	X-Left (ft)	Y-Left (ft)	X-Right (ft)	Y-Right (ft)	Soil Type Below Bnd
1	.00	2840.00	1000.00	2843.00	3
2	1000.00	2843.00	1750.00	2920.00	3
3	1750.00	2920.00	2300.00	2960.00	3
4	2300.00	2960.00	3200.00	3040.00	3
5	3200.00	3040.00	3400.00	3080.00	3
6	3400.00	3080.00	3600.00	3081.00	3
7	3600.00	3081.00	3900.00	3120.00	2
8	3900.00	3120.00	4200.00	3160.00	2
9	4200.00	3160.00	4450.00	3200.00	2
10	4450.00	3200.00	4650.00	3240.00	2
11	4650.00	3240.00	4800.00	3280.00	2
12	4800.00	3280.00	5000.00	3360.00	2
13	5000.00	3360.00	5100.00	3400.00	2
14	5100.00	3400.00	5300.00	3401.00	2
15	5300.00	3401.00	6150.00	3760.00	2
16	6150.00	3760.00	6300.00	3840.00	2
17	6300.00	3840.00	6850.00	4000.00	2
18	6850.00	4000.00	7600.00	4010.00	2

19	7600.00	4010.00	7900.00	4160.00	2
20	7900.00	4160.00	8100.00	4180.00	2
21	8100.00	4180.00	8300.00	4320.00	2
22	8300.00	4320.00	8500.00	4360.00	2
23	8500.00	4360.00	8800.00	4560.00	1
24	8800.00	4560.00	9000.00	4600.00	1
25	9000.00	4600.00	9450.00	4620.00	1
26	.00	2600.00	2400.00	2800.00	1
27	2400.00	2800.00	3000.00	2930.00	1
28	3000.00	2930.00	3600.00	3081.00	2
29	3000.00	2930.00	4000.00	3000.00	1
30	4000.00	3000.00	5000.00	3220.00	1
31	5000.00	3220.00	6000.00	3500.00	1
32	6000.00	3500.00	7000.00	3840.00	1
33	7000.00	3840.00	8000.00	4130.00	1
34	8000.00	4130.00	8500.00	4360.00	1

### ISOTROPIC SOIL PARAMETERS

3 Type(s) of Soil

Soil Type No.	Total Unit Wt. (pcf)	Saturated Unit Wt. (pcf)	Cohesion Intercept (psf)	Friction Angle (deg)	Pore Pressure Param.	Pressure Constant (psf)	Piez. Surface No.
1	118.2	126.0	100.0	33.0	.00	.0	0
2	114.5	129.9	200.0	16.0	.00	.0	0
3	110.0	115.0	100.0	35.0	.00	.0	0

A Horizontal Earthquake Loading Coefficient Of .000 Has Been Assigned

A Vertical Earthquake Loading Coefficient Of .000 Has Been Assigned

Cavitation Pressure = .0 psf

A Critical Failure Surface Searching Method, Using A Random Technique For Generating Circular Surfaces, Has Been Specified.

150 Trial Surfaces Have Been Generated.

10 Surfaces Initiate From Each Of 15 Points Equally Spaced Along The Ground Surface Between X =2600.00 ft.

and X =3700.00 ft.

Each Surface Terminates Between X =6000.00 ft.  
and X =9000.00 ft.

Unless Further Limitations Were Imposed, The Minimum Elevation  
At Which A Surface Extends Is Y =\*\*\*\*\* ft.

500.00 ft. Line Segments Define Each Trial Failure Surface.

Restrictions Have Been Imposed Upon The Angle Of Initiation.  
The Angle Has Been Restricted Between The Angles Of -25.0  
And .0 deg.

Following Are Displayed The Ten Most Critical Of The Trial  
Failure Surfaces Examined. They Are Ordered - Most Critical  
First.

\* \* Safety Factors Are Calculated By The Modified Bishop Method \* \*

Failure Surface Specified By 9 Coordinate Points

Point No.	X-Surf (ft)	Y-Surf (ft)
1	3307.14	3061.43
2	3807.14	3059.38
3	4305.46	3100.38
4	4798.39	3184.13
5	5282.29	3309.99
6	5753.56	3477.04
7	6208.70	3684.04
8	6644.33	3929.44
9	6671.69	3948.13

Circle Center At X = 3580.9 ; Y = 8858.2 and Radius, 5803.2

FACTOR OF SAFETY: \*\*\* 1.095 \*\*\*

\*\* PCSTABL5M \*\*

by  
Purdue University

--Slope Stability Analysis--  
Simplified Janbu, Simplified Bishop  
or Spencer's Method of Slices

Run Date:  
Time of Run:  
Run By:  
Input Data Filename: land  
Output Filename: lando  
Plotted Output Filename: lan.plt

PROBLEM DESCRIPTION N.Y. PARTNERS (seismic, inner slide)

BOUNDARY COORDINATES

25 Top Boundaries  
34 Total Boundaries

Boundary No.	X-Left (ft)	Y-Left (ft)	X-Right (ft)	Y-Right (ft)	Soil Type Below Bnd
1	.00	2840.00	1000.00	2843.00	3
2	1000.00	2843.00	1750.00	2920.00	3
3	1750.00	2920.00	2300.00	2960.00	3
4	2300.00	2960.00	3200.00	3040.00	3
5	3200.00	3040.00	3400.00	3080.00	3
6	3400.00	3080.00	3600.00	3081.00	3
7	3600.00	3081.00	3900.00	3120.00	2
8	3900.00	3120.00	4200.00	3160.00	2
9	4200.00	3160.00	4450.00	3200.00	2
10	4450.00	3200.00	4650.00	3240.00	2
11	4650.00	3240.00	4800.00	3280.00	2
12	4800.00	3280.00	5000.00	3360.00	2
13	5000.00	3360.00	5100.00	3400.00	2
14	5100.00	3400.00	5300.00	3401.00	2
15	5300.00	3401.00	6150.00	3760.00	2
16	6150.00	3760.00	6300.00	3840.00	2
17	6300.00	3840.00	6850.00	4000.00	2
18	6850.00	4000.00	7600.00	4010.00	2

19	7600.00	4010.00	7900.00	4160.00	2
20	7900.00	4160.00	8100.00	4180.00	2
21	8100.00	4180.00	8300.00	4320.00	2
22	8300.00	4320.00	8500.00	4360.00	2
23	8500.00	4360.00	8800.00	4560.00	1
24	8800.00	4560.00	9000.00	4600.00	1
25	9000.00	4600.00	9450.00	4620.00	1
26	.00	2600.00	2400.00	2800.00	1
27	2400.00	2800.00	3000.00	2930.00	1
28	3000.00	2930.00	3600.00	3081.00	2
29	3000.00	2930.00	4000.00	3000.00	1
30	4000.00	3000.00	5000.00	3220.00	1
31	5000.00	3220.00	6000.00	3500.00	1
32	6000.00	3500.00	7000.00	3840.00	1
33	7000.00	3840.00	8000.00	4130.00	1
34	8000.00	4130.00	8500.00	4360.00	1

ISOTROPIC SOIL PARAMETERS

3 Type(s) of Soil

Soil Type No.	Total Unit Wt. (pcf)	Saturated Unit Wt. (pcf)	Cohesion Intercept (psf)	Friction Angle (deg)	Pore Pressure Param.	Pressure Constant (psf)	Piez. Surface No.
1	118.2	126.0	100.0	33.0	.00	.0	0
2	114.5	129.9	200.0	16.0	.00	.0	0
3	110.0	115.0	100.0	35.0	.00	.0	0

A Horizontal Earthquake Loading Coefficient Of .150 Has Been Assigned

A Vertical Earthquake Loading Coefficient Of .000 Has Been Assigned

Cavitation Pressure = .0 psf

A Critical Failure Surface Searching Method, Using A Random Technique For Generating Circular Surfaces, Has Been Specified.

150 Trial Surfaces Have Been Generated.

10 Surfaces Initiate From Each Of 15 Points Equally Spaced  
Along The Ground Surface Between X =2600.00 ft.  
and X =3700.00 ft.

Each Surface Terminates Between X =6000.00 ft.  
and X =9000.00 ft.

Unless Further Limitations Were Imposed, The Minimum Elevation  
At Which A Surface Extends Is Y =\*\*\*\*\* ft.

500.00 ft. Line Segments Define Each Trial Failure Surface.

Restrictions Have Been Imposed Upon The Angle Of Initiation.  
The Angle Has Been Restricted Between The Angles Of -25.0  
And .0 deg.

Following Are Displayed The Ten Most Critical Of The Trial  
Failure Surfaces Examined. They Are Ordered - Most Critical  
First.

\* \* Safety Factors Are Calculated By The Modified Bishop Method \* \*

Failure Surface Specified By 9 Coordinate Points

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7	6208.70	3684.04
8	6644.33	3929.44
9	6671.69	3948.13

Circle Center At X = 3580.9 ; Y = 8858.2 and Radius, 5803.2

FACTOR OF SAFETY \*\*\* .701 \*\*\*

APPENDIX E

Grading Specifications



## STANDARD GRADING AND EARTHWORK SPECIFICATIONS

These specifications present RANPAC Soils, Inc., standard recommendations for grading and earthwork.

No deviation from these specifications should be permitted unless where specifically superseded in the geotechnical report of the project or by written communication signed by the Geotechnical Consultant. Evaluations performed by the consultant during the course of grading may result in subsequent recommendations which could supersede these specifications or the recommendations of the geotechnical report.

### 1.0 GENERAL

- 1.1 The Geotechnical Consultant is the Owner's or Developer's representative on the project. For the purpose of these specifications, observations by the Geotechnical Consultant include observations by the Soils Engineer, Geotechnical Engineer, Engineering Geologist, and those performed by persons employed by and responsible to the Geotechnical Consultant.
- 1.2 All clearing, site preparation, or earthwork performed on the project shall be conducted and directed by the Contractor under the supervision of the Geotechnical Consultant.
- 1.3 The Contractor should be responsible for the safety of the project and satisfactory completion of all grading. During grading, the Contractor should remain accessible.
- 1.4 Prior to the commencement of grading, the Geotechnical Consultant shall be employed for the purpose of providing field; laboratory and office services for conformance with the recommendations of the geotechnical report and these specifications. It will be necessary that the Geotechnical Consultant provide adequate testing and observations so that he may determine that the work was accomplished as specified. It shall be the responsibility of the contractor to assist the Geotechnical Consultant and keep him apprised of work schedules and changes so that he may schedule his personnel accordingly.
- 1.5 It shall be the sole responsibility of the Contractor to provide adequate equipment and methods to accomplish the work in accordance with applicable grading codes or agency ordinances, these specifications and the approved grading plans. If, in the opinion of the Geotechnical Consultant, unsatisfactory conditions, such as questionable soil, poor moisture condition, inadequate compaction, adverse weather, etc., are resulting in a quality of work less than required in these

Standard Grading and Earthwork Specifications  
Page Two

specifications, the Geotechnical Consultant will be empowered to reject the work and recommend that construction be stopped until the conditions are rectified.

- 1.6 It is the Contractor's responsibility to provide access to the Geotechnical Consultant for testing and/or grading observation purposes. This may require the excavation of test pits and/or the relocation of grading equipment.
- 1.7 A final report shall be issued by the Geotechnical Consultant attesting to the Contractor's conformance with these specifications.

2.0 SITE PREPARATION

- 2.1 All vegetation and deleterious material shall be disposed of off-site. This removal shall be observed by the Geotechnical Consultant and concluded prior to fill placement.
- 2.2 Soil, alluvium, or bedrock materials determined by the Geotechnical Consultant as being unsuitable for placement in compacted fills shall be removed from the site or used in landscaped areas as determined by the Geotechnical Consultant. Any material incorporated as a part of a compacted fill must be approved by the Geotechnical Consultant prior to fill placement.
- 2.3 After the ground surface to receive fill has been cleared, it shall be scarified, disced, or bladed by the Contractor until it is uniform and free from ruts, hollows, hummocks, or other uneven features which may prevent uniform compaction.

The scarified ground surface shall then be brought to optimum moisture, mixed as required, and compacted as specified. If the scarified zone is greater than twelve inches in depth, the excess shall be removed and placed in lifts restricted to six inches.

Prior to placing fill, the ground surface to receive fill shall be observed, tested, and approved by the Geotechnical Consultant.

- 2.4 Any underground structures or cavities such as cesspools, cisterns, mining shafts, tunnels, septic tanks, wells, pipe lines, or others are to be removed or treated in a manner prescribed by the Geotechnical Consultant.

- 2.5 In cut-fill transition lots and where cut lots are partially in soil, colluvium or unweathered bedrock materials, in order to provide uniform bearing conditions, the bedrock portion of the lot extending a minimum of 5 feet outside of building lines shall be overexcavated a minimum of 3 feet and replaced with compacted fill. Typical details are given on Plates SG-1.

3.0 COMPACTED FILLS

- 3.1 Material to be placed as fill shall be free of organic matter and other deleterious substances, and shall be approved by the Geotechnical Consultant. Soils of poor gradation, expansion, or strength characteristics shall be placed in areas designated by Geotechnical Consultant or shall be mixed with other soils to serve as satisfactory fill material, as directed by the Geotechnical Consultant.
- 3.2 Rock fragments less than six inches in diameter may be utilized in the fill, provided:
1. They are not placed in concentrated pockets.
  2. There is a sufficient percentage of fine grained material to surround the rocks.
  3. The distribution of rocks is supervised by the Geotechnical Consultant.
- 3.3 Rocks greater than six inches in diameter shall be taken off site, or placed in accordance with the recommendations of the Geotechnical Consultant in areas designated as suitable for rock disposal. (A typical detail for Rock Disposal is given in Plate SG-2.)
- 3.4 Material that is spongy, subject to decay, or otherwise considered unsuitable shall not be used in the compacted fill.
- 3.5 Representative samples of materials to be utilized as compacted fill shall be analyzed by the laboratory of the Geotechnical Consultant to determine their physical properties. If any material other than that previously tested is encountered during grading, the appropriate analysis of this material shall be conducted by the Geotechnical Consultant as soon as possible.

Standard Grading and Earthwork Specifications  
Page Four

- 3.6 Material used in the compacting process shall be evenly spread, watered, processed, and compacted in thin lifts not to exceed six inches in thickness to obtain a uniformly dense layer. The fill shall be placed and compacted on a horizontal plane, unless otherwise approved by the Geotechnical Consultant.
- 3.7 If the moisture content or relative compaction varies from that required by the Geotechnical Consultant, the Contractor shall rework the fill until it is approved by the Geotechnical Consultant.
- 3.8 Each layer shall be compacted to 90 percent of the maximum density in compliance with the testing method specified by the controlling governmental agency or ASTM 1557-70, whichever applies.

If compaction to a lesser percentage is authorized by the controlling governmental agency because of a specific land use or expansive soil condition, the area to receive fill compacted to less than 90 percent shall either be delineated on the grading plan or appropriate reference made to the area in the Geotechnical report.

- 3.9 All fills shall be keyed and benched through all topsoil, colluvium alluvium, or creep material, into sound bedrock or firm material where the slope receiving fill exceeds a ratio of five horizontal to one vertical, in accordance with the recommendations of the Geotechnical Consultant.
- 3.10 The key for side hill fills shall be a minimum width of 15 feet within bedrock or firm materials, unless otherwise specified in the soils report. (See detail on Plate SG-3.)
- 3.11 Subdrainage devices shall be constructed in compliance with the ordinances of the controlling governmental agency, or with the recommendations of the Geotechnical Consultant. (Typical Canyon Subdrain details are given in Plate SG-4.)
- 3.12 The contractor will be required to obtain a minimum relative compaction of 90 percent out to the finish slope face of fill slopes, buttresses, and stabilization fills. This may be achieved by either over building the slope and cutting back to the compacted core, or by direct compaction of the slope and cutting back to the compacted core, or by direct compaction of the slope face with suitable equipment, or by any other procedure which

Standard Grading and Earthwork Specifications  
Page Five

produces the required compaction approved by the Geotechnical Consultant.

3.13 All fill slopes should be planted or protected from erosion by other methods specified in the Geotechnical report.

3.14 Fill-over-cut slopes shall be properly keyed through topsoil, colluvium or creep material into rock or firm materials, and the transition shall be stripped of all soil prior to placing fill. (See detail on Plate SG-7.)

4.0 CUT SLOPES

4.1 The Geotechnical Consultant shall inspect all cut slopes or vertical intervals not exceeding ten feet.

4.2 If any conditions not anticipated in the Geotechnical report such as perched water, seepage, lenticular or confined strata of a potentially adverse nature, unfavorably inclined bedding, joints or fault planes encountered during grading, these conditions shall be analyzed by the Engineering Geologist, and recommendations shall be made to mitigate these problems. (Typical details for stabilization of a portion of a cut slope are given in Plates SG-5 and SG-8.)

4.3 Cut slopes that face in the same direction as the prevailing drainage shall be protected from slope wash by a non-erodible interceptor swale placed at the toe of the slope.

4.4 Unless otherwise specified in the Geotechnical report, no cut slopes shall be excavated higher or steeper than that allowed by the ordinances of controlling governmental agencies.

4.5 Drainage terraces shall be constructed in compliance with the ordinances of controlling governmental agencies, or with the recommendations of the Geotechnical Consultant or Engineering Geologist.

5.0 TRENCH BACKFILLS

5.1 Trench excavations for utility pipes shall be backfilled under the supervision of the Geotechnical Consultant.

5.2 After the utility pipe has been laid, the space under and around the pipe shall be backfilled with clean sand

or approved granular soil to a depth of at least one foot over the top of the pipe. The sand backfill shall be uniformly jetted into place before the controlled backfill is placed over the sand.

- 5.3 The onsite materials, or other soils approved by the Geotechnical Consultant shall be watered and mixed as necessary prior to placement in lifts over the sand backfill.
- 5.4 The controlled backfill shall be compacted to at least 90 percent of the maximum laboratory density as determined by the ASTM D1557-70 or the controlling governmental agency.
- 5.5 Field density tests and inspection of the backfill procedures shall be made by the Geotechnical Consultant during backfilling to see that proper moisture content and uniform compaction is being maintained. The contractor shall provide test holes and exploratory pits as required by the Geotechnical Consultant to enable sampling and testing.

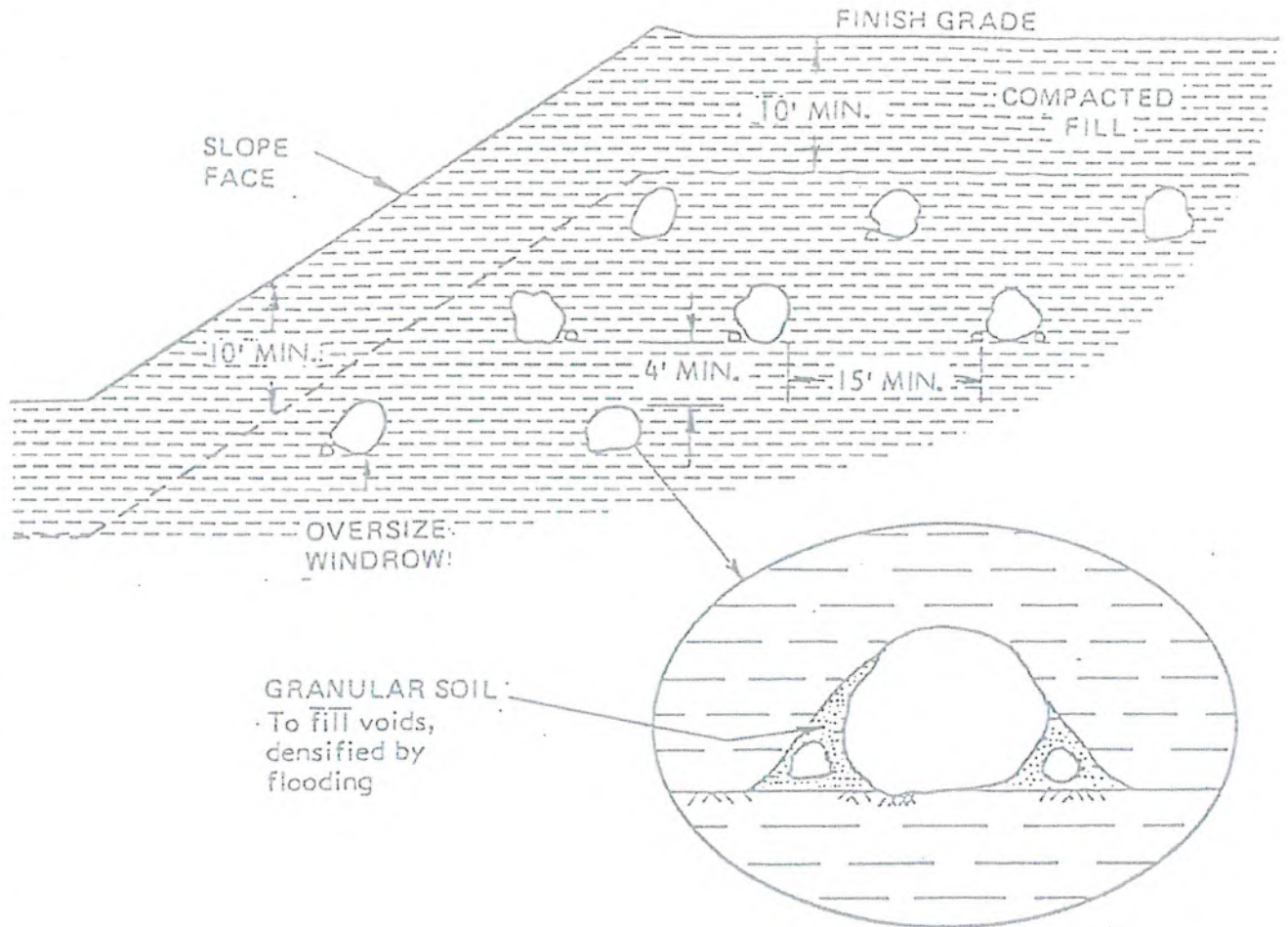
#### 6.0 GRADING CONTROL

- 6.1 Inspection of the fill placement shall be provided by the Geotechnical Consultant during the progress of grading.
- 6.2 In general, density tests should be made at intervals not exceeding two feet of fill height or every 500 cubic yards of fill placed. This criteria will vary depending on soil conditions and the size of the job. In any event, an adequate number of field density tests shall be made to verify that the required compaction is being achieved.
- 6.3 Density tests should also be made on the surface material to receive fill as required by the Geotechnical Consultant.
- 6.4 All cleanout, processed ground to receive fill, key excavations, subdrains, and rock disposals should be inspected and approved by the Geotechnical Consultant prior to placing any fill. It shall be the Contractor's responsibility to notify the Geotechnical Consultant when such areas are ready for inspection.

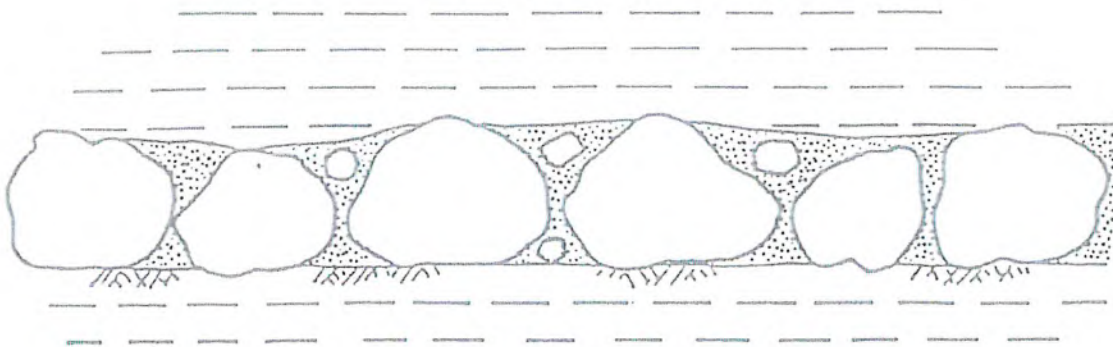
7.0 CONSTRUCTION CONSIDERATIONS

- 7.1 Erosion control measures, when necessary, shall be provided by the Contractor during grading and prior to the completion and construction of permanent drainage controls.
- 7.2 Upon completion of grading and termination of inspections by the Geotechnical Consultant, no further filling or excavating, including that necessary for footing,s foundations, large tree wells, retaining walls, or other features shall be performed without the approval of the Geotechnical Consultant.
- 7.3 Care shall be taken by the Contractor during final grading to preserve any berms, drainage terraces, interceptor swales, or other devices of permanent nature on or adjacent to the property.

# ROCK DISPOSAL DETAIL

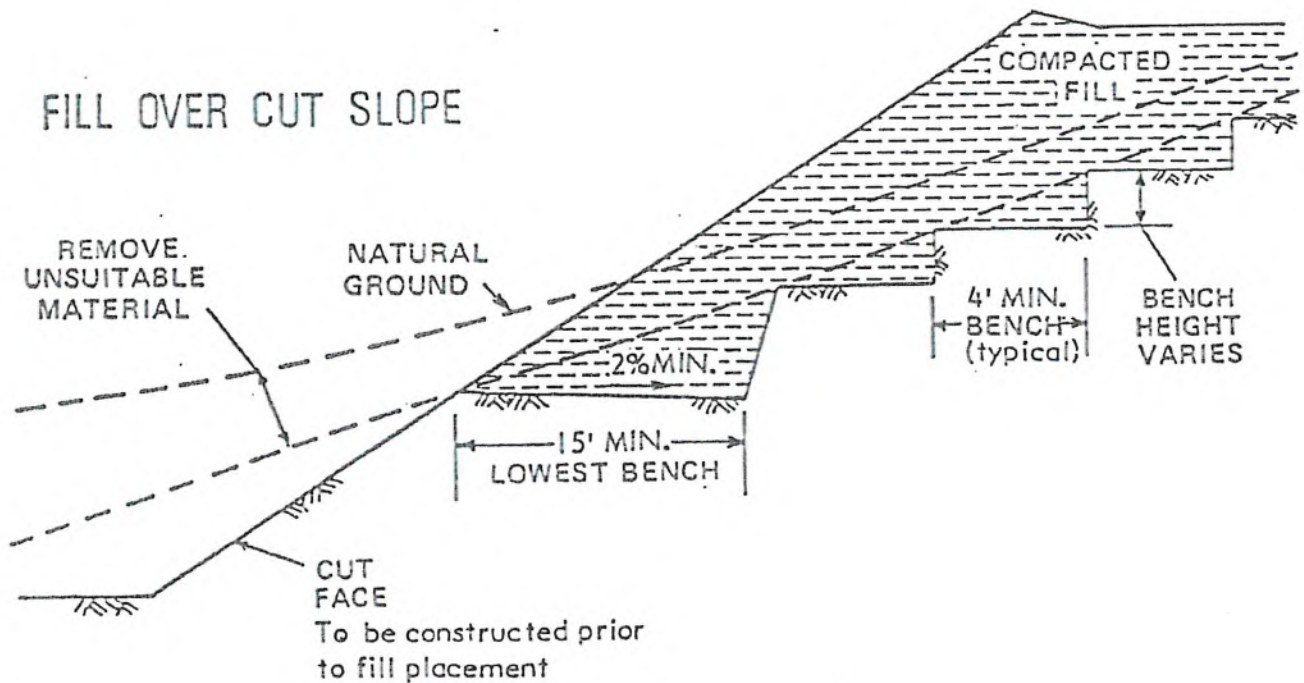
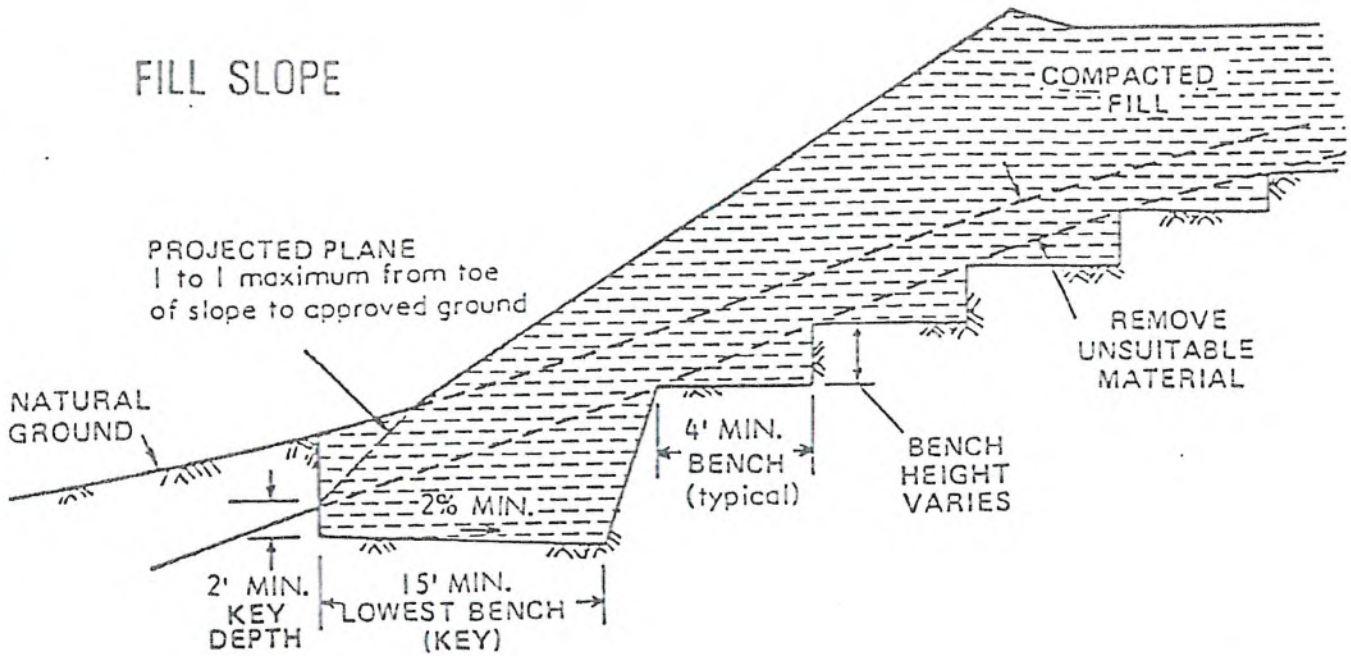


## PROFILE ALONG WINDROW





# BENCHING DETAILS

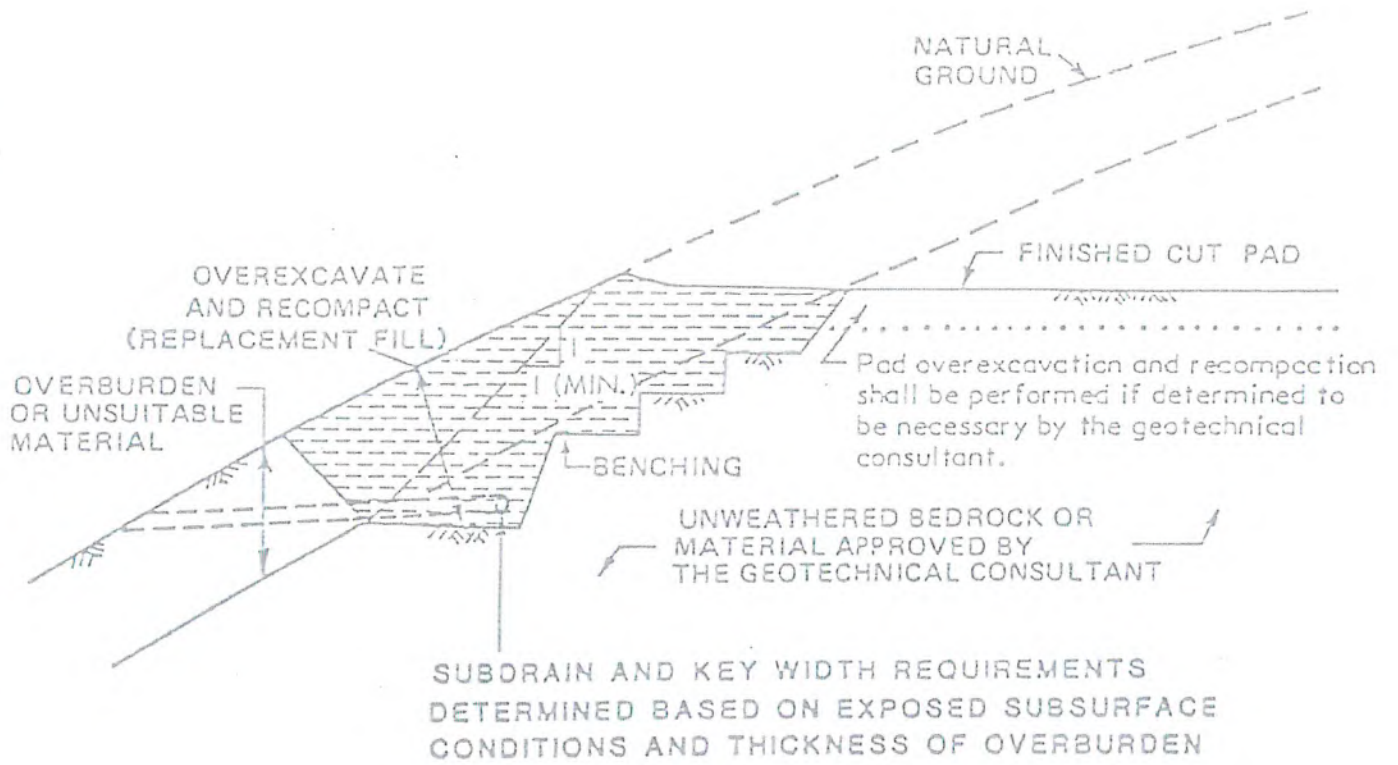


**NOTES:**

**LOWEST BENCH:** Depth and width subject to field change based on consultant's inspection.

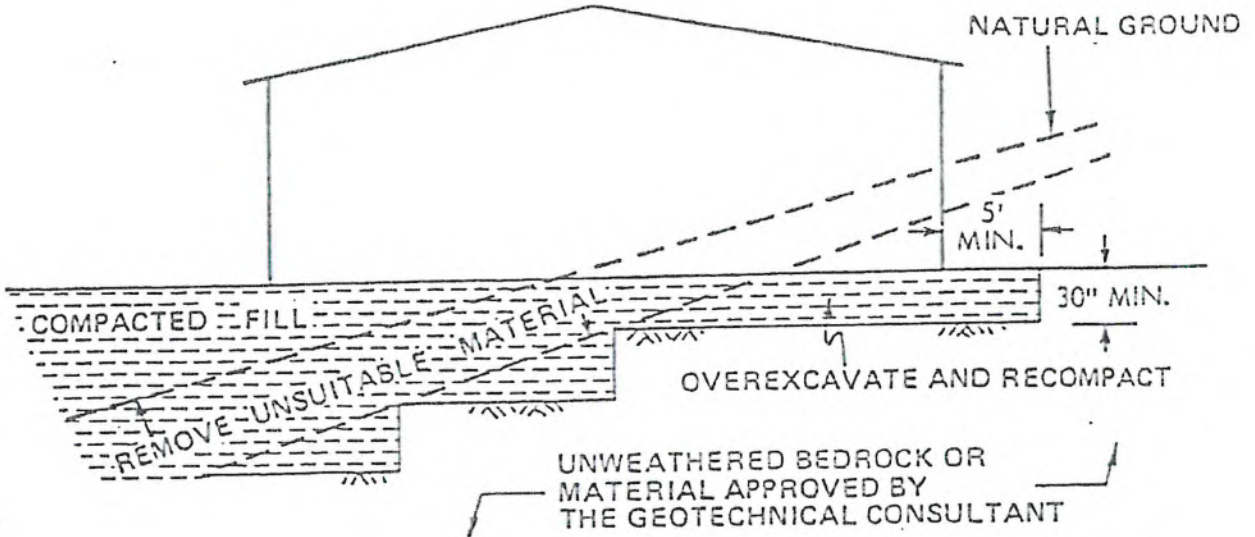
**SUBDRAINAGE:** Back drains may be required at the discretion of the geotechnical consultant.

# SIDE HILL CUT PAD DETAIL

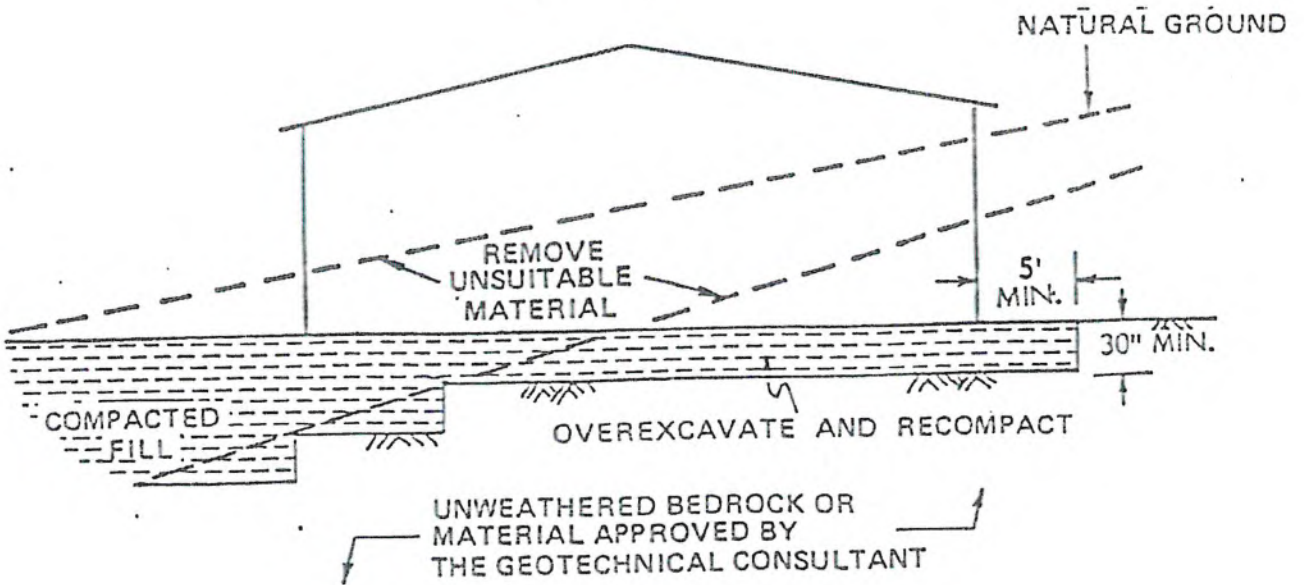


# TRANSITION LOT DETAILS

## CUT-FILL LOT



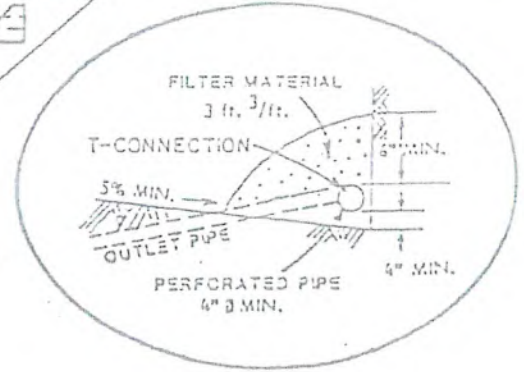
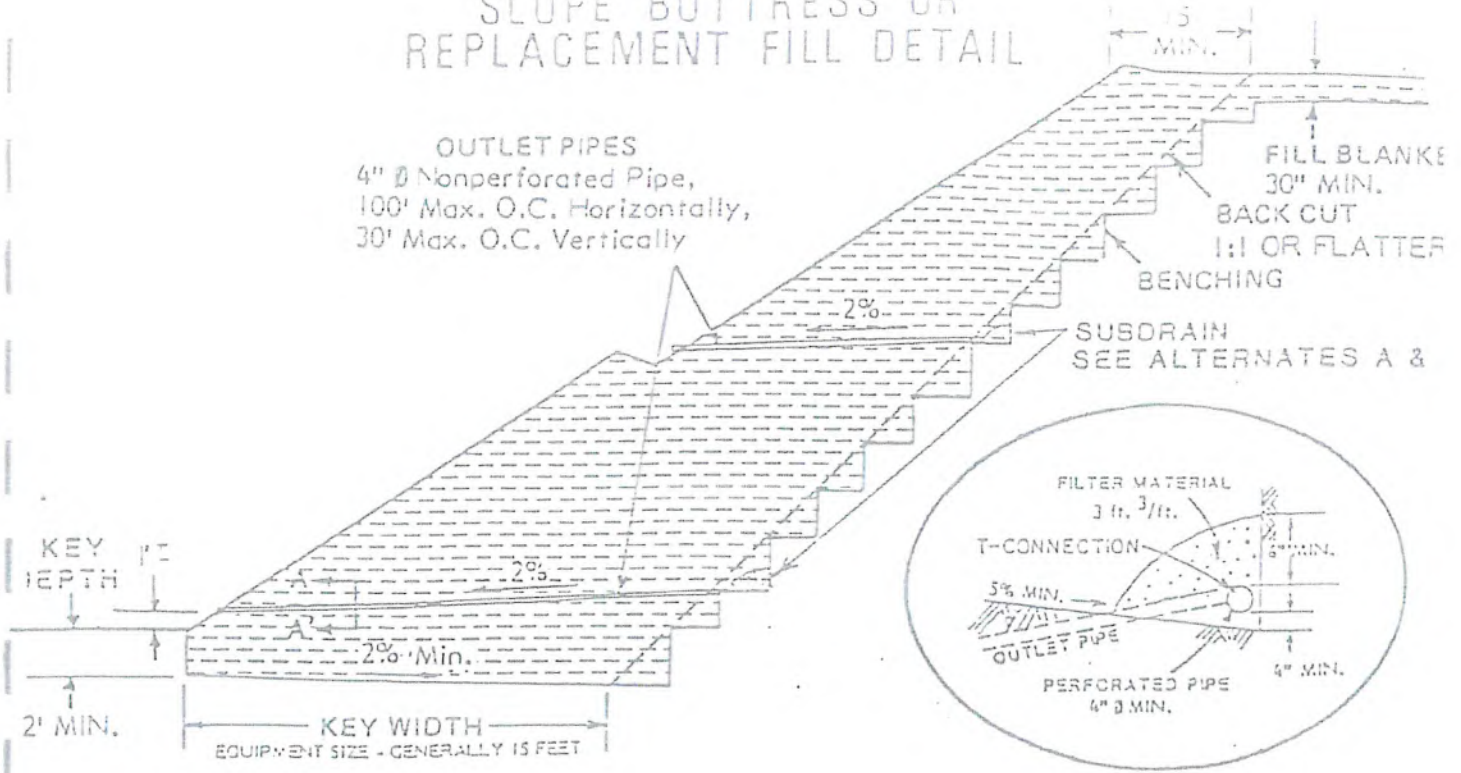
## CUT LOT



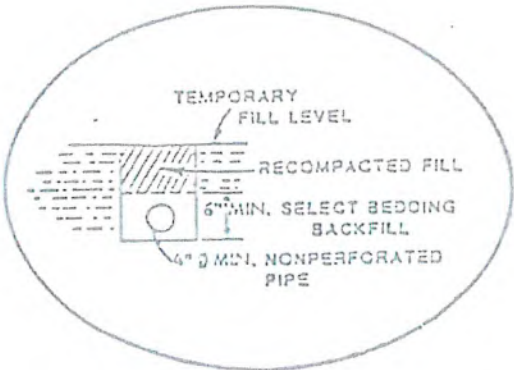
**NOTE:**

Deeper overexcavation and recompaction shall be performed if determined to be necessary by the geotechnical consultant.

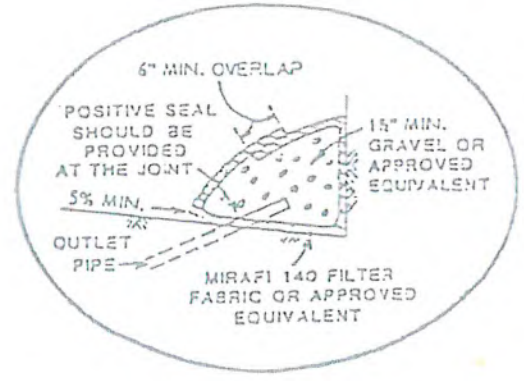
# SLOPE BUTTRESS OR REPLACEMENT FILL DETAIL



ALTERNATE A



DETAIL A-A'



ALTERNATE B

**NOTES :**

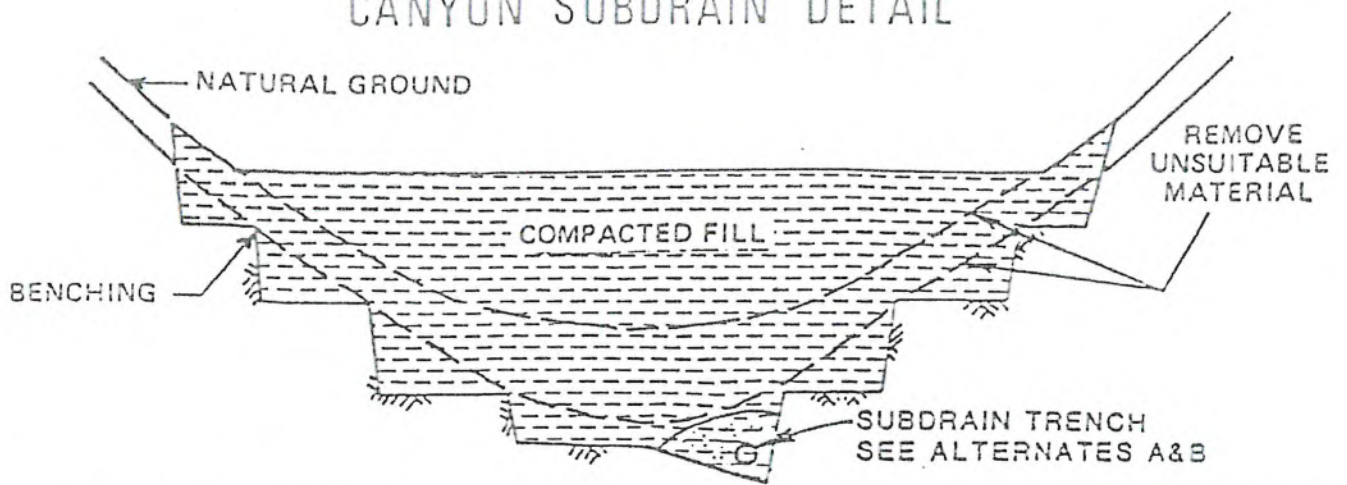
- Fill blanket, back cut, key width and key depth are subject to field change, per report/plans.
- Key heel subdrain, blanket drain, or vertical drain may be required at the discretion of the geotechnical consultant.
- SUBDRAIN INSTALLATION - Subdrain pipe shall be installed with perforations down or, at locations designated by the geotechnical consultant, shall be nonperforated pipe.
- SUBDRAIN TYPE - Subdrain type shall be ASTM C508 Asbestos Cement Pipe (ACP) or ASTM D2751, SDR 23.5 or ASTM D1527, Schedule 40 Acrylonitrile Butadiene Styrene (ABS) or ASTM D3034 SDR 23.5 or ASTM D1785, Schedule 40 Polyvinyl Chloride Plastic (PVC) pipe or approved

**FILTER MATERIAL:**

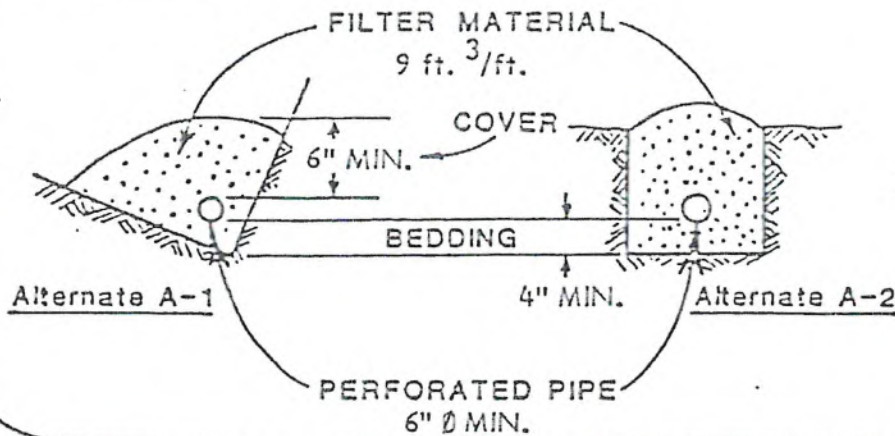
Filter material shall be Class 2 permeable material per State of California Standard Specifications, or approved alternate.  
Class 2 grading as follows:

SIEVE SIZE	PERCENT PASSING
1"	100
3/4"	90-100
3/8"	40-100
No. 4	25-40
No. 8	18-33
No. 30	5-15
No. 50	0-7
No. 200	0-3

# CANYON SUBDRAIN DETAIL



**SUBDRAIN ALTERNATE A:** Perforated Pipe Surrounded With Filter Material

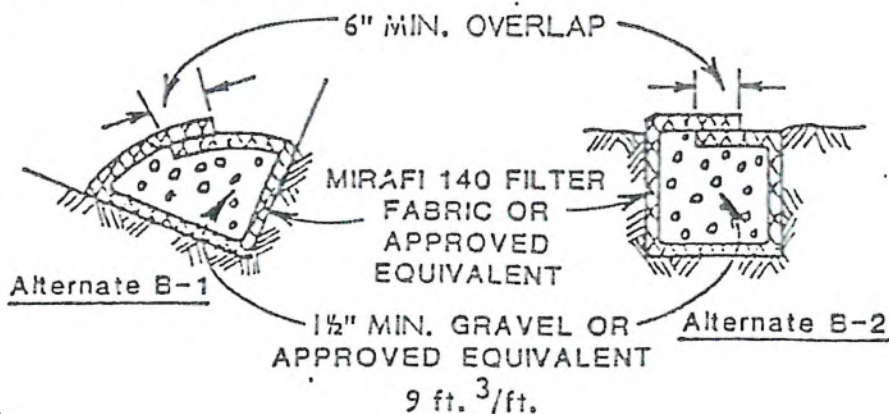


**FILTER MATERIAL:**

Filter material shall be Class 2 permeable material per State of California Standard Specifications, or approved alternate. Class 2 grading as follows:

SIEVE SIZE	PERCENT PASSING
1"	100
3/4"	90-100
3/8"	40-100
No. 4	25-40
No. 8	18-33
No. 30	5-15
No. 50	0-7
No. 200	0-3

**SUBDRAIN ALTERNATE B:** 1 1/2" Gravel Wrapped in Filter Fabric



**NOTE:**

In addition to the wrapped gravel, outlet portion of the subdrain should be equipped with a minimum of 10 feet long perforated pipe connected to a nonperforated pipe having a minimum of 5 feet in length inside the wrapped gravel.

- **SUBDRAIN INSTALLATION** - Subdrain pipe shall be installed with perforations down or, at locations designated by the geotechnical consultant, shall be nonperforated pipe.
- **SUBDRAIN TYPE** - Subdrain type shall be ASTM C508 Asbestos Cement Pipe (ACP) or ASTM D2751, SDR 23.5 or ASTM D1527, Schedule 40 Acrylonitrile Butadiene Styrene (ABS) or ASTM D3034, SDR 23.5 or ASTM D1785, Schedule 40 Polyvinyl Chloride Plastic (PVC) pipe or approved equivalent.

**California Environmental Quality Act  
Appendix G Checklist for Noise  
for  
TTM 20375 (SERRANO ESTATES)**

*prepared by*



**GANDDINI GROUP INC.**

555 Parkcenter Drive, Suite 225  
Santa Ana, California 92705  
(714) 795-3100 | [ganddini.com](http://ganddini.com)

Contact: Roma Stromberg, INCE  
Project No. 19521

## NOISE

Would the project result in:

<b>Question</b>	<b>CEQA Determination</b>
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	Less Than Significant Impact
b) Generation of excessive groundborne vibration or groundborne noise levels?	No Impact
c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	No Impact

### **Response to CEQA Checklist Question a):**

The proposed project will be consistent with and not exceed standards, plans and policies provided in the City of Yucaipa Municipal Code and the City of Yucaipa General Plan goals and policies. This impact would be less than significant. Applicable ordinances and General Plan goals and policies are presented below.

#### City of Yucaipa Municipal Code

Section 87.0905(b) of the City of Yucaipa Municipal Code presents numerical noise standards for stationary noise sources. Section 87.0925(e) of the Municipal Code exempts construction noise from these standards as it does not occur between the hours of 7:00 PM and 7:00 AM, on Sundays or on Federal holidays. Project construction will be consistent with the hours that are exempt from the stationary noise sources. Therefore, it will be consistent with applicable City ordinances.

#### City of Yucaipa General Plan

The City's General Plan Safety Element sets forth the following goals and policies that apply to the proposed project.

**Goal S-6 Noise and Vibration Safety.** Appropriate community noise and vibration levels that balance the need for peaceful environments for sensitive land uses with the needs of local businesses and regional land uses.

The proposed project is consistent with this goal as discussed below.

**Policy S-6.1 Noise Assessment.** Assess the compatibility of proposed land uses with the noise environment when preparing, revising, or reviewing applications for development projects or land use changes.

The project is a residential project proposed on vacant land with adjacent vacant and residential land uses<sup>1</sup>. The project site is not located within a roadway or airport 60 dBA CNEL noise contour<sup>1</sup> or Noise Hazard Zone<sup>2</sup>. The project is consistent with this policy.

**S-6.2 Acoustical Studies.** Require acoustical studies for proposed projects within areas that exceed 60 dBA; discourage siting of new noise-sensitive uses in areas exceeding 65 dBA without appropriate mitigation.

---

<sup>1</sup> Review of Google Earth Aerial Photograph June 1, 2022.

<sup>2</sup> City of Yucaipa General Plan April 2016.

The proposed project is located in a rural area and is not within the 60 dBA CNL noise contour of a roadway or airport. The project is consistent with this policy.

**Policy S-6.3 Noise Insulation and Vibration Standards.** Require acoustical studies for proposed projects within areas that exceed 60 dBA; discourage siting of new noise-sensitive uses in areas exceeding 65 dBA without appropriate mitigation.

As stated previously, the proposed project is located in a rural area and is not within the 60 dBA CNL noise contour of a roadway or airport. The project is consistent with this policy.

**Policy S-6.5 Development Patterns.** Locate new development in areas where noise levels are appropriate for the use. Limit development of noise-producing uses adjacent to noise-sensitive receptors and require that noise producing land uses have adequate mitigation.

As stated previously, the proposed project is located in a rural area and is not within the 60 dBA CNL noise contour of a roadway or airport. The project is consistent with this policy.

**Policy S-6.6 Land Use-Noise Compatibility.** Require mitigation of exterior and interior noise to the levels in Table S-2. Encourage the use of building design, site planning, landscaping, and other features to reduce noise levels.

In order to protect its citizens from unacceptable noise levels they have established an exterior noise criterion of 60 dBA CNEL and an interior noise criterion of 45 dBA CNEL<sup>2</sup>. As stated previously, the project site is located in a rural area and is not within the 60 dBA CNL noise contour of a roadway or airport. The project is consistent with this policy.

### **Groundborne Vibration**

City of Yucaipa Municipal Code Section 87.0910 regulates vibration. However, Subsection C clearly exempts temporary construction, maintenance, or demolition activities that occur between the hours of 7:00 AM and 7:00 PM, except Sundays and Federal holidays.

Caltrans identifies a PPV level of 0.3 as the threshold at which there is a risk to “architectural” damage to older residential structures<sup>3</sup>. The most vibratory equipment likely to be used on the project site include vibratory rollers and large bulldozers, neither of these are likely to exceed a PPB of 0.21 at a distance of 25 feet. Furthermore, the closest sensitive receptors to the project site that may be affected by construction vibration are single family homes located at least 40 feet to the west of the project site on the western side of Yucaipa Ridge Road. Furthermore, operation of the proposed residential project is not expected to result in noticeable groundborne vibration (approximately 50 VdB to 60 VdB)<sup>4</sup>. The proposed project would not result in groundborne vibration impacts.

### **City of Yucaipa General Plan**

The City’s General Plan Safety Element sets forth the following goals and policies that apply to the proposed project.

**Goal S-6 Noise and Vibration Safety.** Appropriate community noise and vibration levels that balance the need for peaceful environments for sensitive land uses with the needs of local businesses and regional land uses.

The proposed project is consistent with this goal as discussed above.

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<sup>3</sup> Transportation Related Earthborne Vibrations (California Department of Transportation Experiences), Technical Advisory, Vibration TAV-02-01-R9601. February 20, 2020

<sup>4</sup> Federal Transit Administration, Transit Noise and Vibration Impact Assessment Manual, Section 5.2, September 2018.



**Policy S-6.7 Vibration Reduction.** Minimize vibration impacts from construction sites, roadways, and other sources with a combination of setbacks, structural design features, and operational regulations as appropriate.

As stated previously, the proposed project would not result in damage causing vibration or groundborne vibration that is noticeable at sensitive receptors. No further setbacks, structural design features or operational regulations are necessary.

**Conclusion:** Less Than Significant Impact. The proposed project will not result in a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.

**Response to CEQA Checklist Question b):**

As stated previously, the proposed project would not result in damage causing vibration or groundborne vibration that is noticeable at sensitive receptors. No further setbacks, structural design features or operational regulations are necessary.

**Conclusion:** No Impact. Project construction will not result in damage causing or noticeable groundborne vibration at sensitive receptors. No Impact.

- c) For a project located within the vicinity of a private airstrip or an airport land use plan or where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

The Redlands Airport is the closest airport to the project site. It is approximately 5.9 miles west of the site<sup>1</sup>. The proposed project would not expose people residing or working in the project area to excessive noise levels. No impact. No mitigation is required.



May 26, 2022

Mr. Jeff Kreidel  
PREMIUM LAND DEVELOPMENT  
35109 Avenue C  
Yucaipa, California 92399

**RE: Serrano Estates Project (TTM 20375) Transportation Study Screening Assessment**  
Project No. 19521

Dear Mr. Kreidel:

Ganddini Group, Inc. is pleased to provide this Transportation Study Screening Assessment for the proposed Serrano Estates Project (TTM 20375) in the City of Yucaipa. The purpose of this screening assessment is to determine if preparation of a traffic impact analysis with level of service (LOS) analysis or vehicle miles traveled (VMT) analysis is necessary based on the transportation study guidelines and screening criteria established by the City of Yucaipa. We trust the findings of this analysis will aid you and the City of Yucaipa in assessing the project.

**PROJECT DESCRIPTION**

The 52.0-acre project site is located at northeast corner of the Yucaipa Ridge Road and Crystal Street intersection in the City of Yucaipa, California. The project site is currently undeveloped and zoned for rural residential (RL-1) with one dwelling per acre. The proposed project involves entitlement of a residential tract map with 35 single-family and 16 senior detached-dwelling units and five lettered lots. Vehicle access to the proposed project will be provided by three access roadways onto Yucaipa Ridge Road. The proposed site plan is shown in Attachment A.

**PROJECT TRIPS**

Table 1 shows the proposed project trips based on trip generation rates obtained from the Institute of Transportation Engineers (ITE) *Trip Generation Manual* (11th Edition, 2021) for Land Use Code 210 (Single Family Detached Housing).

As shown in Table 1, the proposed project is forecast to generate approximately 399 daily trips, including 29 trips during the AM peak hour and 38 trips during the PM peak hour.

**CRITERIA FOR THE PREPARATION OF TRAFFIC IMPACT ANALYSES**

The project has been screened for both level of service (LOS) analysis and vehicle miles traveled (VMT) analysis using the established criteria as specified in the City of Yucaipa *Traffic Impact Analysis Guidelines* (August 2020) ["City TIA Guidelines"].

**LEVEL OF SERVICE SCREENING CRITERIA (NON-CEQA/GENERAL PLAN CONFORMITY)**

As specified in the City TIA Guidelines, the requirement to prepare a transportation impact study with level of service (LOS) analysis should be based on one or more of the following criteria:

- When the project AM or PM peak hour trip generation is 100 or more trips.
- Projects that will add 51 or more trips during either the AM or PM peak hour to any intersection.
- When determined by the City Engineer that existing or proposed traffic conditions in the project vicinity have unique characteristics that warrant evaluation.

The proposed project is forecast to generate fewer than 100 peak hour trips, or 51 peak hour trips at any one intersection. Assuming the project shall construct all on-site and off-site improvements (if any) in accordance with City design standards, the project would not create any new safety or operational concerns. Therefore, the proposed project does not warrant preparation of a transportation impact study with LOS analysis based on the City-established screening criteria.

**VEHICLE MILES TRAVELED SCREENING CRITERIA (CEQA)**

The vehicle miles traveled (VMT) screening assessment has been prepared in accordance with City TIA Guidelines, which were developed based on guidance from the Office of Planning and Research (OPR) *Technical Advisory on Evaluating Transportation Impacts in CEQA* (State of California, December 2018) ["OPR Technical Advisory"]. In general terms, VMT quantifies the amount and distance of automobile travel attributable to a project or region. The OPR Technical Advisory provides technical considerations regarding methodologies and thresholds with a focus on office, residential, and retail developments as these projects tend to have the greatest influence on VMT.

The City TIA Guidelines identify screening criteria for certain types of projects that typically reduce VMT and may be presumed to result in a less than significant VMT impact. The project need only satisfy one of the following screening criteria:

- Projects located within a Transit Priority Area (TPA)
  - Projects located within one-half mile radius of major transit stop<sup>1</sup> or high-quality transit corridor<sup>2</sup>
- Projects located within a low VMT area
  - Site location can be verified with the web-based or map-based VMT Screening Tool<sup>3</sup>
- Project Type Screening
  - Local serving land use
  - Community institutions
  - Supportive Housing
  - Projects with trip generate less than net new 400 daily vehicle<sup>4</sup> trips (ADT)

<sup>1</sup> A major transit stop is defined as an existing rail transit station, ferry terminal with bus or rail service, or the intersection of two or more major bus routes with less than 15-minute headways during the peak commute hours (Pub. Resources Code, § 21064.3.).

<sup>2</sup> Fixed route bus service with less than 15-minute headways during the peak commute hours (Pub. Resources Code, § 21155).

<sup>3</sup> The SBCTA VMT Screening Tool was developed from the San Bernardino Transportation Analysis Model (SBTAM) travel forecasting model to measure VMT performance for individual jurisdictions and for individual traffic analysis zones (TAZs).

<sup>4</sup> The term vehicle refers to on-road passenger vehicles, specifically cars and light trucks. Heavy-duty trucks should only be included in a traffic impact analysis for modeling convenience and ease of calculation (e.g., where data provided combine auto and heavy freight VMT), but should not contribute to a finding of significant traffic (VMT) impact under any circumstances.

### **TPA SCREENING**

Projects located within a TPA, defined as within one-half mile of major transit stop or high-quality transit corridor, may be presumed to result in a less than significant VMT impact absent substantial evidence to the contrary. This presumption may not apply, however, if the project:

1. Has a Floor Area Ratio (FAR) of less than 0.75;
2. Includes more parking for use by residents, customers, or employees of the project than required by the jurisdiction (if the jurisdiction requires the project to supply parking)
3. Is inconsistent with the applicable Sustainable Communities Strategy (as determined by the City with input from the Metropolitan Planning Organization); or
4. Replaces affordable residential units with a smaller number of moderate or high-income residential units.

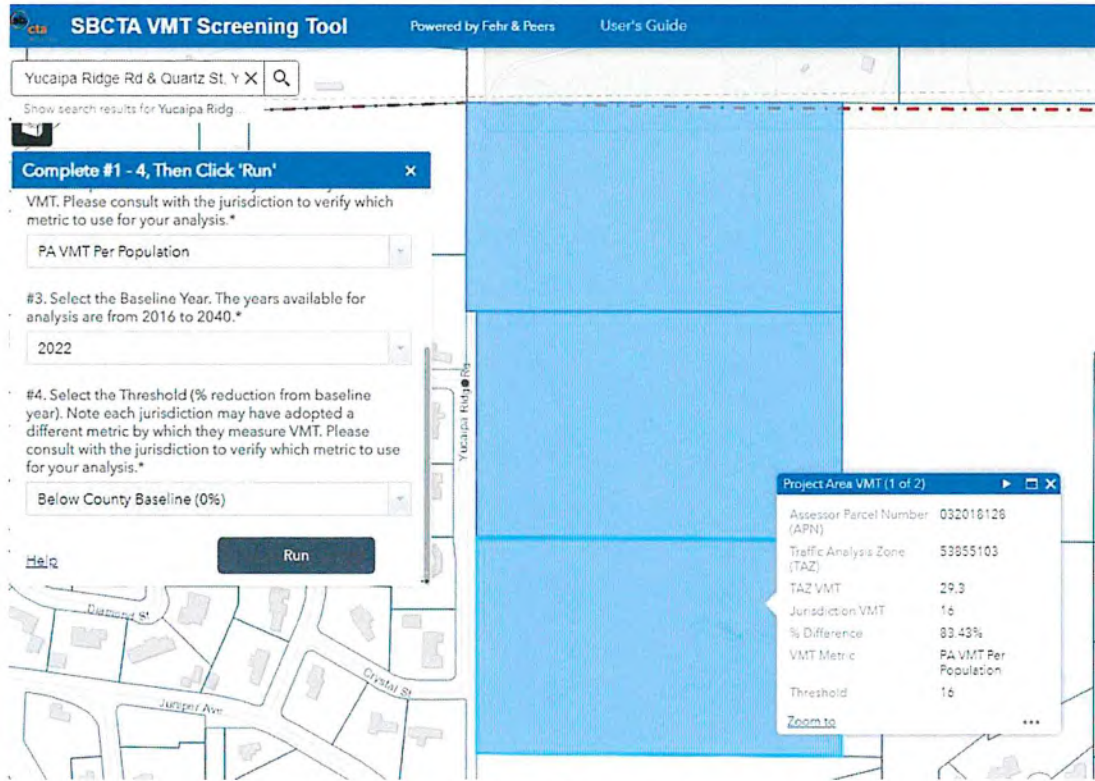
Based on review the of the San Bernardino County Transportation Authority (SBCTA) VMT Screening Tool, the proposed project is not located within a TPA; therefore, the project does not satisfy the TPA screening criteria.

### **LOW VMT AREA SCREENING**

Residential and office projects located within a low VMT generating area may be presumed to have a less than significant impact absent substantial evidence to the contrary. In addition, other employment-related and mixed-use land use projects may qualify for the use of screening if the project can reasonably be expected to generate VMT per resident, per worker, or per service population that is similar to the existing land uses in the low VMT area. Based on the City-established thresholds, a project would satisfy the low VMT screening criteria if it is located in a traffic analysis zone (TAZ) that does not exceed the City average total daily VMT per service population.

To identify if the project is in a low VMT area, the SBCTA VMT Screening Tool was used. The SBCTA VMT Screening Tool was developed from the San Bernardino Transportation Analysis Model (SBTAM) travel forecasting model to measure VMT performance for individual jurisdictions and for individual traffic analysis zones (TAZs). TAZs are geographic polygons similar to census block groups used to represent areas of homogenous travel behavior. Projects located in areas that incorporate similar features of the TAZ will tend to exhibit similar VMT. This presumption may not be appropriate if the project land uses would alter the existing built environment in such a way as to increase the rate or length of vehicle trips.

The proposed project is consistent with existing residential land uses in the project TAZ and there does not appear to be anything unique about the project that would otherwise be mis-represented utilizing the data from the SBCTA VMT Screening Tool. Based on the SBCTA VMT Screening Tool assessment. In this case, the proposed project consists of residential uses only; therefore, the applicable service population is the residential population and the project TAZ VMT has been calculated for VMT per population.



**Exhibit A – SBCTA VMT Screening Tool Results**

Exhibit A shows the SBCTA VMT Screening Tool results for the project site, and the proposed project is located within TAZ 53855103. As shown on Exhibit A, the baseline year (2022) VMT per service population for the project TAZ is equal to 29.3 and the City baseline is equal to 16. Therefore, the proposed project does not satisfy the City-established screening criteria for projects located in a low VMT area.

**PROJECT TYPE SCREENING**

The City TIA Guidelines identify the following types of projects that may be presumed to have a less than significant VMT impact as they are local serving and thus can be expected to reduce VMT or they are small enough to have a negligible impact:

- Local parks
- Day care centers
- Local-serving retail uses less than 50,000 square feet, including:
  - Gas stations
  - Banks
  - Restaurants
  - Shopping Center
- Local-serving medical office less than 100,000 square feet
- Student housing projects on or adjacent to college campuses
- Local-serving assembly uses (places of worship, community organizations)
- Community institutions (Public libraries, fire stations, local government)

Mr. Jeff Kreidel  
PREMIUM LAND DEVELOPMENT  
May 25, 2022

- Local serving community colleges that are consistent with the assumptions noted in the RTP/SCS
- Hotels (non-destination or resort; no banquet or special event space)
- Affordable or supportive housing<sup>5</sup>
- Assisted living facilities
- Senior housing (as defined by HUD)
- Projects generating less than 400 daily vehicle trips. This generally corresponds to the following "typical" development potentials:
  - 42 single family housing units
  - 54 multi-family, condominiums, or townhouse housing units
  - 41,000 sq. ft. of office
  - 80,000 sq. ft. of light industrial
  - 229,000 sq. ft. of warehousing
  - 285,000 sq. ft. of high cube transload and short-term storage warehouse

As previously shown in Table 1, the proposed project consists of 51 detached residential units which is forecast to generate less than 400 net new daily trips. Therefore, the proposed project satisfies the City-established project type screening criteria.

## CONCLUSIONS

The proposed project is forecast to generate approximately 399 daily trips, including 29 trips during the AM peak hour and 38 trips during the PM peak hour.

The project satisfies the City-established level of service (LOS) screening criteria for projects generating fewer than 100 peak hour trips. Therefore, the proposed project does not warrant preparation of a level of service transportation impact study based on the City-established LOS screening criteria.

The proposed project satisfies the City-established VMT screening criteria for small projects; therefore, preparation of a transportation impact study with vehicle miles traveled (VMT) analysis is not warranted, and the proposed project may be presumed to have a less than significant VMT impact.

It has been a pleasure to assist you with this project. Should you have any questions or if we can be of further assistance, please do not hesitate to call at (714) 795-3100.

Sincerely,  
GANDDINI GROUP, INC.



Perrie Ilercil, P.E. (AZ)  
Senior Engineer



Giancarlo Ganddini, PE, PTP  
Principal

<sup>5</sup> The project must provide 100% of residential units as affordable or supportive housing.

**Table 1  
Project Trip Generation**

Trip Generation Rates									
Land Use	Source <sup>1</sup>	Land Use Variable <sup>2</sup>	AM Peak Hour			PM Peak Hour			Daily Rate
			% In	% Out	Rate	% In	% Out	Rate	
Single-Family Detached Housing	ITE 210	DU	26%	74%	0.70	63%	37%	0.94	9.43
Senior Adult Housing - Single-Family	ITE 251	DU	33%	67%	0.24	61%	39%	0.30	4.31

Trips Generated										
Land Use	Source	Quantity		AM Peak Hour			PM Peak Hour			Daily
				In	Out	Total	In	Out	Total	
Single-Family Detached Housing	ITE 210	35	DU	6	19	25	21	12	33	330
Senior Adult Housing - Single-Family	ITE 251	16	DU	1	3	4	3	2	5	69
<b>TOTAL TRIPS GENERATED</b>				<b>7</b>	<b>22</b>	<b>29</b>	<b>24</b>	<b>14</b>	<b>38</b>	<b>399</b>

Notes:

- 1 ITE = Institute of Transportation Engineers Trip Generation Manual (11th Edition, 2021); ### = Land Use Code.  
All rates based on General Urban/Suburban setting.
- 2 DU = Dwelling Unit.

## **ATTACHMENT A**

### **SITE PLAN**



# TENTATIVE TRACT MAP NO. 20375

## Project Notes

**REPRESENTATIVE**  
Premium Land Development  
35159 Avenida C  
Yucca, CA 92389  
(909) 970-9950

**APPLICANT/OWNER**  
Yucca 52 LLC  
2044 Vista Ave.  
Monrovia, CA 91016

### LEGAL DESCRIPTION

The portion of Yucca Valley colony Subdivision No. 2, as per plat recorded in Book 16, of Maps, Page 79, Records of San Bernardino County, described as follows:  
APN 0320-161-08:  
The North 636.7325 S. and West 1165 S. of the North 142 NW 1/4 SEC 18 Township 18 Range 1W  
APN 0320-161-09:  
The West 1163 S. of the North 142 NW 1/4 SEC 18 Township 18 Range 1W, Except the North 636.7325 S.  
APN 0320-161-20:  
The West 1163 S. of Lot 1 Block II measured to the northeast of Bryant St. (Yucca Ridge Road).  
BRYANT ST 17.2 AC 66.

### ASSESSORS PARCEL NUMBER

### SITE ADDRESS

### GENERAL PLAN DESIGNATION

Residential (RL-1) 1 acre minimum lot size (see zoning proposed).  
Preliminary Development Application is submitted for residential development pursuant to Dev. Code Section 94.0205.  
Preliminary Development Land Use Plan is submitted for Single Family Residential, Rural Residential, and Open Space designations.

### PROPOSED PROJECT

Establish a Planned Development to develop a 52-acre proposed area into 51 lots, 12,000 sq. ft. lots, lot size with 80% area needed to be 100 ft or larger and a remainder parcel to be developed with a single family residence, with area set aside for natural open space. Estimated Lot A-D for RCP/Construction purposes is established by RCP.

### STATISTICAL SUMMARY

Lot Area (Gross): 2,085,891 s.f. 82.82 ac.  
Lot Area (Net): 2,113,017 s.f. 83.8 ac.  
Total Lots: 51  
Gross Density: 6.88 s.f./ac.  
New public access length: 1,795 ft.

### EARTHWORK ESTIMATE

Excavation: 142,000 cu yd  
Embankment: 3,000 cu yd

### Notes:

- No regulated trees or plants exist on site.
- No portion of the site is subject to a flood hazard or overlay.
- The boundary map indicates the entire neighborhood community of the tract district.
- Horizontal offset drainage from adjacent properties is accepted by the project site and is transmitted through the project.
- All roads and utilities to be public.
- The average slope of health access roads and health building site does not exceed 15%.
- No nonconforming ground structures exist on site.
- Subdivision to be recorded as a single phase.

### SERVING UTILITIES:

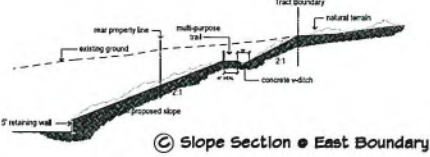
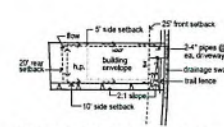
Water:	Yucca Valley Water District 27775 2nd St. Yucca, CA 92389 (909) 797-6117	Gas:	Southern California Gas Company 155 S. G St. San Bernardino, CA 92410 (909) 335-7915
Sanitary:	Yucca Valley Water District 27775 2nd St. Yucca, CA 92389 (909) 797-6117	Telcel:	Frontier Communications 1800 Caribay Ave., Bldg. 125 Monrovia, CA 92389 (909) 794-8283
Electric:	Southern California Edison 387 Tennessee St. Redlands, CA 92373 (909) 307-6748	CITY:	City of Yucca 1079 E. Hospitality Ln. San Bernardino, CA 92408 (909)

### For a 51 Lot Subdivision

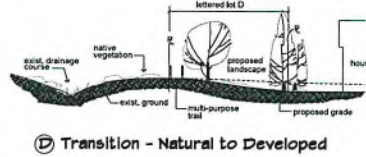


Entry Monument

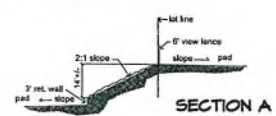
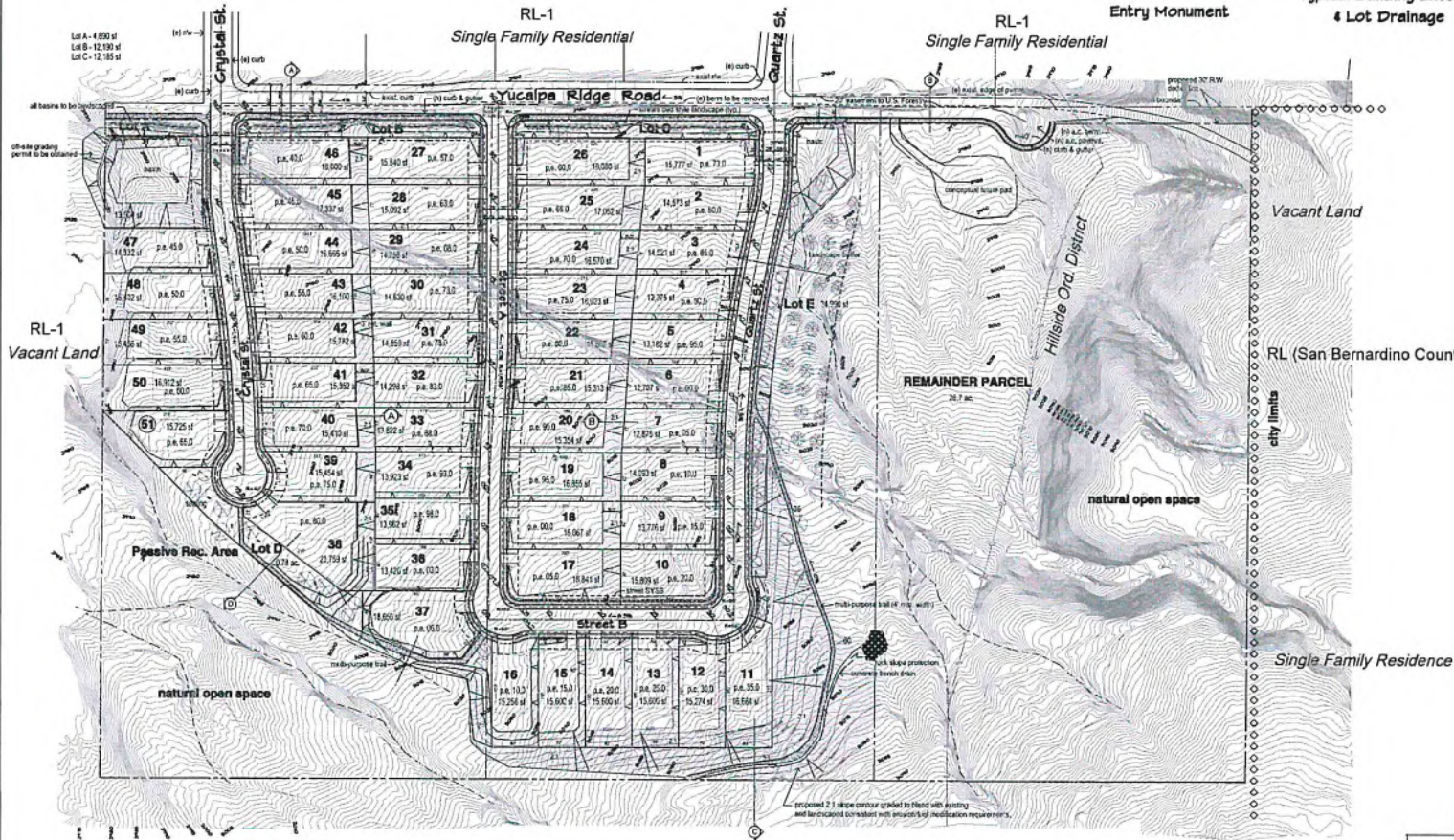
Typical Building Envelope & Lot Drainage



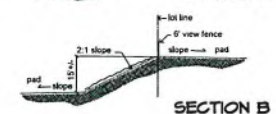
(C) Slope Section - East Boundary



(D) Transition - Natural to Developed



SECTION A



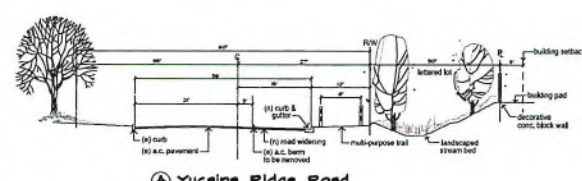
SECTION B

### Legend

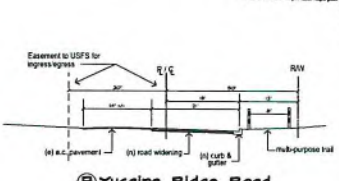
- Street Centerline
- Lot Line
- Tract Boundary
- Easement Line
- Building Setback Line
- Building Envelope
- Multi-purpose Trail Fence
- Swale Flow Line
- 2:1 Graded Slope
- Decomposed Granite Trail
- Existing Contour Index
- Proposed Contour Index



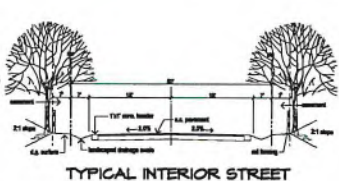
Vicinity Map



(A) Yucca Ridge Road



(B) Yucca Ridge Road



TYPICAL INTERIOR STREET

N.T.A.

PREPARED UNDER THE SUPERVISION OF:  JOSEPH MICHAEL LONG REGISTERED CIVIL ENGINEER NO. 80911	REVISIONS COMPLETION CORRECTIONS 2-10-23 COMPLETION CORRECTIONS 8-9-23 COMPLETION CORRECTIONS 2-12-23	PREPARED BY PREMIUM LAND DEVELOPMENT 35159 Avenida C Yucca, CA 92389 (909) 970-9950	TENTATIVE MAP NO. 20375 SHEET 1 OF 1 SHEETS
	DATE: _____ PROJECT NO.: _____ DRAWN BY: _____ CHECKED BY: _____	PROJECT NO.: _____ SHEET NO.: _____ DATE: _____	PROJECT NO.: _____ SHEET NO.: _____ DATE: _____



July 08, 2022

Attn: Benjamin Matlock  
City of Yucaipa  
34272 Yucaipa Blvd,  
Yucaipa, CA 92399

RE: Case No. 20-136/PDP/TTM 20375 – Wildfire Assessment

Mr. Matlock,

The California Department of Forestry and Fire Protection (CALfire) will provide fire and life safety services for the residents of the development. The nearest fire stations are located 1.8 miles away on Bryant Street, and 4.3 miles away at Crafton Hills. The proposed project is located within the Fire Safety Review Area 1, which identifies the area to be sensitive to wildfires. In response to potentially hazardous areas, the State of California and City of Yucaipa have established specific requirements, building codes, a mitigation measures to protect future developments from potential wildfire hazards. Below are questions from Appendix G of the CEQA Guidelines regarding wildfires and an explanation as to why the proposed project does not pose a risk to either the environment or the safety of the future and existing residents beyond the ability to mitigate.

- **Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?**

*The proposed project has been designed to limit the development footprint of the project to a relatively condensed portion of the site and away from any of the site's natural features such as the drainage channel to the southeast and the small bluff along the northern boundary. Prior to any construction or development occurring, the project will be required to provide a minimum 100-foot fuel modification zone to remove any potential hazardous dry brush/fuel that could exacerbate wildfire risks. Additionally, the single-family dwelling units will be designed to the latest version of the California Fire Code and California Building Code, which requires the units to be built with high quality, fire-resistant materials and installed with fire sprinklers among other requirements. The fire flow of the existing hydrants is 850 Gallons Per Minute, which is greater than the minimum fire flow (500 GPM) for dwelling units that have fire sprinklers installed.*

- **Substantially impair an adopted emergency response plan or emergency evacuation plan?**

*Per the Traffic Assessment Letter prepared by Gandini, the proposed and existing circulation network has been designed to adequately service the proposed number of units in addition to the*

---

108 Orange Street #5  
Redlands, CA 92373  
909.335.1665

---

existing demand. Therefore, the proposed project will not impact the City's circulation network in the event of an emergency.

- **Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?**

*Topographically, the foothills at the western boundary of the City naturally reduce prevailing winds coming from the west. This natural feature provides some mitigation to the potential spread of wildfires or particulates in the air created from fires. The proposed project has been designed to provide a minimum 800 feet of separation between the bluff at the northern portion of the site, which removes the possibility of slope run off or safety issues created by the prominent hillside. Additionally, as a standard mitigation measure for the Fire Safety Review Area 1, the proposed project will be required to provide a fuel modification zone of at least 100 feet, which should reduce any potential impacts.*

- **Require the installation or maintenance of associate infrastructure (such as roads, fuel breaks, emergency water sources, power lines, or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?**

*The existing roadway, which has been designed to handle the anticipated traffic demand based on Level of Service, will be extended to service the site, and utilities will be installed, including water and sewer, to service the site. Existing fire hydrants along Yucaipa Ridge Road have a flow rate of 850 Gallons Per Minute (GPM). The proposed units will be designed with fire sprinkler systems. Pursuant to the California Fire Code, the required flow rate to provide adequate fire protection to a single-family residence that has fire sprinklers installed is 500 GPM; therefore, the proposed improvements will not exacerbate the existing infrastructure or result in any temporary or ongoing impacts to the environment.*

- **Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?**

*There is one ephemeral drainage channel traversing the southeast portion of the site and the proposed development has been designed to avoid the channel. Any change to the existing channel caused from potential flooding or runoff will not have any impact on the development as the proposed grading/improvements elevate the houses outside of any potential hazards. Additionally, the site provides greater than 800 feet of separation between the small bluff along the northern boundary of the site and the nearest single-family residence, which should mitigate any potential hazards from post-fire slope instability. No structures intended for human habitation is permitted within the remainder parcel or within the 800 feet of separation.*

If you have any questions, please feel free to reach me at (909)335-1665.

Sincerely,

A handwritten signature in black ink, appearing to read 'Travis Heaps', with a long horizontal flourish extending to the right.

Travis Heaps  
Senior Planner  
Premium Land Development

---

108 Orange Street #5  
Redlands, CA 92373  
909.335.1665



July 6, 2022

Mr. Jeffrey Kreidel  
PREMIUM LAND DEVELOPMENT  
35109 Avenue C  
Yucaipa, California 92399

**RE: TTM 20375 Serrano Estates Project - Lot No. 52 Effect on Transportation, Noise, and Air Quality/Greenhouse Gas Technical Studies**  
Project No. 19521

Dear Mr. Kreidel:

Ganddini Group, Inc. is pleased to provide this Letter for the proposed TTM 20375 Serrano Estates Project in the City of Yucaipa. The purpose of this letter is to respond to the following comment from Fermin Preciado at the City of Yucaipa Planning Department. The comment states *"The proposed PDP identifies that a vineyard, winery and single family residence are permitted uses on Lot No. 52, and consequently these proposed uses should be included in the analysis to fully assess the 'whole of the Project' as required by CEQA, OR there needs an explanation/reason provided by your consultant indicating why they were not included in the analysis with an appropriate justification that is accompanied with the subsequent amendments to the PDP to omit such activities."*

### **PROJECT DESCRIPTION**

The 52.0-gross acre (50.8 net acres) project site is located at northeast corner of the Yucaipa Ridge Road and Crystal Street intersection in the City of Yucaipa, California. The project site is currently vacant. The proposed project involves entitlement of a residential tract map with 35 single-family and 16 senior detached-dwelling units and five lettered lots. 26.7 acres of the site (Lot No. 52) is to remain natural open space.

### **JUSTIFICATION FOR EXCLUSION OF LOT NO. 52 FROM THE ANALYSES**

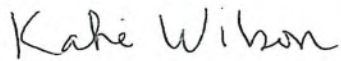
Per Jeff Kreidel and Craig Heaps at Premium Land Development, the Preliminary Development Plan (PDP) should identify Lot No. 52 for agricultural use only. There will be no buildings or other improvements on the property and this portion of the site would not generate any vehicular trips on a daily basis. Per the Tentative Tract Map 20375 (revised March 18, 2022), the area is designated as natural open space and a remainder parcel. Therefore, as the natural open space portion of the site would not have any buildings or other improvements and would not generate any traffic trips, it is anticipated that the minor agricultural use of Lot No. 52 would generate negligible (if any) noise or air quality/GHG emissions. Therefore, no additional analysis is warranted or required.

PREMIUM LAND DEVELOPMENT  
July 6, 2022

## CONCLUSION

It has been a pleasure to service your needs on the proposed TTM 20375 Serrano Estates Project. Should you have any questions or if we can be of further assistance, please do not hesitate to call at (714) 795-3100.

Sincerely,  
GANDDINI GROUP, INC.



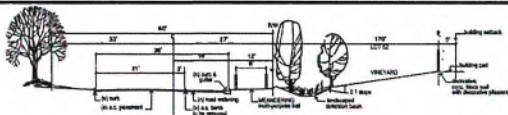
Katie Wilson, MS  
Senior Air Quality Analyst



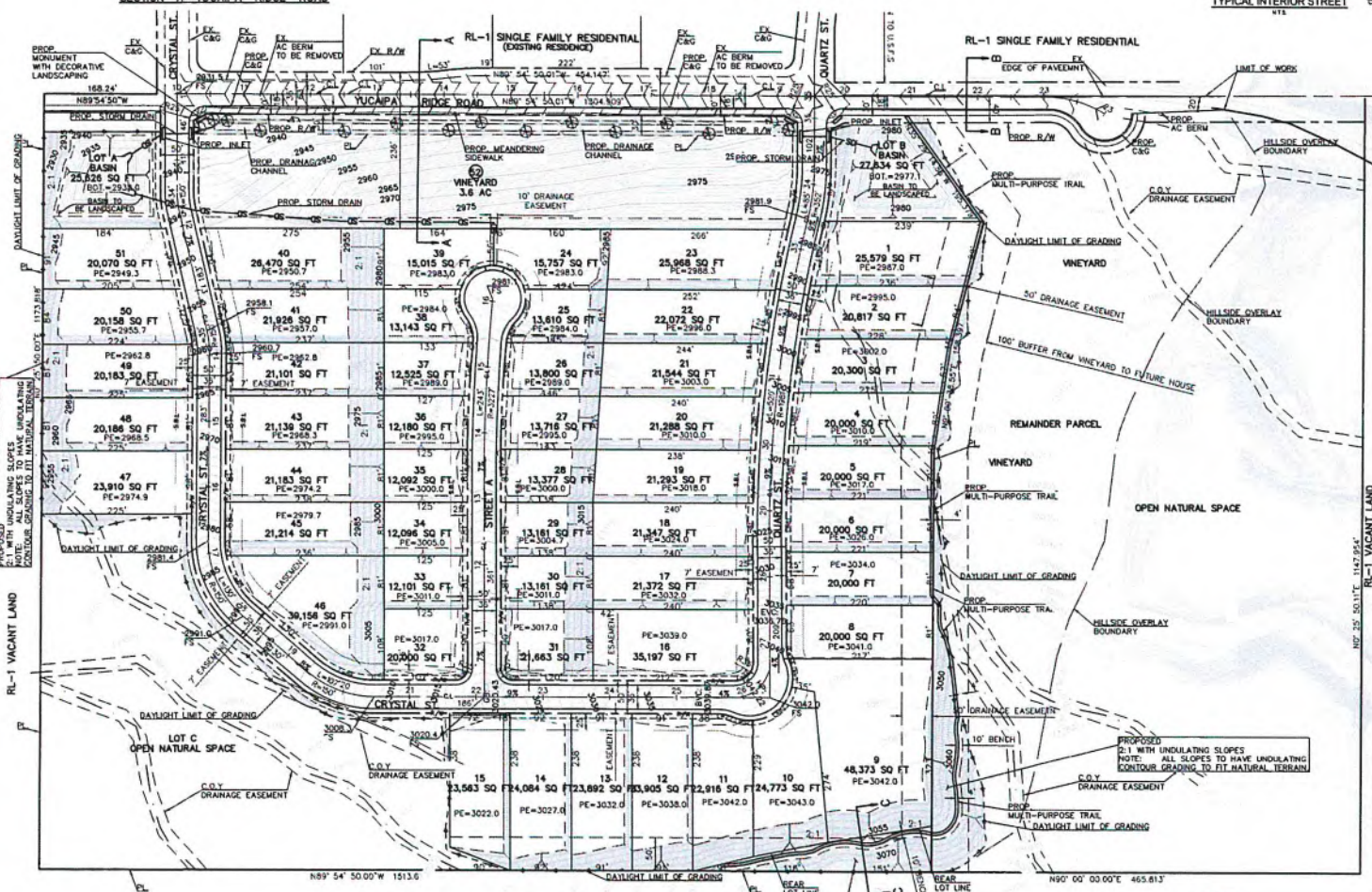
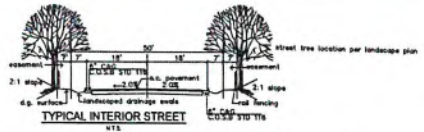
Giancarlo Ganddini, TE, PTP  
Principal



<b>LAND USE PLAN</b>	
Case No. 20-136/PDP/TTM 20375 - PD Map Package	
Prepared By:	
	<b>SHEET</b> 1 of 5 <b>SHEETS</b>



IN THE CITY OF YUCAIPA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA  
**TENTATIVE TRACT MAP NO. 20375**  
 SERRANO ESTATES SUBDIVISION  
 FOR SINGLE FAMILY PURPOSES



**PROJECT NOTES**  
 REPRESENTATIVE PREMIUM LAND DEVELOPMENT 543 W COUNTY LINE RD. CALIMESA, CA 92320 951-355-1665  
 APPLICANT/OWNER YUCAIPA 52 LLC 2004 VISTA AVE. MONROVIA, CA 91016

**LEGAL DESCRIPTION**  
 THAT PORTION OF YUCAIPA VALLEY COLONY SUBDIVISION NO. 2, AS PER PLAN RECORDED IN BOOK 14, OF MAPS, PAGE 75, RECORDS OF SAN BERNARDINO COUNTY, DESCRIBED AS FOLLOWS:

APN 0320-161-08: THE NORTH 636.7325 FT. AND WEST 1183 FT. OF THE NORTH 1/2 NW 1/4 SEC 19 TOWNSHIP 15 RANGE 1W  
 APN 0320-161-09: THE WEST 1183 FT. OF THE NORTH 1/2 NW 1/4 SEC 19 TOWNSHIP 15 RANGE 1W, EXCEPT THE NORTH 636.7325 FT.  
 APN 0320-161-20: THE WEST 1183 FT. OF LOT 1 BLOCK B MEASURED TO THE CENTERLINE BRYANT ST. (YUCAIPA RIDGE ROAD). BRYANT ST 17.2 AC M/A.

**ASSESSORS PARCEL NUMBER**  
 0320-161-08, 09 & 28  
 SITE ADDRESS YUCAIPA RIDGE ROAD

**GENERAL PLAN DESIGNATION**  
 RURAL RESIDENTIAL (RL-1) 1 ACRE MINIMUM LOT SIZE (NO CHANGE PROPOSED)  
 PLANNED DEVELOPMENT APPLICATION TO ESTABLISH MODIFIED DEVELOPMENT STANDARDS  
 PLANNED DEVELOPMENT LAND USE PLAN TO ESTABLISH SINGLE FAMILY RESIDENTIAL, RURAL RESIDENTIAL & OPEN SPACE DESIGNATIONS.

**PROPOSED PROJECT**  
 THE PROJECT CONSISTS OF 51 (12,000 SF MIN) SINGLE-FAMILY DWELLINGS ON 52.02 GROSS ACRES WITH 41 LOTS (12,000 SF MIN) TO BE SOLD TO HOUSING DEVELOPERS WITH AT LEAST ONE SENIOR CITIZEN OR QUALIFYING RESIDENT, AND TWO LOTS, LOT 52 AND A REMAINDER PARCEL, THAT WILL BE PLANTED WITH VINEYARDS BY YUCAIPA RIDGE VINEYARDS, WHICH WILL BE IN CONJUNCTION WITH A CURRENT YUCAIPA VINEYARD.

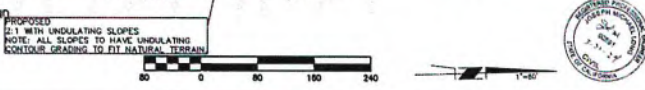
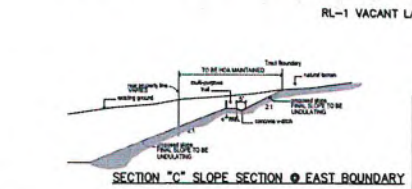
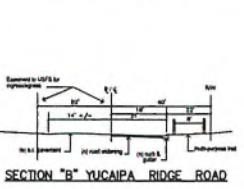
**STATISTICAL SUMMARY**  
 LOT AREA (SQ.FT.): 2,255,991 S.F.  
 GROSS ACRES: 52.02 AC  
 TOTAL LOTS: 51  
 NEW PUBLIC STREETS LENGTH: 3,155 LF.

**RESIDENTIAL ACREAGE**  
 27.18 ACRES  
**OPEN SPACE ACREAGE**  
 24.84 ACRES

- NOTE:**
- NO REGULATED TREES OR PLANTS EXIST ON SITE.
  - NO PORTION OF THE SITE IS SUBJECT TO A FLOOD HAZARD OR OVERLAY.
  - THE TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVER.
  - HISTORICAL OFFER OF GRANT FROM ADJACENT PROPERTIES IS ACCEPTED BY THE PROJECT SITE AND IS TRANSMITTED THROUGH THE PROJECT.
  - ALL STREETS AND UTILITIES TO BE PUBLIC.
  - THE AVERAGE SLOPE OF FEASIBLE ACCESS ROUTE AND FEASIBLE BUILDING DRIVES IS 2.1%.
  - NO ABOVE/BELOW GROUND STRUCTURES EXIST ON SITE.
  - SUBDIVISION TO BE RECORDED AS A SINGLE PHASE.
  - LOT SF CALCULATED TO 0.1 OF STREET.

**UTILITY PURVEYORS**

**WATER:** YUCAIPA VALLEY WATER DISTRICT 12770 2ND ST. YUCAIPA, CA 92399  
**GAS:** SOUTHERN CALIFORNIA GAS COMPANY 1881 W LUOMA AVENUE REDLANDS, CA 92374 909-335-7854  
**SEWER:** YUCAIPA VALLEY WATER DISTRICT 12770 SECOND STREET YUCAIPA, CA 92399 909-792-5818  
**ELECTRIC:** SOUTHERN CALIFORNIA EDISON COMPANY P.O. BOX 287 REDLANDS, CA 92373 909-675-6420  
**PHONE:** VERIZON 1980 GRANGE TREE LAND REDLANDS, CA 92373 909-756-7777  
**CABLE:** FRONTIER P.O. BOX 3003 REDLANDS, CA 92373



PREPARED UNDER THE SUPERVISION OF: *[Signature]*

DATE: 11/12/2012

DATE	BY	REVISIONS	APPROVAL

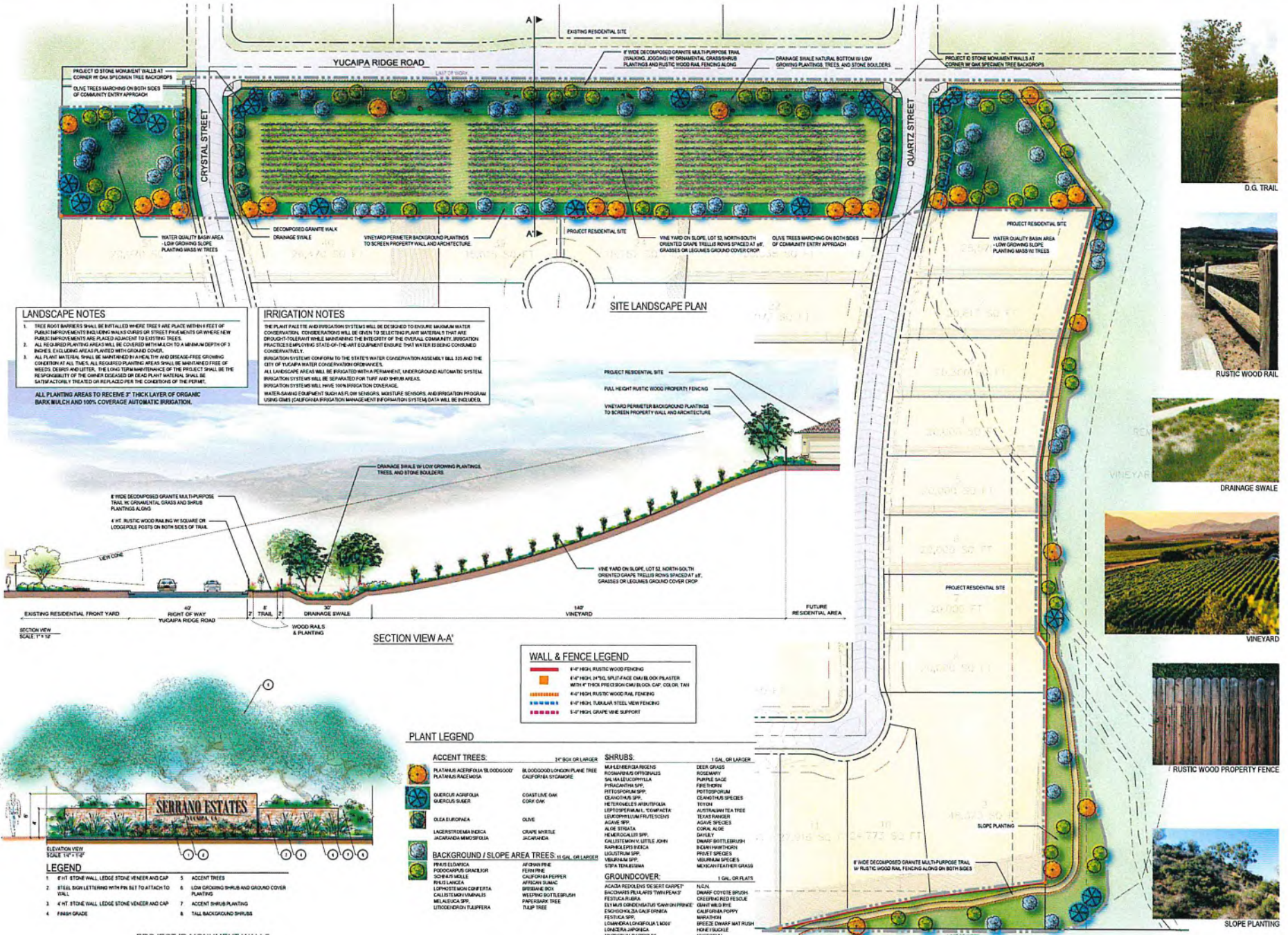
**CITY OF YUCAIPA**  
 APPROVED \_\_\_\_\_ 20\_\_  
 BY: \_\_\_\_\_

**TENTATIVE TRACT MAP NO. \_\_\_\_\_**

**SHEET 1**  
 OF 1

PREPARED FOR: \_\_\_\_\_





**LANDSCAPE NOTES**

1. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 4 FEET OF PUBLIC IMPROVEMENTS INCLUDING CURBS OR STREET TIE INS AND WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES.
2. ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. ELEVATION AREAS PLANTED WITH GRASS AND COVER.
3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND DISEASE-FREE GROWING CONDITION AT ALL TIMES. ALL REQUIRED PLANTING AREAS SHALL BE MAINTAINED FREE OF WEEDS, DEBRIS AND LITTER. THE LONG TERM MAINTENANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER. DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

ALL PLANTING AREAS TO RECEIVE 3" THICK LAYER OF ORGANIC BARK MULCH AND 100% COVERAGE AUTOMATIC IRRIGATION.

**IRRIGATION NOTES**

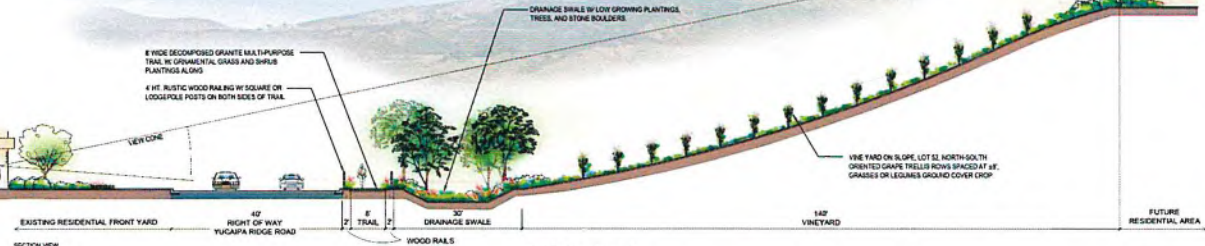
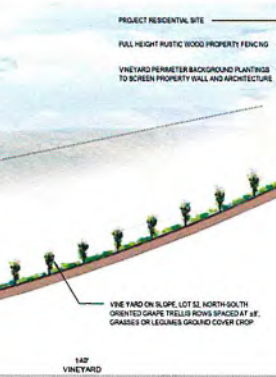
THE PLANT PALETTE AND IRRIGATION SYSTEM WILL BE DESIGNED TO ENSURE MAXIMUM WATER CONSERVATION. CONSIDERATIONS WILL BE GIVEN TO SELECTING PLANT MATERIALS THAT ARE DROUGHT-TOLERANT WHILE MAINTAINING THE INTEREST OF THE OVERALL COMMUNITY. IRRIGATION PRACTICES EMPLOYING STATE-OF-THE-ART EQUIPMENT ENSURE THAT WATER IS BEING CONSUMED CONSERVATIVELY.

IRRIGATION SYSTEMS CONFORM TO THE STATE'S WATER CONSERVATION ASSEMBLY BILL 322 AND THE CITY OF YUCAIPA WATER CONSERVATION ORDINANCES.

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A PERMANENT, UNDERGROUND AUTOMATIC SYSTEM. IRRIGATION SYSTEMS WILL BE SEPARATED FROM OFF AND WINDUP AREAS. IRRIGATION SYSTEMS WILL HAVE 100% IRRIGATION COVERAGE.

WATER SAVING EQUIPMENT SUCH AS FLOW SENSORS, MOISTURE SENSORS, AND IRRIGATION PROGRAM LOGS (MSI CALIFORNIA IRRIGATION MANAGEMENT INFORMATION SYSTEM DATA) WILL BE INCLUDED.

**SITE LANDSCAPE PLAN**

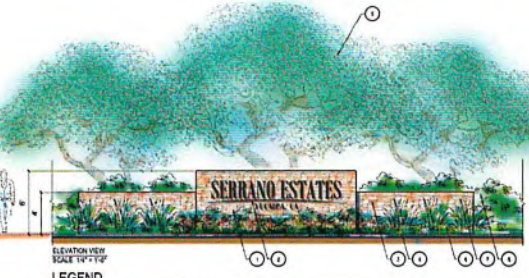


**WALL & FENCE LEGEND**

- 4" HIGH PLASTIC WOOD FENCING
- 4" HIGH 1/2" SPIFF FACE OAK BLOCK PLASTER WITH 4" THICK FIVE CORN OAK BLOCK CAP, COLOR TAN
- 4" HIGH RUSTIC WOOD RAIL FENCING
- 4" HIGH RUMBLE STEEL VIEW FENCING
- 4" HIGH GRAPE VINE SUPPORT

**PLANT LEGEND**

ACCENT TREES: 1/2" BOX OR LARGER	SHRUBS: 1 GAL. OR LARGER
PLATANUS ACERIFOLIA BR. OODORATA	BE. EVERGREEN ARDISIA
PLATANUS RACEMOSA	ROSAWINDUS OFFICINALIS
QUERCUS AGROFOLIA	SAL. MALACOPHYLLA
QUERCUS SUBER	PERILOBIUM SPP.
OLEA EUROPEA	CE. ANONACEA SPP.
LEUCOSTRONGYLOIDES	HE. TERNstroemia
JACARANDA MINOIFOLIA	LEUCOPHYLLUM FRUTESCENS
	AGAVE SPP.
	ALOE STRIATA
	HEMEROCALLIS SPP.
	CALLISTEMANI LITTLE JOHN
	BARBERA LIPS BACCA
	VERBENA SPP.
	STIP. TERRESTRIS
	DEER GRASS
	ROSEMARY
	PURPLE SAGE
	PERITOMUM
	CE. ANONACEA SPECIES
	TOYON
	ALSTROEMERIA TEA TREE
	TEXAS RANGER
	AGAVE SPECIES
	CORAL ALOE
	DMITRY
	DMITRY BOTTLEBRUSH
	BEACH WARTHOSE
	PIRETE SPECIES
	VERBENA SPECIES
	MESQUITE/FEATHER GRASS
	1 GAL. OR FLATS
	N. CAL.
	DMITRY COYOTE BRUSH
	CELESTINE PEPPER
	GRANT WILD RYE
	CALIFORNIA POPPY
	SPECIES DMITRY WAT RUSH
	HOPE JASMINE
	MYOPORUM
	STEM JASMINE
	ASIANIC JASMINE
	PERUVIAN



**LEGEND**

1. 4" FT. STONE WALL, LEDGE STONE VENEER AND CAP
2. STEEL SIKKELTERRING WITH PM SET TO ATTACH TO WALL
3. 4" FT. STONE WALL, LEDGE STONE VENEER AND CAP
4. FRESH GRADE
5. ACCENT TREES
6. LOW GROWING SHRUBS AND GROUND COVER PLANTING
7. ACCENT SHRUB PLANTING
8. TALL BACKGROUND SHRUBS

**SERRANO ESTATES | Preliminary Landscape Plan - Trail and Vineyard Areas**

TTM 20375, Yucaipa, CA | February 13, 2022

SCALE: 1" = 40'-0"

FEBRUARY 14, 2023



February 23, 2022

Attn: Benjamin Matlock  
City of Yucaipa – Planning Division  
34272 Yucaipa Blvd  
Yucaipa, CA 92399

RE: Case No. 22-150/PDP/FDP/TTM 20375 - Letter of Intent and Age-Restriction Information

Mr. Matlock,

Premium Land Development, on behalf of Yucaipa 52, LLC, is proposing a Planned Development (PD) and Tentative Tract Map (TTM) application to subdivide the subject 52.02-acre parcel (APN: 0320-161-08 & 09, and 0320-181-28) into 51 low density residential lots and a 52<sup>nd</sup> lot and remainder parcel that will be restricted to agricultural uses consistent with the base RL-1 Land Use District. Additionally, the project proposes to covenant 41 of the 51 lots (80%) to be sold to senior citizens or qualifying residents aged 55 or older. Pursuant to Civil Code Section 51.3, an additional restriction will be placed on the target units that will establish a temporary occupancy for guests not to exceed 60 days. Further, the proposed project is consistent with Civil Code Section 51.3 and will be compliant with any additional restrictions required by State Law. It is the intent of Yucaipa 52, LLC to create a high-quality place to live for the various community demographics by utilizing the flexibility permitted by the Planned Development application to establish site-specific development standards that reflect the rural and well-articulated design themes of the underlying Rural-Living (RL-1) and Custom Home Overlay (CHO) Land Use Districts.

It should be noted that the Serrano Estates Residential Development does not propose a General Plan Amendment to change the land use designation of the site, but rather, a PD application to establish development standards independent of the underlying land use districts while retaining the maximum housing density permitted by the RL-1 Land Use District to create a Project of high quality that respects the natural environment more adequately than the previously-approved entitlement for this property (TTM 14297).

Modifications to the development standards include setbacks and minimum lot size. The Serrano Estates Residential Development proposes 12,092 square foot minimum lot sizes, 25-foot front yard setbacks, and 10-foot and 5-foot side yard setbacks within Planning Area "B" (Low Density Residential). It should be noted that pursuant to Development Code Section 84.040501, "Locational Requirements," the CHO District is appropriate when it will serve to protect and enhance the rural residential neighborhood on single family lots that are at least 20,000 square feet in area. Lots 24-30 and 33-39 range in size from 12,092 to 15,757 square feet; therefore, it is our opinion that the CHO requirements should not apply to lots within Planning Area "B." Realizing the value of the CHO District and its efforts to protect the rural

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543 W. County Line Rd.  
Calimesa, CA 92320  
909.335.1665

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character of the area, the Serrano Estates Residential Development will retain the themes of the CHO District to the greatest extent feasible.

***Changes from Previous Project Case No. 20-136/PDP/FDP/TTM 20375***

While the proposed Project is generally similar to the previous Project (Case No. 20-136/PDP/TTM 20375), there are some key differences that should be noted. The parkway along Yucaipa Ridge Road has been revised to include Lot 52 that will be restricted to agricultural uses, which creates a larger buffer between the existing residences to the west and the proposed development than otherwise provided by the previous design. The entirety of the residential land uses falls under Planning Area B – Low Residential, however, 41 of the 51 lots will be covenanted as age-restricted units. Standards for the age-restricted lots are the same for the non-age restricted lots. Among other things, there were changes to the quantities of grading and inventory of land within each land use district.

If you have any questions regarding this development project or need any additional information, please contact me.

Sincerely,

Travis Heaps  
Senior Planner  
Premium Land Development  
(909)335-1665



# Preliminary Planned Development Report

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## Serrano Estates

Residential Development  
Tentative Tract 20375

February 21, 2022

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City of Yucaipa

Prepared for:  
Yucaipa 52, LLC  
2044 Valle Vista Avenue  
Monrovia, CA 91016

Prepared by:  
Premium Land Development  
543 W. County Line Rd  
Calimesa, CA 92320

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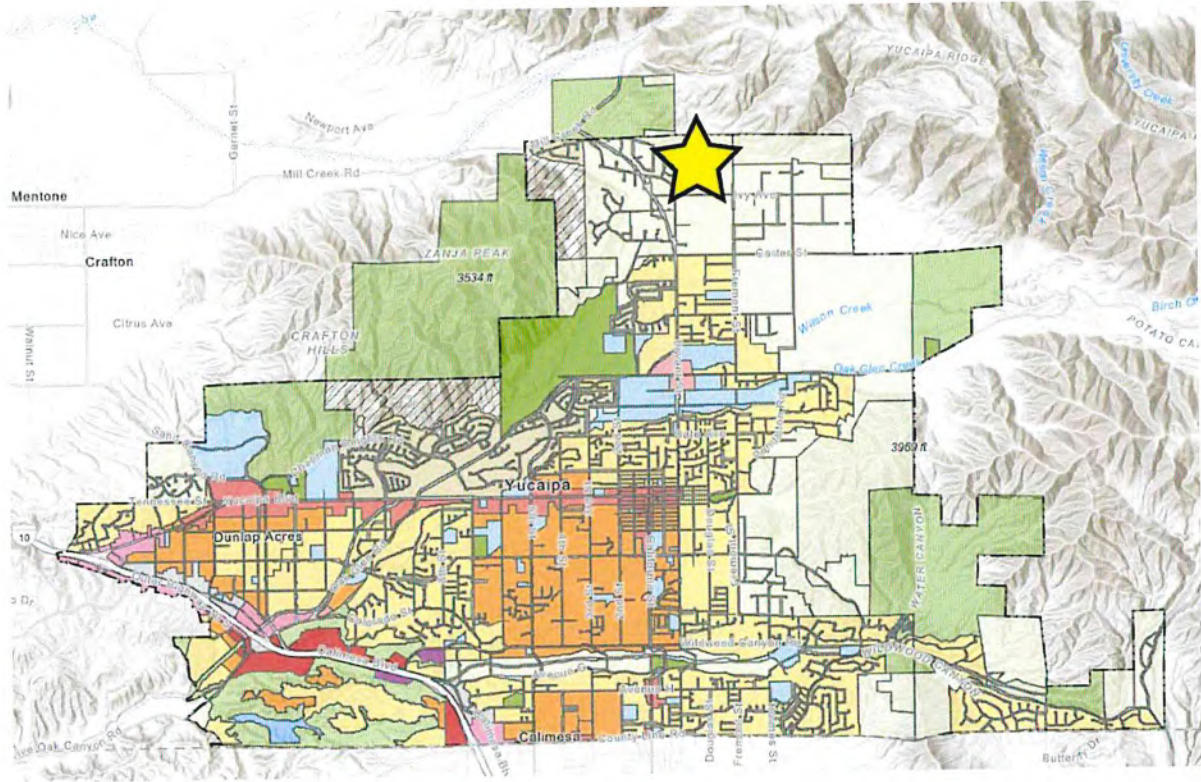
## **1.1 INTRODUCTION**

Serrano Estates is a proposed residential development that harmoniously blends residential with the natural environment. The Project consists of 51 single-family dwellings on 52.02 gross acres with 41 residential lots to be sold to households with at least one senior citizen or to qualifying residents, 10 residential lots that will have no age restriction, and two lots, Lot 52 and a remainder parcel, that will be planted with vineyards by Yucaipa Ridge Vineyards, which will be in conjunction with a local vintner. Additional details regarding the senior age-restriction can be found in section 2.3 "Housing." The proposed Project is designed to be consistent with the existing, rural development pattern surrounding the site and will create a high-quality environment. The future development will be consistent with the City of Yucaipa's regulations for land use, infrastructure, utilities, and public services; and construction will be consistent with the current version of the California Building Code (CBC).

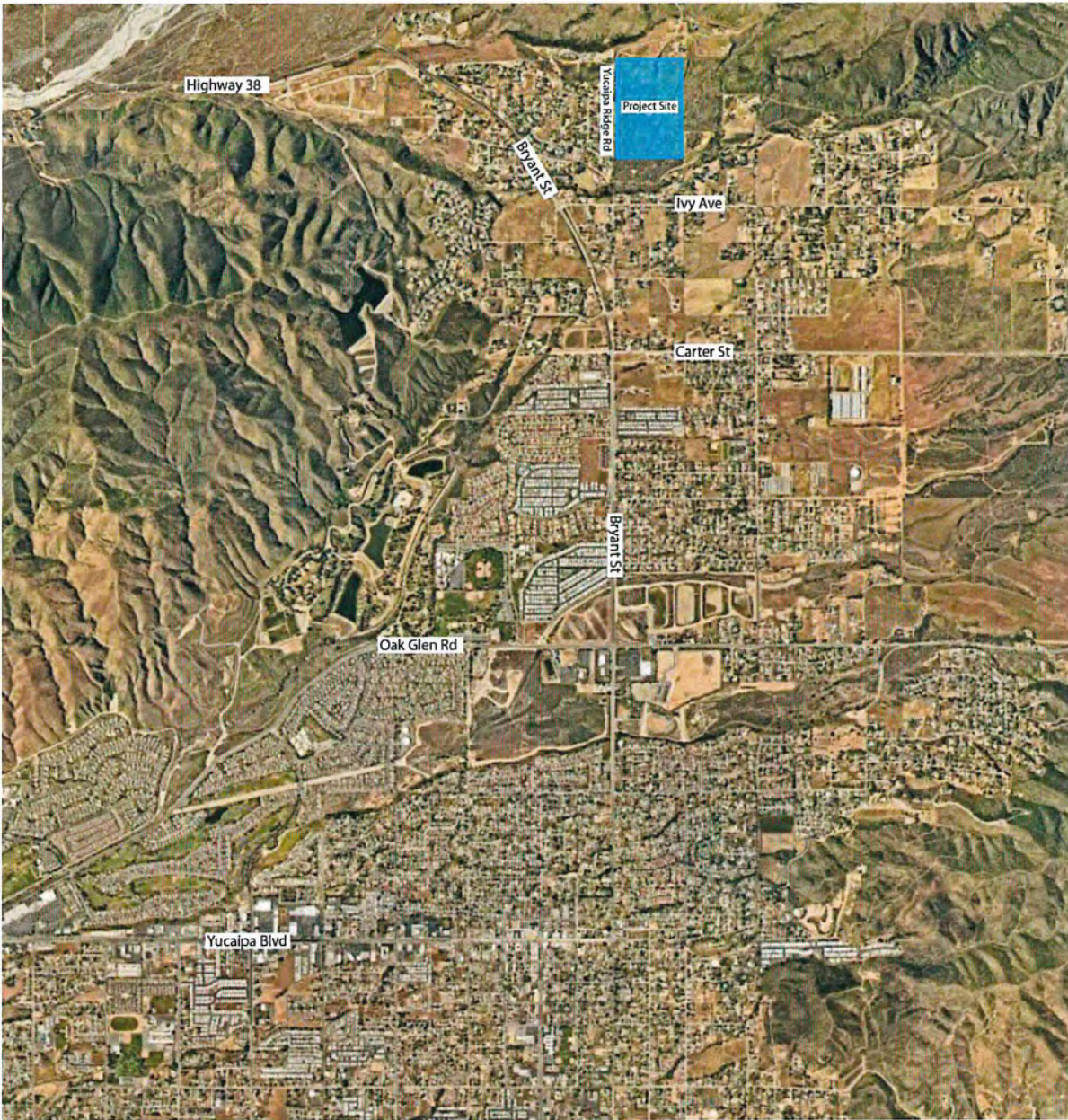
## **1.2 PROJECT LOCATION**

The Project site is comprised of three contiguous, rectangular-shaped properties located along Yucaipa's northern city limits and sits at the base of the San Bernardino Mountains, neighboring the San Bernardino National Forest. The site consists of one small bluff along the northern boundary of the property with the remaining land categorized as gentle rolling land that slopes from northeast to southwest, and two natural drainage channels traversing the site from northeast to southwest. Existing vegetation onsite consists of scattered trees and dense shrubs. The subject property is accessible from Yucaipa Ridge Road that runs north and south and is intersected by Quartz Street and Crystal Street.





**CITYWIDE GENERAL PLAN MAP – EXHIBIT 1**



VICINITY MAP – EXHIBIT 2

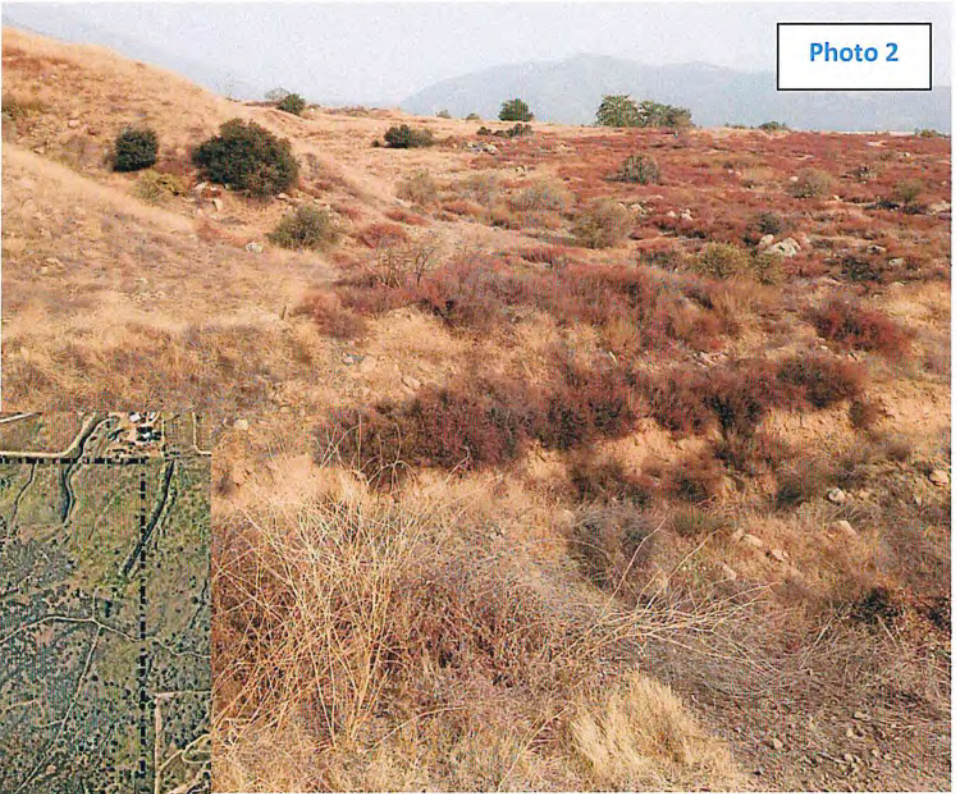
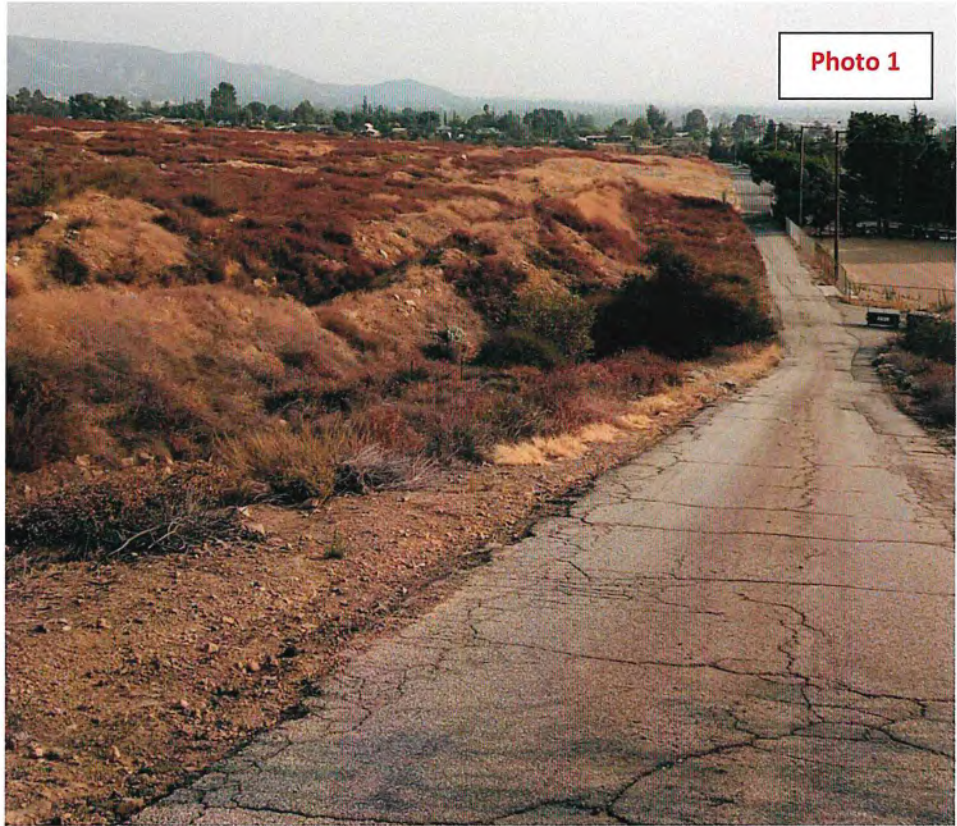




Photo 3

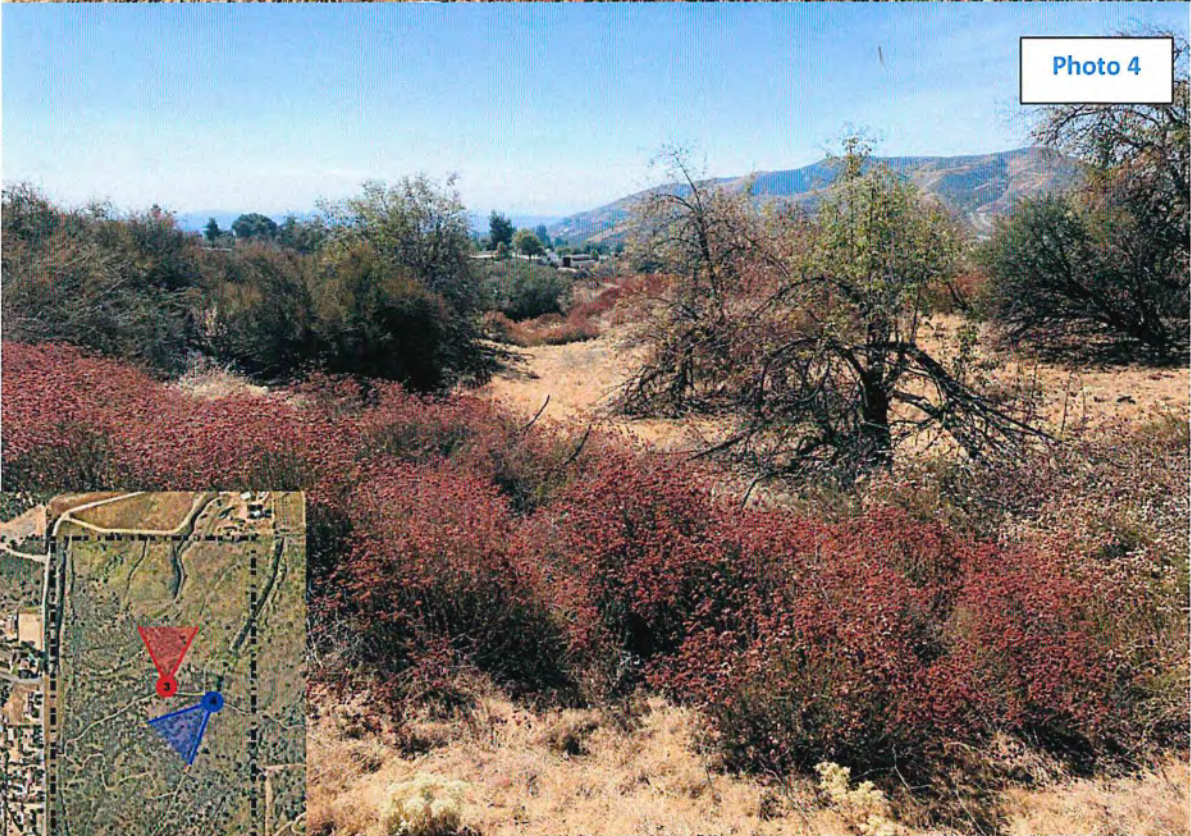


Photo 4



Photo 5



Photo 6

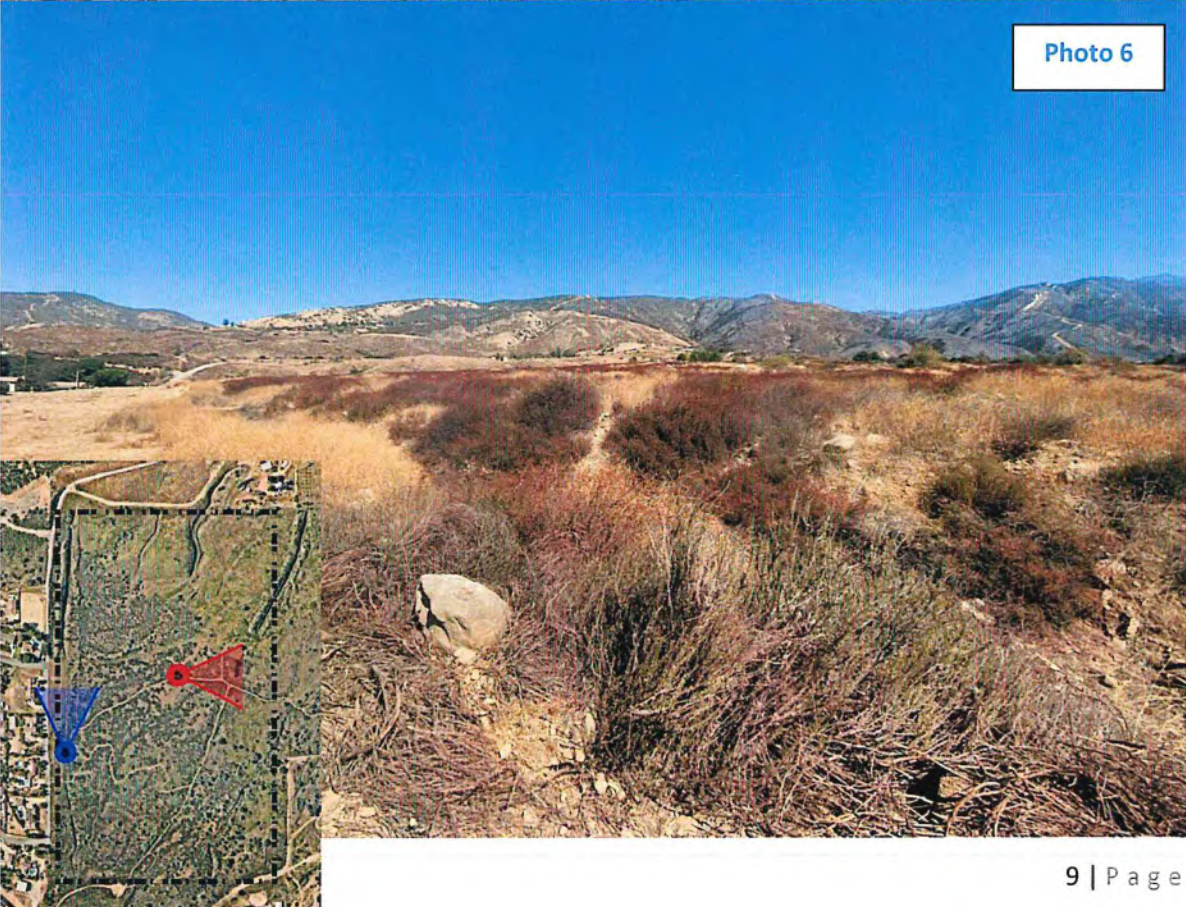




Photo 7



Photo 8



### **1.3 LEGAL DESCRIPTION**

That portion of Yucaipa Valley colony Subdivision No. 2, as per plat recorded in Book 16, of Maps, Page 75, Records of San Bernardino County, described as follows:

APN: 0320-161-08:

The North 636.7325 ft. and West 1163 ft. of the North ½ NW ¼ NW ¼ SEC 19 Township Range 1W

APN 0320-161-09:

The West 1163 ft. of the North ½ NW ¼ SEC 19 Township 1S Range 1W, Except North 636.7325 ft.

APN 0320-161-20:

The West 1163 ft. of Lot 1 Block B measured to the centerline of Bryant St. (Yucaipa Ridge Road). BRYANT ST 17.2 AC M/L.

### **1.4 PROJECT CONTEXT**

The project site consists of three contiguous parcels, Assessor's Parcel Number 0320-161-08, 09 and 0320-181-28, which totals 52.02 gross acres in size, inclusive of all street improvements and open space. The City of Yucaipa's General Plan Land Use Designation for the subject properties is RL-1 (Rural Living, 1 gross-acre minimum lot size), and the properties are located within the Custom Home and Hillside Overlay Districts. A Tentative Tract Map (TTM 14297) was previously approved by the County of San Bernardino on October 10, 1989, and by the City of Yucaipa on August 21, 1991, and then revised on February 19, 2003 to include a Not-A-Part parcel and 33 single-family lots ranging in size of 1.0 acres to 1.17 acres. TTM 14297 would go through a series of Extension of Times and Timely Filings; however, in 2022 TTM 14297 expired.

The proposed Serrano Estates Residential Development has a proposed gross density of 0.98 dwelling units per acre for a total of 51 units that will be constructed on lots that vary in size from 12,092 square feet to 48,373 square feet. Lot 52 and a remainder parcel will provide approximately 12 acres of developable area that will be planted with vineyards by Yucaipa Ridge Vineyards, which will be in conjunction with a local vintner. The RL-1 Land Use District, Custom

Home Overlay District, and Hillside Overlay Districts are established to provide for new and existing residential neighborhoods with lower densities that emphasize well-articulated architectural design while also recognizing the importance of protecting prominent hillside resources. Land use designations with one-acre minimum lot sizes are typically located at the peripheral suburban areas and in transition to hillsides and steeper topography.

The RL-1 designation spans the entire 52.02 acres of the Project site. Based on the applicable housing density permitted by the RL-1 zoning, a total of 52 units are allowed on the 52.02 gross acres site. In an effort to concentrate development into a relatively condensed portion of the property to preserve natural resources while establishing agricultural operations, the Planned Development application is proposed. The Planned Development is used to accommodate lot sizes less than the 1-acre minimum while maintaining the allowable housing density ratio permitted by the RL-1 Land Use District.

Concurrently filed with the proposed Planned Development is Tentative Tract 20375, serving to implement the subdivision element of the Serrano Estates Planned Development. Tentative Tract 20375 consists of a 51-lot residential subdivision with a minimum gross lot size of 12,000 square feet for residential lots within Planning Area B, consistent with the lot area requirements established by the development standards of the Serrano Estates Planned Development. Access to the lots will be provided by extending Quartz Street and Crystal Street east and into the project site to loop through the residences and connect back to Yucaipa Ridge Road. At the convergence of the Quartz and Crystal Street road extensions a new road will be created that extends west with a cul-de-sac at the terminus. To provide the community with a recreational amenity, a meandering multipurpose trail is proposed along Yucaipa Ridge Road and portions of the Quartz Street road extension. Two landscaped detention basins are proposed to accommodate increased stormwater flows onsite; one basin located west of Lot 1 and another basin west of Lot 47, both contiguous to Yucaipa Ridge Road. A Homeowners Association will be formed to maintain the Project's interior streetscape, landscaped detention basins, and portions of the multipurpose trail. The proposed Project is designed for the construction of single-family residences by a homebuilder as a complete residential project with each lot sold individually to

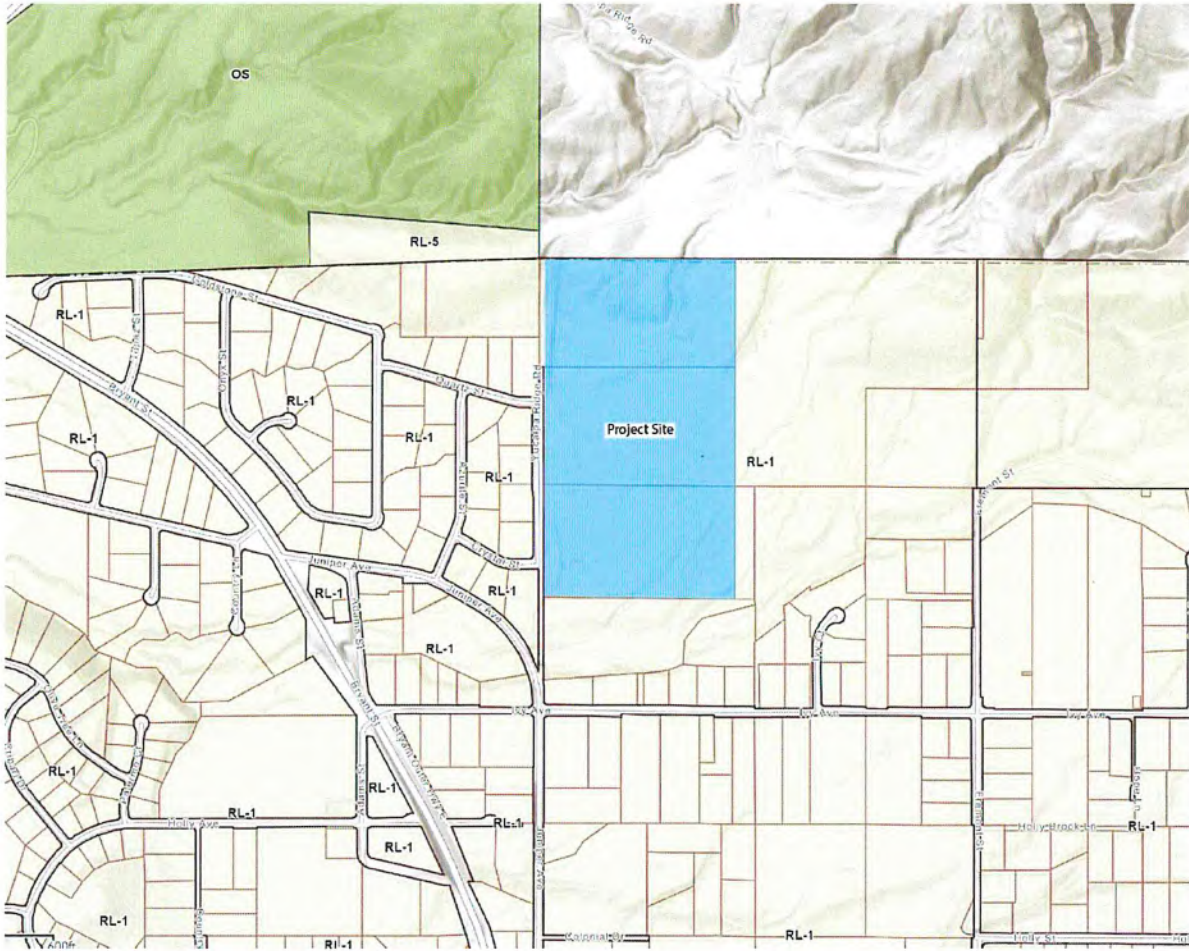


homeowners, and two lots, Lot 52 and a remainder parcel, that will be planted with vineyards by Yucaipa Ridge Vineyards, which will be in conjunction with a local vintner. No residential or commercial development may occur within Planning Areas A or C.

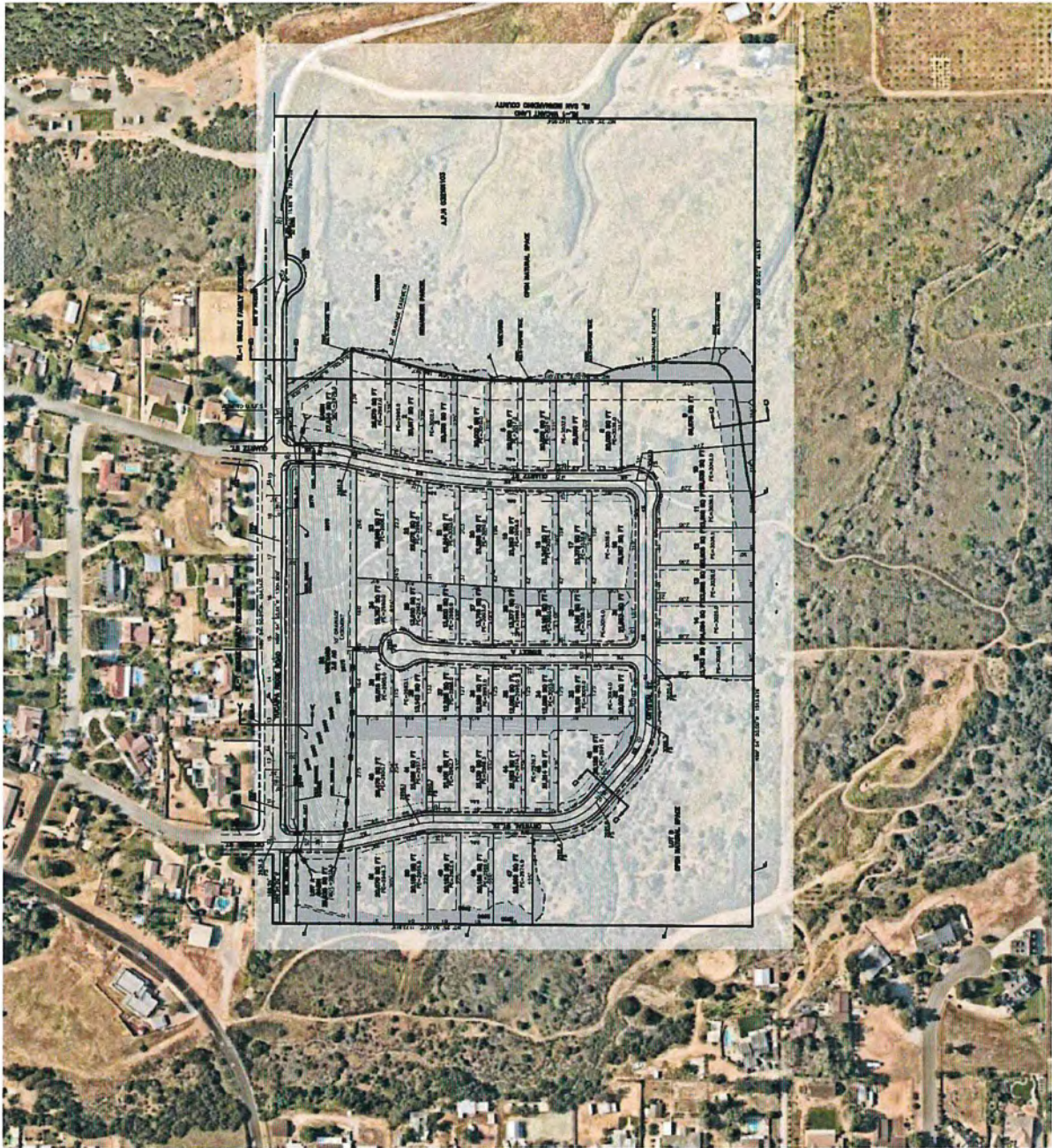
<b>Proposed Development Tabulation – Land Use</b>			
<u>Land Use Areas</u>	<u>Designation</u>	<u>District Size</u>	<u>Housing Density</u>
Planning Area A	Agricultural	12 acres	No dwellings
Planning Area B	Low Residential	27 acres	1/12,000; 51 du
Planning Area C	Natural Open Space & Open Space	13 acres	No dwellings
<b>Street Improvements</b>			
Total Lineal Feet of New Streets		3,155 lf	
Total Grading (Cubic Yards)		156,741 cu yd cut; 150,729 cu yd fill	
<b>Population and Student Generation</b>			
Total Population Generated*		112 people	
Total Students Generated**		11 students	

\*Calculated by multiplying City of Yucaipa US Census 2021 5-Year Estimates for average household size by number of dwellings proposed by development. A representative 2-person household was used for the senior units.

\*\*Calculated average household composition of persons 18 years of age or younger by the total population generated from the 10 non-age-restricted lots.



**SITE SPECIFIC GENERAL PLAN MAP – EXHIBIT 4**



**BASE MAP – EXHIBIT 5**

## 1.5 PROJECT PHASING

Recordation and bonding for Tentative Tract Map 20375 for the Serrano Estates Residential Development will be completed in one phase. The developer will complete the rough and precise grading to establish the building pads, construct the driveway drainage facilities, install public utility infrastructure, install landscaping, and construct all homes and site improvements. It is estimated that improvement plans will be completed by February 01, 2022, and the Final Map will be ready to record at that time. Based on these assumptions, below is the anticipated construction schedule.

<b>Anticipated Construction Schedule</b>	
<u>Timeframe</u>	<u>Work Completed</u>
April 15, 2023 – May 15, 2023	Install all plantings on Lot 52 and Remainder Parcel.
July 15, 2023 – August 31, 2023	Commence grading of rough pads, cut streets, and prepare the site for utility installation.
August 31, 2023 – October 01, 2023	Install all water, sewer, and dry utilities both onsite and offsite.
October 15, 2023 – December 31, 2023	Install all curb, gutter, paving streets, and other street improvement related items.
January 01, 2024 – March 15, 2024	Install all perimeter fencing and landscaping along Yucaipa Ridge Road.
August 31, 2023 – October 01, 2023	Install detention basins.
January 15, 2024 – March 31, 2024	Form and install pads for all houses and install multipurpose trail and fencing.
March 15, 2024 – June 01, 2024	Commence construction of houses and landscaping as they are built. Build out and last home sale anticipated by April, 2025.

## 2.1 CONSISTENCY WITH THE GENERAL PLAN

As required by state law, this section provides an assessment of consistency with the goals and objectives of the current City of Yucaipa General Plan. The framework for this assessment is the list of the City’s goals and objectives drawn from the Land Use, Housing, Conservation, Open Space, Noise and Safety Elements where applicable. The goals and objectives are presented below along with the proposed community’s conformance to these goals and objectives.

The Serrano Estates Residential Development shall serve to implement the following General Plan Goals:

## 2.2 LAND USE

**Goal CDL-1 (Land Use Mix): “A community with adequate sites for housing, parks, business, and institutional uses that meet local need for housing, employment, recreation, and services.”**

*Policies (CDL 1.1 – Places to Live):*

*Provide sites for a range of housing types, locations, and densities in a variety of neighborhood settings equipped with amenities that support a high quality of life.*

*Policies (CDL1-4 – Places for Recreation and Conservation)*

*Provide parks, recreational facilities, and multi-functional open spaces in sufficient quantities and in a manner that is consistent with the Emerald Collar articulated in the Parks, Recreation, Trails, and Open Space Element.*

*Policies (CDL1-5 – Transportation System)*

*Develop and maintain a transportation system that is closely coordinated with land use planning decisions, moves people and goods efficiently and safely, and is designed to accommodate and promote scenic viewsheds.*

*Policies (CDL 1.8 – Overlay Districts)*

*Require that development projects comply with applicable regulations in the municipal code when the underlying parcels are located within a designated overlay district.*

The Serrano Estates Residential Development shall implement this goal by providing single-family detached housing within the City’s zoning designation that allow up to 52 dwelling units on the site. The area surrounding the project site is of rural character that is defined by large homes on relatively large lots surrounded by natural open space. The parcel sizes within 300 feet

surrounding the proposed development range in size from 0.30 acre to over 10 acres. The developed or pad area of the surrounding parcels vary between approximately 13,000 sq. ft. to 98,000 sq. ft. The pad areas of the project range in size from approximately 11,000 sq. ft. to almost 20,000 sq. ft. with lot sizes between approximately 12,092 square feet and 56,578 square feet, which will allow the Serrano Estates Residential Development to create a development footprint that is consistent with the surrounding neighborhoods.

The Land Use Plan for the Serrano Estates development includes three planning areas: Planning Areas A, B, & C. Uses permitted within the Planning Areas are identified in “Section 3.1 Development Standards” of this report and are generally limited to single-family detached residential units, accessory dwelling units, row, field, tree, and crop cultivation, and accessory uses consistent with the City of Yucaipa’s Development Code Section 84.0510. Planning Area A is intended for future agricultural activities to occur, which include row, field, tree, and nursery crop cultivation. No residential dwelling units may be constructed within Planning Area A. Planning Area A may allow for the construction of accessory structures; however, accessory structures within this planning area will be limited to a combined square footage of 10,000 square feet and will be subject to review and approval by the Planning Commission through the Architectural Review process. Accessory structures constructed within Planning Area A may only be used for the sole purpose of supporting the associated row, field, tree, or nursery crop cultivation activities such as equipment or material storage, and no structures may be used for commercial purposes such as a bar or tasting room. Planning Area B will allow single-family residential units at a maximum housing density of one (1) dwelling unit per one-acre with a minimum lot size of 12,000 square feet. The Project site is 52 gross acres in size, which equates to a Project density of one (1) dwelling unit per one (1) gross acre, which remains consistent with the existing Rural Living Land Use District’s allowable housing density. Uses within Planning Area B will be limited to residential dwelling units and associated accessory uses such as Accessory Dwelling Units, accessory animal raising, or other accessory uses as identified in Section “3.1 General Provisions and Development Standards”. Planning Area C is intended to remain as natural open space with the only improvements permitted within Planning Area C being

multipurpose trails, passive recreation activities, and uses/improvements deemed necessary by the City Engineer. No dwelling units or development footprint can be constructed within Planning Area C.

The proposed Project is located within the Custom Home (CH) Overlay District, which was established with the intention of promoting the compatibility and viability of certain rural residential neighborhoods. The CH Overlay District implements special design standards in order to promote and maintain the development of rural residential land uses exhibiting an excellence of design greater than otherwise could be achieved using conventional development standards. Realizing the value of the CH Overlay District and its efforts to protect the rural character of the area, the Serrano Estates Residential Development will retain the themes of the CH Overlay District to the greatest extent feasible. To retain the development standards of the CH Overlay District, all lots within Planning Areas B will have a 12,000 square-foot minimum lot size, will require all single-family residences to maintain a minimum floor area of 2,200 square feet of habitable space, will require a 400 square foot enclosed garage with a two (2) vehicle capacity, all residences will have a minimum street frontage of 60 feet, and will offer seven (7) distinct Floor Plans and Building Elevations with similar Floor Plan, Building Elevation, and color scheme separated by at least five (5) lots. Planning Area B has been designed to centrally locate the smaller, 12,000 square-foot lots with the half-acre lots located at the periphery of the developable area to create an appropriate transition between the existing one-acre land use pattern to the west and the Serrano Estates Residential Development.

The only proposed Development Standards that are not consistent with the CH Overlay District pertain solely to front and side yard setbacks; however, the Planned Development application allows for flexibility in establishing Development Standards such as setback requirements. To account for the reduced setback and separation between residences, greater emphasis has been placed on the Landscaped Parkway to create a rural atmosphere and provide a visual and physical buffer between the roadway and the residences. Notably, the Landscaped Parkway will include 36 feet of paved roadway, which is consistent with a Typical Interior Street Section; however, in lieu of constructing curb, gutter, and sidewalk that would be required in a typical urban

development, the Serrano Estates Residential Development proposes to construct a concrete header, drainage swale, and a multipurpose trail that is bound by landscaping and rail fencing, which will be maintained by an LLMD. The proposed Landscaped Parkway will encourage passive recreation and the unique street design will reinforce the rural character of the development.

Given the similarities in developable area and pad sizes between the proposed Project and the surrounding residential lots, the large quantities of land dedicated to open space, and by retaining the intent of the CH Overlay District, the Serrano Estates Residential Development will retain the rural values of the area and be compatible with the surrounding neighborhoods and future land uses.

**Goal CDL-2 (Hillsides and Ridgelines): “Preservation of prominent ridgelines and hillsides to protect viewsheds, recreational opportunities, sensitive biological resources, and ecological benefits while allowing development where appropriate.”**

*Policies (CDL 2.2 – Viewshed):*

*Preserve views to and from hillsides and ridgelines to maintain the image and quality of Yucaipa where overlay district apply. Preserve canyons, ridgelines and rock outcrops through regulation of development as appropriate.*

*Policies (CDL 2.3 – Development Projects):*

*Concentrate hillside development in areas with the least environmental impacts. Density, open space, and building design and site planning are to be correlated with steepness of the terrain; allow clustering to maximize open space.*

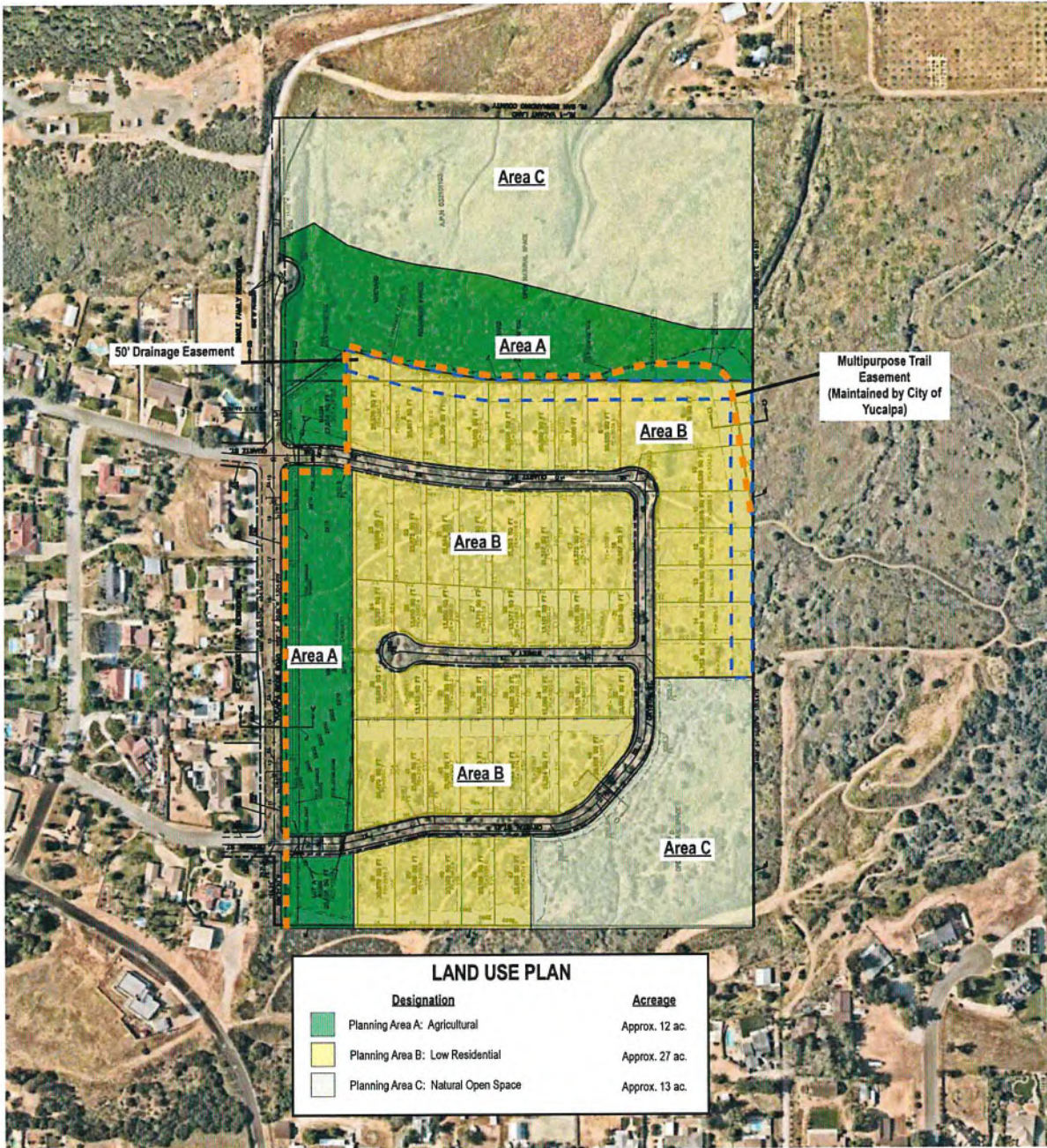
*Policies (CDL 2.7 – Site Planning):*

*Promote land use patterns that are consistent with the slopes, landform, vegetation, and scenic quality of hillsides. Ensure projects fit the natural site topography rather than altering natural topography or features to accommodate a stock pad.*

The Serrano Estates Residential Development will protect the existing hillside resources to the greatest extent possible by locating all residential construction to a condensed portion of the site and outside of the Hillside Overlay District’s boundary. The proposed lot and pad configuration of the development site will also serve to enable the construction of homes similar in size and higher end affordability. The development proposes a public multipurpose trail for the community that connects the Project to the City of Yucaipa’s existing trail system. Lot 52 will be



planted with vineyards and improved with a landscaped drainage channel, which will provide a 170' separation between the Right-Of-Way along Yucaipa Ridge Road and the proposed residential lots. Installation of the necessary plantings and improvements on Lot 52 will be the responsibility of the Project developer with Yucaipa Ridge Vineyards. Any manufactured slopes created by the landscape buffer resulting in slopes that are 2:1 or greater will be landscaped prior to completion of the project, and installation will be the responsibility of the project developer. The entirety of Lot 52 and the remainder parcel will remain as natural open space until an agricultural activity or project related development commences. To assure the landscape buffer will be completed, the City of Yucaipa will require as a Condition of Approval to install all plantings within Lot 52 prior to issuance of Building Permits for any residence associated with the Project.



**LAND USE PLAN – EXHIBIT 6**

## 2.3 HOUSING

**Goal HN-2 (Housing Sites): “Adequate sites through General Plan land use designations and specific plans that provide opportunities for housing in appropriate locations.”**

*Policies (HN 2.4 – North Bench and Wildwood Canyon):*

*Require all new residential development in the North Bench and Wildwood Canyon to be consistent with the custom home overlay, adopted density and development standards, and the rural character of those areas.*

**Goal HN-2 (Housing Design): “Well-designed housing that contributes to property values, is affordable to residents, and is practical and cost-effective to build.”**

*Policies (HN 3.2 – Entitlement Process):*

*Offer flexible entitlement processes that facilitate innovative and imaginative housing solutions yet balance the developer’s need for predictability in the approval process, governmental regulation, and oversight.*

*Policies (HN-3.5 – Overlay Districts)*

*Require adherence to housing-related regulations in the City’s overlay district – hillside, custom home, natural hazards, scenic resources, biological resources, noise, cultural resources, and others, as applicable.*

**Goal ED-5 (Economic Development Program): “Effective local programs and partnerships that support local economic development.”**

*Policies (ED 5.7 – Yucaipa Valley Character):*

*Preserve the scenic qualities and rural characteristics of Yucaipa by discouraging development and land uses that would detract from or degrade these qualities and characteristics and by avoiding investments in infrastructure that would promote such development and land uses.*

The Serrano Estates Residential Development shall implement this goal by utilizing the design flexibility permitted by the Planned Development to maintain the maximum housing density allowed in the RL-1 Land Use District while preserving prominent hillside resources and reducing impacts to the natural drainage courses on site. There is a small bluff that exists along the northern boundary of the project site, which is located within the Hillside Overlay District; however, the Serrano Estates Residential Development has been designed for all residential lots to be located outside of the Hillside Overlay District’s boundaries. The proposed residential development will maintain the existing rural character of the neighborhood by reducing minimum lot size and building setback requirements to provide an ample inventory of land

available for natural open space and potential agricultural uses around the subject residential development. A visual landscaped buffer along Yucaipa Ridge Road will provide a natural transition between the existing residential to the west and the proposed Agricultural and Low Residential Districts to the east. In total, the Serrano Estates Residential Development will dedicate over 13 acres of land as Natural Open Space in perpetuity, and 12 acres as agriculture.

With the goal of retaining the values of the Custom Home (CH) Overlay District, the Project will require large minimum dwelling footprints with a strong emphasis on a well-articulated and diverse design that reflects the rural values of the area. The Serrano Estates Residential Development will achieve this goal by offering a minimum of five (5) architectural styles with seven (7) distinct floor plans that will comply with the City of Yucaipa's Citywide Design Guidelines, and by providing a landscape parkway design that encourages passive recreation and acts as a visual screen from the street to the residences to give the appearance of a more intimate, rural setting. To eliminate the urban feel of a residential tract of homes, the landscaped parkway along Yucaipa Ridge Road has been designed to accommodate a concrete header and multipurpose trail in lieu of the typical curb, gutter, and sidewalk, and the developer will coordinate with the City's Landscape Architect to install tree plantings that are compatible with the surrounding rural atmosphere. The Project also proposes decorative monument signs at the northeast corner of the Yucaipa Ridge Road and Quartz Street intersection and the northeast corner of the Yucaipa Ridge Road and Crystal Street intersection to create an entry statement for residents entering the project that will be designed to match the architectural theme of the project and the rural character of the area.

The Project is designed for both one and two-story homes between 2,600 to 3,750 square feet on lot sizes ranging between 12,092 to 48,373 square feet. With consideration to the home sizes, lot sizes, and the desirable hillside location, the Serrano Estates Residential Development projects new home prices to range between \$700,000 to \$1,200,000. The Project will provide a high-quality place to live for potential residents considered to be in the Above-Moderate Income Category. It is anticipated that the proposed Project will attract white-collar residents who make in excess of \$250,000 per year or retired residents with pensions, savings, and/or passive income.

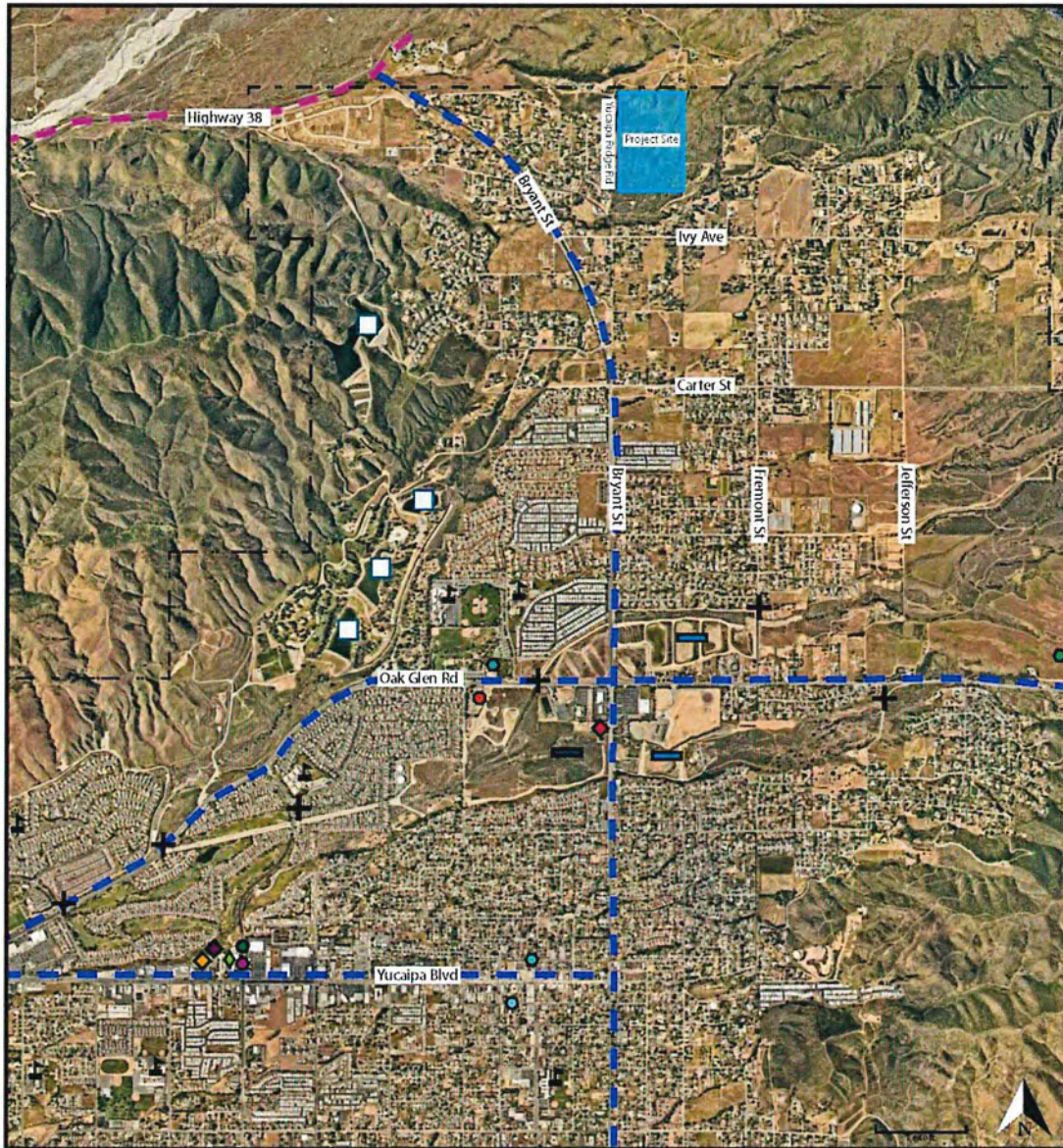
Construction of the homes will be funded through a \$5,275,000 private construction loan and funding through the Statewide Community Infrastructure Program.

41 of the proposed 51 lots, located within Planning Area B, will be covenanted with an age restriction to limit the sale and occupancy of the 41 lots to senior citizens or qualifying residents, and the remaining 10 residential lots may be sold or rented to persons or households of any age. Pursuant to Civil Code Section 51.3, a senior citizen or qualifying resident is defined as a person 55 years of age or older in a senior citizen housing development, and pursuant to the same section, a senior citizen housing development developed for senior citizens that has at least 35 dwelling units. Occupancy of the 41 lots will be age restricted to qualifying residents; however, in addition to the qualifying residents, the units may also be occupied by a permitted health care resident, qualifying permanent resident, or a cohabitant as defined by Section 297 of the Family Code. Temporary occupancy for guests of the senior citizen or qualifying resident will be established for a period not to exceed 60 days in a calendar year for guests under the age of 55 years. It should be noted that the age restriction requirements are derived from California State Law, specifically Civil Code Section 51.3, 51.4, and Family Code Section 297. Any information and/or requirements pertaining to the age restricted housing shall be deferred to the applicable State Law Sections and Yucaipa Development Code.

## **2.4 PUBLIC SERVICES AND FACILITIES**

Since its incorporation in 1989, the City of Yucaipa has experienced extensive growth in their public facilities and critical infrastructure. Public improvement projects completed within proximity to the Serrano Estates Residential Development consists of six (6) major bridges, two (2) detention basins, and an approved detention basin to be constructed in the future. Public facility-wise, the Serrano Estates Residential Development will utilize the Yucaipa Community Center, Eldorado Park, and Yucaipa Performing Arts Center for recreation, the Scherer Community Center for senior-related activities, a fire station, and a civic center along Yucaipa Boulevard that includes City Hall, the police station, the transit center, the library, and the Business Incubator Center. For education, the schools that will serve the proposed development will be Ridgeview Elementary School, Parkview Middle School, and Yucaipa High School. The proposed Project is also within close proximity to a shopping center with a grocery store, drug store, and restaurant on the southeast and southwest corner of Oak Glen Road and Bryant Street. Below is a vicinity map showing the proposed Project site in relation to the existing public facilities and infrastructure.

Proximity to Existing Public Facilities  
 Serrano Estates Planned Development  
 November 10, 2020



**PUBLIC FACILITIES MAP – EXHIBIT 7**

The proposed development shall utilize the following Public Services and Utilities:

A. Fire:

**GOAL S-3 (Fire Safety): A community that implements proactive fire hazard abatement strategies and, as a result, is minimally impacted by wildland and urban fires.**

The California Department of Forestry and Fire Protection (CALfire) will provide fire and life safety services for the residents of the development. The nearest fire stations are Bryant Street Fire Station (1.8 miles) and the Crafton Hills Fire Station (4.3 miles). The Serrano Estates Residential Development has been designed subject to the fire protection and development standards set forth in the Fire Safety Review Area 1 and the most recent versions of the California Fire Code and California Building Code. Development standards incorporated into the project include driveway width, steepness, length, density, fire hydrant spacing, etc. A Fire Flow Analysis was prepared for the Project on October 13, 2020 from the nearest hydrant to the Project site by Krieger and Stewart Engineering Consultants, and the analysis discovered that the fire flow from the hydrant is approximately 850 gallons per minute (gpm). Adhering to the most recent versions of the California Building Code, each new dwelling unit will install a fire sprinkler system, and pursuant to Appendix B of the California Fire Code, the required fire flow for single-family residences installed with a fire sprinkler system is 500 gpm. Therefore, the 840 gpm fire flow rate should be adequate for fire and life safety purposes. Due to the Project being located within a high fire-sensitive area characterized by large quantities of dry brush onsite, a fuel modification plan will be prepared as part of the final map recordation to mitigate potential fire and life safety hazards. An LLMD will be formed to maintain the Project's fuel modification zone within the common Open Space areas within the developed portion of the Project, and maintenance of fuel modification areas on the remainder parcel will be the responsibility of the individual property owner. Landscaping will be consistent with fuel modification requirements while providing appropriate soil erosion mitigation. All residential construction will comply with the building standards established in the Plan as well.



B. Police:

**GOAL PSF-4 (Community Safety): Professional, proactive, and community-oriented police services that maintain the safety of Yucaipa residents, visitors, workforce, and businesses.**

The San Bernardino County Sheriff's Department will be responsible for public safety and general law enforcement for the development. The Department is organized into operational and support functions that provide efficient emergency responses, pro-active enforcement, follow-up investigations of crimes and accidents, apprehension of criminals and preparation for criminal prosecutions, recovery of stolen property, and the prevention of crime through crime prevention efforts in partnerships with the citizens of the community.

C. Schools:

Public school services will be provided by the Yucaipa-Calimesa Joint Unified School District. The following schools will serve the project: Ridgeview Elementary School, Parkview Middle School, and Yucaipa High School. The project will pay impact school fees to mitigate impacts to the school district from additional students generated by the 10 non-age-restricted dwelling units.

D. Utilities:

**GOAL PSF-4 (Community Safety): Reliable, adequate, and safe provision of electric, natural gas, telecommunications, and other similar infrastructure for Yucaipa residents and business.**

Southern California Edison (SCE) will provide electric service to the project area, and the Southern California Gas Company (SoCal Gas) shall provide natural gas service to the project. SCE and SoCal Gas shall extend services to the project in accordance with the rules and polices for extension of service on file with the California Public Utilities Commission.

E. Telecommunication Service:

**GOAL PSF-4 (Community Safety): Reliable, adequate, and safe provision of electric, natural gas, telecommunications, and other similar infrastructure for Yucaipa residents and business.**

Charter-Spectrum will provide internet services to the project area, and Frontier Communications shall provide telephone services to the project area. Charter-Spectrum and Frontier Communications shall extend services to the project in accordance with extension rules

and policies for extension of service on file with the California Public Utilities Commission and the Federal Communications Commission.

F. Solid Waste:

**GOAL PSF-9 (Waste Management): A cost-effective, integrated waste management system that meets or exceeds recycling and waste diversion mandates and community expectations.**

Burrtec Disposal is contracted through the City of Yucaipa to serve the project area and will provide residential curbside waste disposal and recycling services, along with bulky item pickup, e-waste recycling, used motor oil recycling, and Christmas tree pickup services.

G. Water:

**GOAL PSF-4 (Community Safety): Reliable, adequate, and safe provision of electric, natural gas, telecommunications, and other similar infrastructure for Yucaipa residents and business.**

The Yucaipa Valley Water District (YVWD) will supply the development with domestic water service. YVWD is a municipal water company that serves 40 square miles with a sphere of influence totaling 68 square miles, which includes the City of Yucaipa, portions of the City of Calimesa, and some unincorporated areas of the counties of San Bernardino and Riverside. An existing water line spans the length of Yucaipa Ridge Road and will be extended further north and throughout the two proposed streets that connect the Project to Yucaipa Ridge Road to provide adequate water service to the residences and the remainder parcel. Each residential lot will connect individually to their street's respective water line.

H. Wastewater:

**GOAL PSF-4 (Community Safety): Infrastructure that is available and able to sustainably collect, treat, store, reuse, and safely dispose of wastewater for existing and future needs.**

Sewer services are provided by the Yucaipa Valley Water District; however, most residences utilize individual onsite wastewater treatment systems and no sewer mains have been extended into the project area. Therefore, the developer will construct a sewer line in accordance with the codes and standards set forth by the Santa Ana Regional Water Quality Control Board and Yucaipa Valley Water District to provide adequate wastewater treatment services to the Serrano Estates residential development. The new sewer line will connect to the existing sewer line on

Bryant Street by extending the Bryant Street sewer line north to Juniper Avenue, then extending east along Juniper Avenue and through Azurite Street, Crystal Street, and up to the top of Planning Area B. Sewer will then be installed throughout the proposed roadway system connecting the development to Yucaipa Ridge Road with each home having its own individual connection to the sewer line.

**Phasing, Costs, and Financing Methods**

All grading will be completed in the first phase of the development. The wet and dry utilities will be installed next to all lots with street, curb, and gutter to be installed as phasing warrants. All costs associated with extension of water supply infrastructure, and the gas, electric, and communication utilities to the project site are to be borne by the developer. The developer has received a \$5,275,000 private loan, and anticipates all grading, wet utilities, dry utilities, concrete and asphalt work to be funded through this loan. A Statewide Community Infrastructure Program (SCIP) bond will be pursued to cover all off-site improvements and some Development Impact Fees including, but not limited to, water fees, sewer fees, and City of Yucaipa fees. The Project will be subject to school impact fees to mitigate the additional number of students, which will be paid by the developer prior to construction of the single-family residences.

Ongoing maintenance of these facilities will be the responsibility of the purveyor or utility company. No other public facilities or buildings are anticipated to be required as a result of the construction of the proposed development. Below is the anticipated summary of costs.

<b>Anticipated Summary of Costs</b>	
Domestic Water Installation	\$197,000
Domestic Water Impact Fees to YVWD	\$665,600
Sanitary Sewer Installation	\$775,000
Sewer Impact Fees to YVWD	\$421,200
Storm Water Drainage Installation	\$315,000
Offsite Water and Sewer Tie In	\$125,000
Local Utility Installation (Electric, Cable, Television, Gas, etc.)	\$187,500
Public School Fees to YCJUSD	\$294,028
Public Facilities	\$73,394.88
Police and Fire Impact Fees	\$41,594.28
Park Facilities	\$149,417.84



## 2.5 Circulation

**Goal T-1 (A Comprehensive Street Network): A citywide street network that delivers high quality transportation services for all roadway users, allows for emergency access, supports the land use plan, and the character of Yucaipa’s environment.”**

### *Policies*

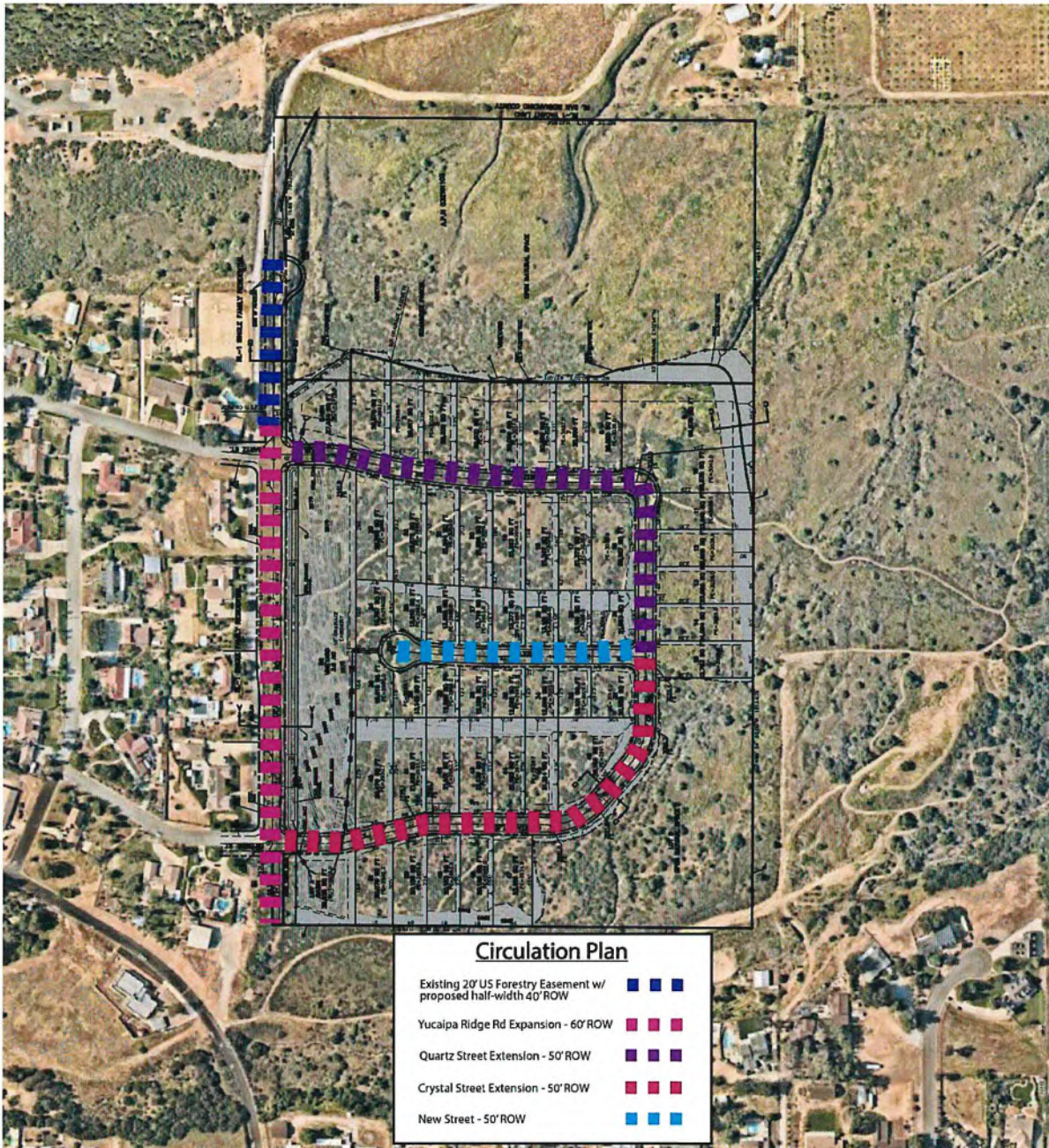
*(CDL-1.5): Develop and maintain a transportation system that is closely coordinated with land use planning decisions, moves people and goods efficiently and safely, and is designed to accommodate and promote scenic viewsheds.*

*(CI 2.2): Complete the circulation system by constructing or improving roadways consistent with figure T-1; allow modified standards where appropriate to allow for transit, bicycle facilities, sidewalks, and on-street parking to be sensitive to adjacent land uses, district, and roadway users.*

The subject property is currently accessed off Yucaipa Ridge Road, which provides a minimum of 24 feet of pavement and is bounded by concrete berms on both sides of the road. As part of the Serrano Estates residential development, Yucaipa Ridge Road will be improved and widened to provide an ultimate paved width of 36 feet and a public right-of-way of 60 feet from Crystal Street to the top of Quartz Street. Access to the remainder parcel shall be provided by a 20-foot United States Forestry easement and by extending and converting the eastern portion of Yucaipa Ridge Road into a half cul-de-sac, approximately 400 feet north of Quartz Street, for a total of 35 feet of vehicular access. Access to Lots 1-24 & 40-51 will be provided by extending Quartz and Crystal Street from the Yucaipa Ridge Road intersections to loop through the development and connect toward the center of the Development. To allow access to Lots 24-39 a new street will be created at the convergence of the Quartz and Crystal Street extensions that extends west with a cul-de-sac at the terminus. Roads providing access to the Serrano Estates residences will have 36 feet of paved vehicular access and 14 feet of landscaped parkway for a total ultimate right-of-way of 50 feet. All streets providing access to the development will be local streets per the General Plan.

Two to three car garages will be provided for each dwelling unit within the development to provide adequate resident parking. Additional parking is available via the driveway or on the street. The subject property is designated as Improvement Level 3, which requires that all street improvements including paving, curbs and gutters, and drainage improvements to be installed.

Improvements to Yucaipa Ridge Road will provide 60 feet of public Right-Of-Way that includes 36 feet of roadway with curb and gutter, 12 feet of dedication for an eight-foot-wide multipurpose trail with rail fencing that runs through the landscape buffer along the western boundary of the Project. A Typical Interior Street Section will provide 50 feet of Public Right-Of-Way and a seven-foot easement on both sides of the street will create 64 feet of total roadway and landscaped parkway, which consists of 36 feet of pavement with curb, gutter, and sidewalk.

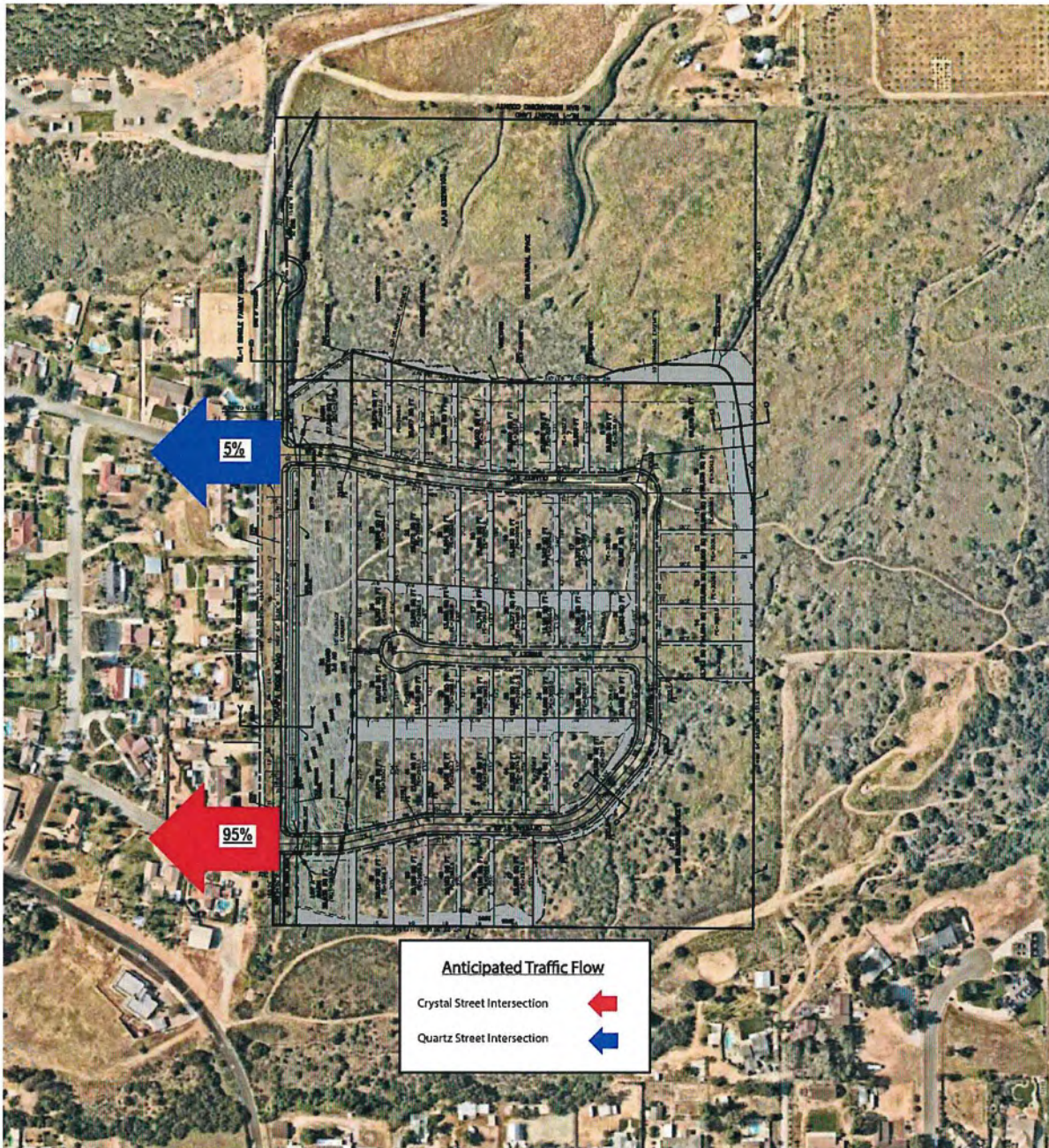


**CIRCULATION PLAN – EXHIBIT 9**



Once the improvements to Serrano Estates are complete, the vehicle capacity of this road segment will be approximately 1,000 vehicles per day (LOS C, 6th Edition). Based on the ITE Trip Generation Table, 11th Edition, the number of average daily trips (ADT) generated by a single-family residential land use is 9.43 trips per day per unit and 4.31 trips per day per unit for senior adult housing. The proposed development of 51 units with 41 of those units occupied by households with a senior citizen or qualifying resident will generate approximately 272 trips per day. Three intersections are proposed to provide the 51 units with access to the City of Yucaipa's existing roadway network: one intersection each at Quartz and Crystal Street and Yucaipa Ridge Road, and one new intersection at the convergence of the Quartz and Crystal Street connection.

Considering the path of travel to work and community services and amenities, the trips generated by the Project projects to be split with all but 5% of the trips using the Crystal Street intersection. As a result, 272 trips can be projected to be added to Yucaipa Ridge Road and the Crystal Street intersection, well within the roadway's vehicle capacity of 1,000 vehicles per day. Comparatively, it should be noted that Tentative Tract Map No. 14297 had been approved for 33 single-family residences, had an estimated 312 ADT, and the proposed Serrano Estates Residential Development estimates 272 ADT, which represents a decrease in ADT from what had been approved to what is proposed. The proposed Project retains the allowable housing density permitted by the Rural Living Land Use District, which has been accounted for in the City of Yucaipa's General Plan for determining the City's roadway capacity, and the traffic generated by the project should have a negligible effect on the surrounding roadway's capacity.



**ANTICIPATED TRAFFIC FLOW – EXHIBIT 10**

## 2.6 PARKS, RECREATION, TRAILS, AND OPEN SPACE

### 2.6.1 Multipurpose Trails

**Goal PR-3 (A Comprehensive Street Network):** Comprehensive trail system that allows residents to travel, explore, and enjoy Yucaipa on foot, bicycle, or horseback.

*Policies (PR 3.1 – Trail Development):*

*Develop a multipurpose trail system for hiking, biking, and equestrians throughout Yucaipa, focusing on drainage channels, hillsides, parks, and other public use areas.*

*Policies (PR 3.2 – Trail Access):*

*Trails that navigate through residential neighborhoods shall be designed to be unobtrusive, respect the privacy of bordering residences, and not detract from the safety of neighborhoods.*

*Policies (PR 3.3 – Environmental Protection)*

*Locate, design, and regulate the use of multipurpose trails so that they do not have a significant negative impact on natural habitat, wildlife, landforms, and cultural resources.*

*Policies (PR 3.4 – Trail Design)*

*Design trails to accommodate different users, with sustainable materials, appropriate trail heads and trail staging areas, signage, educational materials, safety sign-in, and other amenities.*

*Policies (PR 3.5 – Internal Connectivity)*

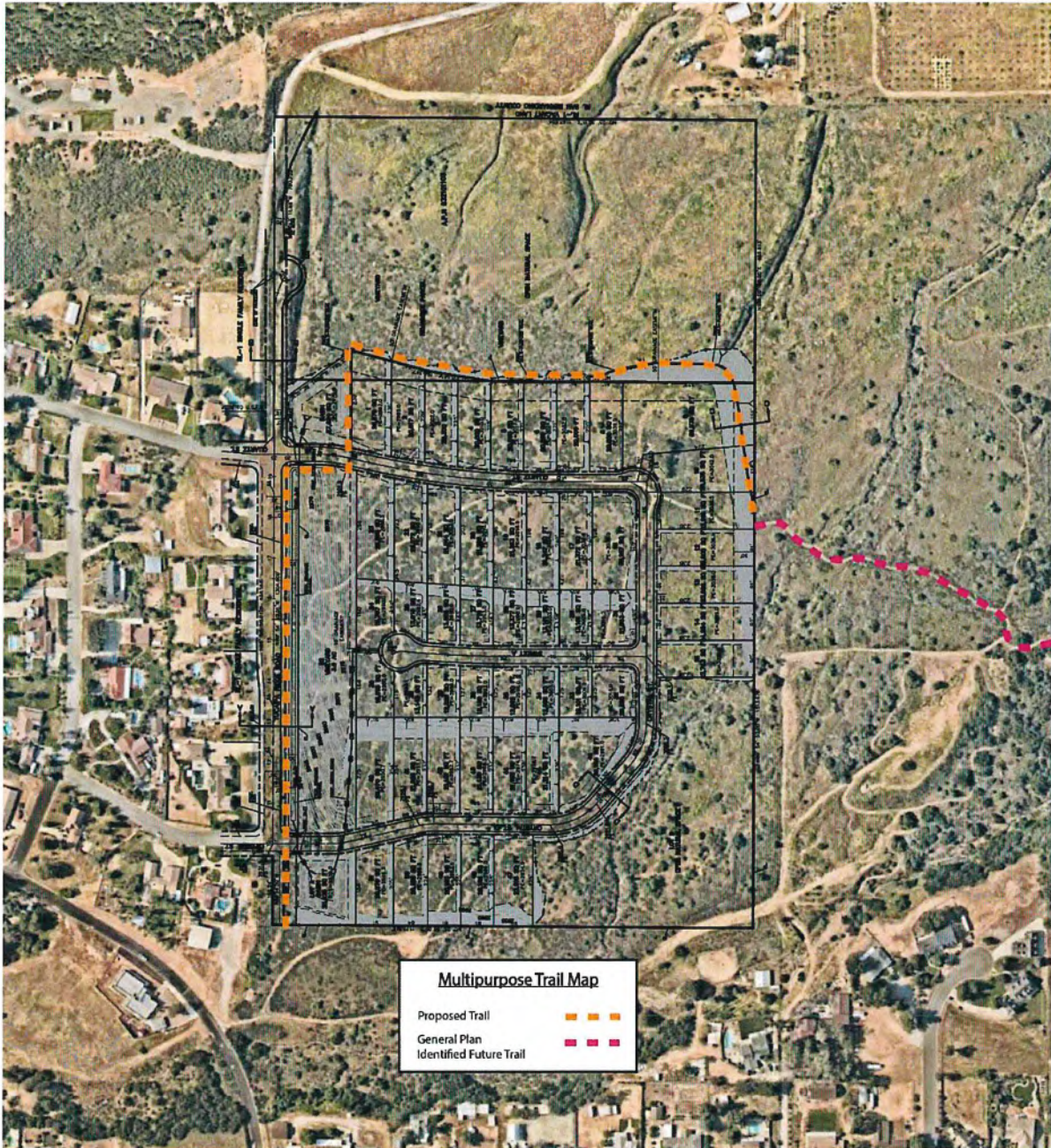
*Strive to connect multipurpose trails to schools, local and regional parks, residential neighborhoods, open space areas, Uptown, and other community destinations in Yucaipa.*

*Policies (PR 3.6 – Regional Connectivity)*

*Coordinate with adjacent cities to connect Yucaipa’s trail network to the trails of neighboring cities to form a multi-jurisdictional system that extends to the forest, badlands, and other areas.*

The Project proposes a public multipurpose trail to provide available outdoor recreation for both residents of the development and members from the citywide community. The location of the proposed trail was selected with the intent of avoiding the natural resources on site while taking advantage of the scenic views of the San Bernardino Mountains. The proposed trail will integrate the residential land use with respect to the natural open space by utilizing a multipurpose trail that weaves between the sidewalk from the public Right-of-Way along Yucaipa Ridge Road

alongside the vineyard buffer within Lot 52, behind the northernmost landscaped detention basin and through an easement along the rear portion of Lots 1-11 connecting the proposed trail to the existing trail system to the east of the Project. Citizens will have the opportunity to use this trail in a variety of ways including, but not limited to, running, hiking, and equestrian activities. Maintenance of the multipurpose trail will be the responsibility of the City of Yucaipa and an LLMD will be formed.



**MULTIPURPOSE TRAIL MAP – EXHIBIT 11**

## 2.6.2 Natural Open Spaces

**Goal PR-4 (Natural Open Spaces): Conservation of Yucaipa’s open spaces, hills, canyons, ridgelines, and channels for visual, recreational, wildlife, and educational benefits.**

*Policies (PR 4.3 – Hillside Preservation):*

*Protect lands with steep topography, prominent natural features, ridgelines, and view sheds through adherence to Yucaipa’s Hillside Preservation Ordinance.*

*Policies (PR 4.6 – Development Regulations)*

*Require proposed private and public development to respect the integrity of the natural terrain of the city; ensure that potential impacts are fully mitigated, to the extent practical.*

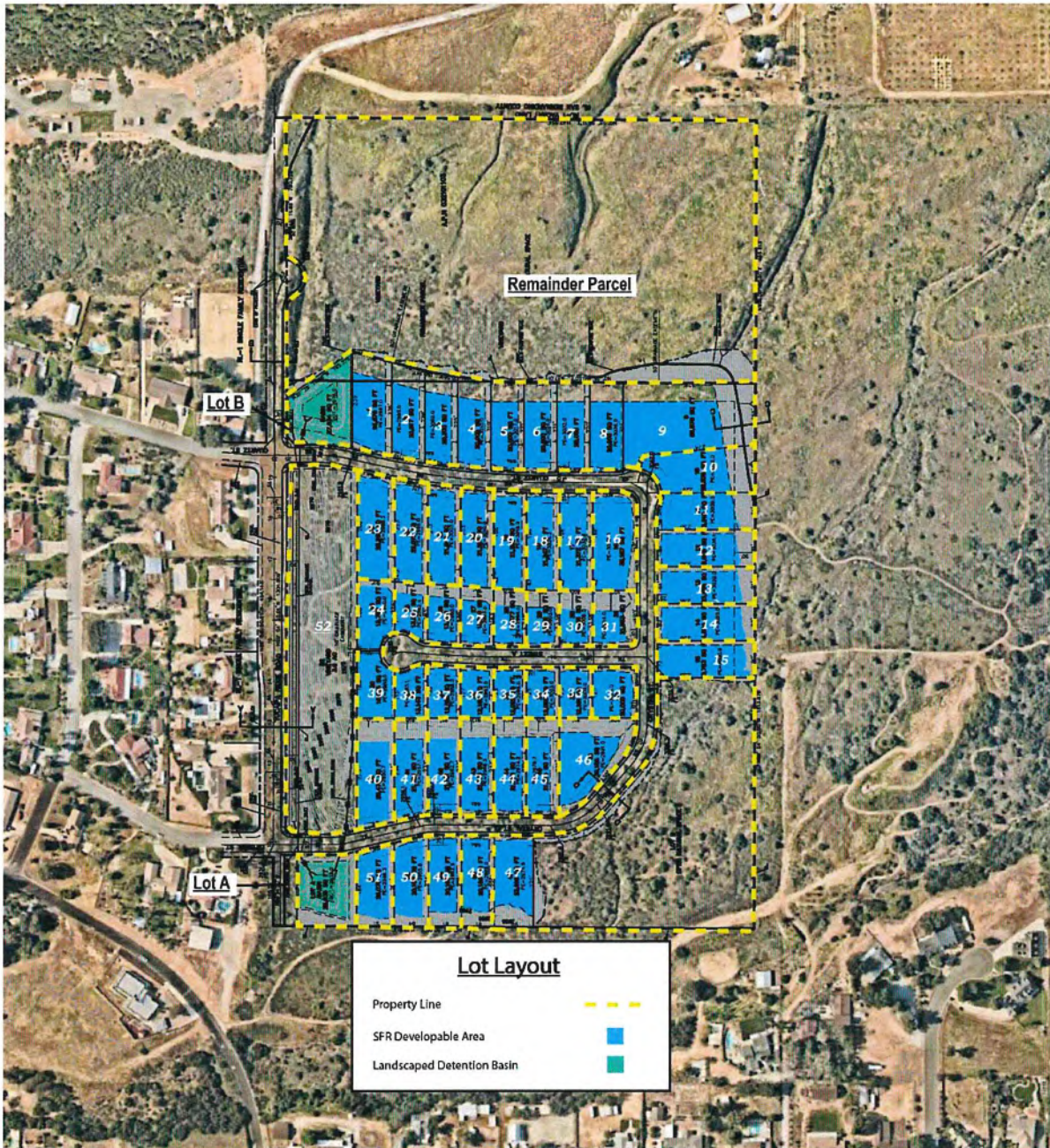
*Policies (PR 4.7 – Scenic Resources)*

*Protect Yucaipa’s scenic resources, including scenic corridors along roads and views of the hillsides, prominent ridgelines, canyons, and other significant natural features, to the extent practical.*

The project site is located at the foothills of the San Bernardino Mountains and is characterized by a small bluff that rests predominantly over the development at the northern boundary of the property and is covered in a dense growth of shrubs and scattered trees. To avoid impacts to this prominent ridgeline, the Serrano Estates Residential Development is proposing to incorporate the use of the Planned Development to provide design flexibility to condense development activity towards the southwest portion of the project site. To preserve hillside and natural resources, Tentative Tract Map Number 20375 will establish the prominent ridgeline to the north and the natural drainage course to the southeast as natural open space in perpetuity. To further preserve the scenic resources onsite, the developer proposes to restrict all activities on the remainder parcel to agricultural activities only.

The previously approved TTM 14297 consists of 33 one-acre lots spread out across approximately 40.14 acres and an 11.88 acre Not-A-Part lot to preserve the protected hillside. It should be noted that by utilizing the Planned Development entitlement to provide flexibility in the lot area requirements, the proposed Serrano Estates Residential Development will provide more available open space and land dedicated for potential agricultural purposes than was provided by the previously approved Project. TTM 14297 would provide 11.88 acres of open space and the

proposed Project would provide approximately 25 acres of combined natural open space and land that could be used for agricultural purposes, with 13 acres specifically as natural open space.



**LOT LAYOUT – EXHIBIT 12**

### 2.6.3 Biological Resources:

**Goal PR-5 (Biological Resources): Preservation, conservation, and management of Yucaipa biological resources, including habitats, wildlife, and natural environments.**

*Policies (PR 5.1 – Resource Protection):*

*Protect and conserve Yucaipa’s biological resources, with a special focus on sensitive, rare, or endangered plant and wildlife species in accordance with state and federal resource agency requirements.*

*Policies (PR 5.2 – Habitat Conservation):*

*Support habitat conservation efforts to set aside and preserve suitable habitats, with priority given to habitats for rare and endangered species in Yucaipa in accordance with state and federal resource agency requirements.*

*Policies (PR 5.5 – Channels and Creeks):*

*While completing necessary safety improvements, preserve the ecological integrity of watersheds and creek corridors that support riparian and wildlife resources by restoring native plants and other best practices to the extent practical.*

The Serrano Estates Residential Development shall implement this goal by surveying the existing site prior to any development to locate and identify any existing natural resources or sensitive animal habitat that shall be protected. The City of Yucaipa will coordinate with state and federal agencies and departments to ensure that their programs to preserve rare and endangered species and protect areas of special habitat value, as well as conserve populations and habitats of commonly occurring species, are reflected in reviews and approvals of development programs. The California Department of Fish and Wildlife (CDFW) is responsible for conserving, protecting, and managing California's fish, wildlife, and native plant resources. To meet this responsibility, the California Fish and Game Code (F&GC), requires that the CDFW be consulted if a proposed development project has the potential to detrimentally effect a stream and thereby wildlife resources that depend on a stream for continued viability. During the biotic assessment portion of the entitlement for Tentative Tract Map Number 14297, a field survey was conducted and it was observed that existing vegetation consisted of creosote brush (*Larrea tridentata*), buckwheat (*Eriogononum fasciculatum*), prickly pear (*Opuntia* sp.), white and black sage (*salvia apiana* and *Salvia mellifera*), chamise (*Adenostoma fasciculatum*), elderberry (*Sambucus Mexicana* ), and



cottonwood (*Populus fremontii*); wildlife observed included jackrabbit (*Lepus californicus*), desert cottontail (*Sylvilagus audobonii*), and various lizards and small rodents. It should be noted that proposed development is not located within a General Plan designated Wildlife Corridor, and that the project area is outside of the known range of the Stephens' kangaroo rat (*Dipodomys stenshi*) and the San Bernardino kangaroo rat (*Dipodomys merriami parvus*).

The Serrano Estates Residential Development site contains two ephemeral drainage systems that run from northeast to southwest across the site. Drainage courses will be kept in their natural condition to the greatest extent feasible to retain habitat, allow some recharge of groundwater basins and resultant savings. As part of the entitlement process for Tentative Tract Map Number 14297, previously approved by San Bernardino County and the City of Yucaipa to subdivide the subject property, the California Department of Fish and Game was consulted to determine if a Streambed Alteration Agreement was required. On August 10, 2001, the California Department of Fish and Game issued a letter determining that the project would not substantially divert or obstruct the natural flow or substantially change the bed, channel, or bank of any river, stream and lake, and that a Streambed Alteration Agreement would not be required.

On December 20, 2005, a licensed ecologist and regulatory specialist from Todd Dodson and Associates conducted an investigation by reviewing previous documentation and a site review to determine if there were any jurisdictional Waters of the United States or California State Streambeds on the 52-acre project site. The result of the investigation determined that there are no rivers, streams, channels ditches, or other Riparian resources on the project site, and that no Waters of the United States would be subject to jurisdiction by the U.S. Army Corps of Engineers under Section 404 of the Clean Water Act (CWA), or by the State Regional Water Quality Control Board under Section 401 of the CWA. Further, it was determined that there are no State Waters or Streambeds that would be subject to jurisdiction by the California Department of Fish and Game under Section 1600 of the Fish and Game Code.

## 2.7 PUBLIC SAFETY

### 2.7.1 Geologic and Seismic Safety

**Goal S-1 (Geologic and Seismic Safety): “Adequate protection of public health and safety; property; and economic, social, and service functions from seismic and geologic hazards.”**

*Policies (S 1.2 – Geotechnical Analysis):*

*In areas within the City’s Geologic and Seismic Hazards Overlay District or as required by the Building Official, require development proposals to include a geotechnical hazard analysis.*

*Policies (S 1.3- Alquist-Priolo Act):*

*Enforce development requirements, such as seismic study analyses, project siting, and project design features for proposed developments near active faults pursuant to the Alquist-Priolo Act.*

*Policies (S 1.4 – Building Codes):*

*Require adherence to the latest California Building Codes and regulations in the Geologic and Seismic Hazards Overlay District; update local codes periodically for the latest advances.*

LOR Geotechnical Group, Inc. prepared a Preliminary Geotechnical Investigation report on November 2005. Their findings indicate the site to be suitable for a residential development provided that the recommendations presented in the report are incorporated into design and construction. The City of Yucaipa’s Geologic Hazard Overlay District identifies the subject property to be located within the Alquist-Priolo Fault Zone. On November 30, 2005, LOR Geotechnical Group, Inc. conducted a Subsurface Fault Investigation to estimate the probability of, or relative potential for, future surface displacement to occur at the site from earthquake activity. The resulting investigation identified several sub-horizontal shear zones located along the small bluff; however, no features within the development area of the tentative map would fall into the classification of an “active” earthquake hazard. Due to the presence of the sub-horizontal shear zones at the northern boundary of the project site, development activity will be concentrated toward the southwest portion of the site to avoid potential geological hazards. The proposed site will be developed, and all structures shall be designed in accordance with, the recommendations contained in any required geologic reports.

### 2.7.2 Air Quality

**Goal S-7 (Air Quality and Climate Change): “Clean and healthful air resources that promotes public health, protects the natural environment, and mitigates local impacts to climate change.”**

*Policies (S 7.5 – Energy Usage):*

*Support the reduction and conservation of energy usage in residential and nonresidential buildings through adoption of building codes, promotion of energy-saving equipment, solar power, and other technology.*

*Policies (CO 7.6 – Greenhouse Gas Reductions):*

*Reduce communitywide greenhouse gas emissions locally through the implementation of Yucaipa’s Climate Action Plan; actively support regional efforts to reduce greenhouse gases throughout the county.*

*Policies (CO 7.7 – Open Spaces Preservation):*

*Continue to preserve and protect Yucaipa’s open natural spaces, maintain a community forest, and plant public landscaping to help filter air pollutants and improve air quality.*

The Serrano Estates Residential Development is located within the South Coast Air Basin (Basin), which is within the jurisdiction of the South Coast Air Quality Management District (SCAQMD), who is responsible for air pollution control in the Basin and prepared the 2016 Air Quality Management Plan (AQMP) that covers all areas within the Basin. Air Quality Plans identify strategies to control air pollution to be implemented by a local agency and its purpose is to bring an area into compliance with the standards and requirements of the Clean Air Act and California Clean Air Act. An important role in assessing the Project’s compliance with state and federal requirements is a consistency determination that links the Project to the applicable AQMP. The SCAQMD CEQA Handbook identifies two key indicators of consistency, and the Serrano Estates Residential Development is not expected to exceed either of them. The proposed development is a conventional single-family Project to construct 51 single family residences, with 41 lots to be sold to households with at least one senior citizen or qualifying resident, and a 52<sup>nd</sup> Lot and a remainder parcel limited to agricultural activities across approximately 12 acres. The Project does not propose any changes to the City of Yucaipa’s anticipated buildout as projected by the Yucaipa General Plan based off the existing RL-1 (Rural Living, 1-acre minimum) Land Use District.

Serrano Estates Residential Development will further implement the City of Yucaipa's General Plan Goal by including design features and mitigation measures to ensure that none of the criteria pollutants exceed the SCAQMD local emissions thresholds at the nearest sensitive receptors. The proposed project's buildings would be designed and constructed in accordance with the State's Title 24 energy efficiency standards. These standards, widely regarded as the most advanced energy efficiency standards, would help reduce the amount of energy required for lighting, water heating, and heating and air conditioning in buildings and promote energy conservation.

Best Management Practices will be implemented during construction activities to assure the proposed project does not exceed SCAQMD thresholds for construction-related activity. Project construction and operations would not result in the inefficient, wasteful or unnecessary consumption of energy. As a result, air quality, greenhouse gas, and energy-related impacts are likely to be less than significant threshold.

### 2.7.3 Noise and Vibration

**Goal S-6 (Noise and Vibration Safety): “Appropriate community noise and vibration levels that balance the need for peaceful environments for sensitive land uses with the needs of local businesses and regional land uses.”**

*Policies (S 6.5 – Development Patterns):*

*Locate new development in areas where noise levels are appropriate for the use. Limit development of noise-producing uses adjacent to noise-sensitive receptors and require that noise-producing land uses have adequate mitigation.*

The land uses surrounding the Serrano Estates Residential Development includes government conservancy land and a single-family residence to the north, vacant residential land to the south and east, and low-density residential uses to the north and west. The proposed project is in a rural, residential area. According to a report prepared by the United States Environmental Protection Agency in March of 1974, noise levels for a typical residential land use range from 45 dBA Leq for indoor activities, 55 dBA Leq for outdoor activities, and 32 dBA Leq at nighttime. Considering that the only uses permitted within the planned development are consistent with the Rural Living Land Use District, noise levels associated with the project area are expected to range between 45 and 55 dBA Leq. Based on the attenuation that distance provides (a six-decibel drop-off per every doubling of distance), operational noise associated with the proposed single-family dwelling units would not be readily noticeable at nearby sensitive receptors and comparable to existing uses surrounding the site. Operational noise will not result in significant noise impacts. Therefore, the proposed project would be consistent with established City of Yucaipa noise standards and would not result in significant environmental impacts associated with construction or operational noise.

## **2.8 SCENIC HIGHWAY**

The Serrano Estates Residential Development is not located within a scenic highway corridor and therefore does not affect the California or San Bernardino County Scenic Highway Program.

### **3.1 GENERAL PROVISIONS AND DEVELOPMENT STANDARDS**

The Development Standards and Design Guidelines are established in conjunction with the City of Yucaipa Development Code and Citywide Design Guidelines to assure the development of a high-quality residential project. The following provisions establish land use restrictions for each specific planning area to protect the resident's quality of life. Any situations not specifically addressed by this document, shall be subject to the City of Yucaipa if such regulations are not in conflict with the intent and the objectives of the Serrano Estates Residential Development Preliminary Development Plan Report.

**DEVELOPMENT STANDARDS - PLANNING AREA A – AGRICULTURAL**

<b>PERMITTED USES</b>	
The following uses may be permitted:	*Row, field, tree and nursery crop cultivation
The following uses are prohibited:	All uses not stated as “permitted uses”

<b>DEVELOPMENT STANDARDS</b>	
Front Setback:	40' minimum
Rear Setback:	25' minimum
Side Setback (Interior):	20' minimum
Side Setback (Street Side):	30' minimum (from property line)
Height:	35' maximum (2.5 stories)
Building Coverage (max. percent):	40%
Lot Coverage (max. percent):	40%

\*Any accessory structures associated with agricultural operations shall be limited to 10,000 square feet combined and shall be subject to review and approval by the Planning Commission through the Architectural Review process.



**DEVELOPMENT STANDARDS – PLANNING AREA B – LOW RESIDENTIAL**

<b>PERMITTED USES</b>	
The following uses may be permitted:	Single family dwelling unit
	Small residential care facility
	Small family daycare home
	Accessory Dwelling Unit
	Animal Raising (pursuant to Development Code § 84.0320)
	Accessory uses as specified by Yucaipa Development Code § 84.0510, 84.0550, 84.0560, and 84.0570
The following uses are prohibited:	All uses not stated as “permitted uses”

<b>DEVELOPMENT STANDARDS</b>	
Minimum Lot Area:	12,000 Square Feet
Minimum Lot Width:	75' (at front bldg. setback line)
Minimum Lot Depth	120'
Minimum Street Frontage:	60'
Minimum Habitable Floor Area:	2,200 sq. ft.
Front Setback to Residence:	25' minimum (from property line)
Rear Setback:	20' minimum
Side Setback (Interior):	10' and 5' minimum
Side Setback (Street Side):	15' minimum (from property line)
Height:	35' maximum (2.5 stories)
Building Coverage (max. percent):	40%
Lot Coverage (max. percent):	50%
Required Parking Spaces:	2.0 spaces w/in enclosed garage
Minimum Garage Area:	400 square feet with two (2) vehicle capacity
Minimum Driveway Length:	25' (from garage door to multipurpose trail)
Standard Driveway Stall Dimension:	9' x 20' (18' x 20' for 2 spaces)

**DEVELOPMENT STANDARDS – PLANNING AREA C – NATURAL OPEN SPACE**

<b>PERMITTED USES</b>	
The following uses may be permitted:	Multipurpose trail and other passive outdoor recreation.
	Natural channels, levees, spreading grounds, detention basins, roads, trails, culverts, and diversion drains, where plans are approved by the City Engineer.
	Nature preserves and mitigation “banks,” including habitat restoration
The following uses are prohibited:	All uses not stated as “permitted uses”

<b>DEVELOPMENT STANDARDS</b>	
Multipurpose (MP) Trail	Yucaipa Ridge Road: 8’ min. width Interior Street Section: 7’ min. width All other MP trails: 4’ min. width

\* Planning Area C should remain as natural open space to the greatest extent feasible with limited pedestrian activity that have little to no effect on the natural environment. No man-made structures or improvements should be constructed unless deemed necessary by the City Engineer.

## **3.2 SINGLE-FAMILY DESIGN GUIDELINES/REQUIREMENTS**

Each unit within Planning Area B will have a minimum of 2,200 square feet of habitable space with an attached 400 square-foot enclosed garage. All homes will not exceed 2.5 stories in height (35 feet), and each unit will have a minimum street frontage of 60 feet. The Serrano Estates Residential Development will feature five (5) architectural styles and will utilize reverse footprints to provide a minimum of seven (7) distinct floor plans. The design of all structures and single-family residences will adhere to the City of Yucaipa's Citywide Design Guidelines.

## **3.3 RESIDENTIAL PARKING REQUIREMENTS**

Each unit within Planning Area B will provide a minimum of 2.0 parking spaces per unit: two garage spaces per unit plus two driveway spaces are provided, as well as available on-street parking.

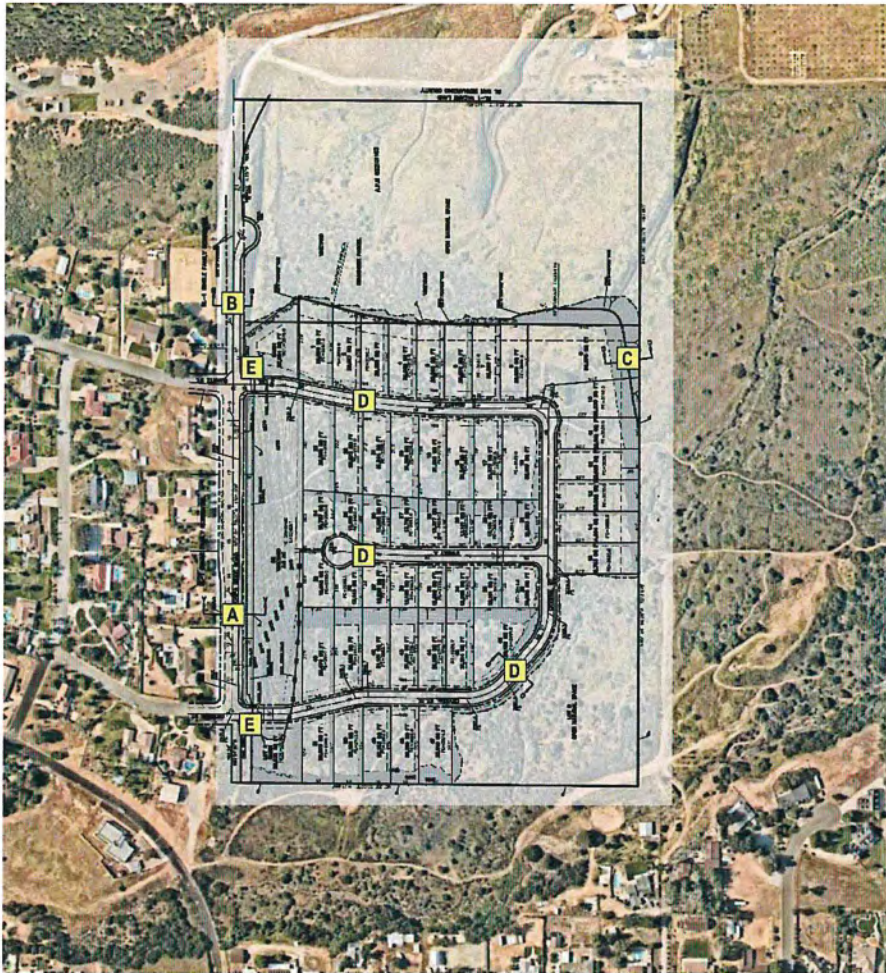
### 3.3.1 VEHICLE ACCESS

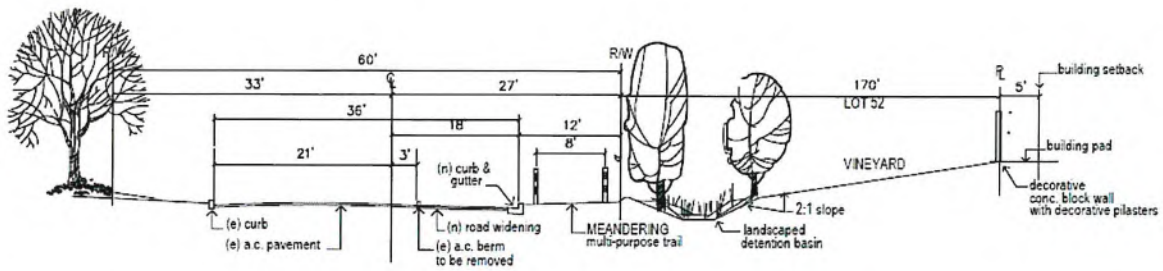
As part of the Serrano Estates residential development, Yucaipa Ridge Road will be improved and widened to provide an ultimate paved width of 36 feet and a public right-of-way of 60 feet from Crystal Street to the top of Quartz Street. Access to the remainder parcel shall be provided by a 20-foot United States Forestry easement and by extending and converting the eastern portion of Yucaipa Ridge Road into a half cul-de-sac, approximately 400 feet north of Quartz Street, for a total of 35 feet of vehicular access. Access to Lots 1-24 & 40-51 will be provided by extending Quartz and Crystal Street from the Yucaipa Ridge Road intersections to loop through the development and connect toward the center of the Development. To allow access to Lots 24-39, a new street will be created at the convergence of the Quartz and Crystal Street extensions that extends west with a cul-de-sac at the terminus. In total, three separate intersections will either be expanded or constructed as part of the development. Stop signs will be installed at the improved intersections.

### 3.3.2 DESIGN AND IMPROVEMENTS

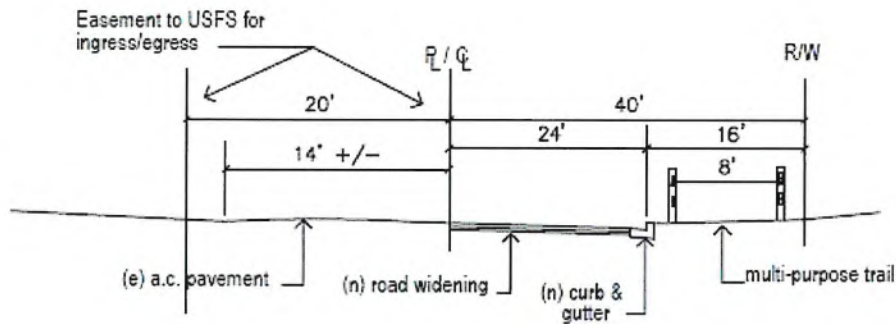
All driveways will be surfaced with or paved with asphalt concrete, concrete, or other surface approved by the City of Yucaipa's Public Works Division and will be maintained in good condition.

Landscape parkway design will feature a 36-foot drive aisle from curb to curb, a seven-foot drainage swale, and a seven-foot multipurpose trail easement that is bound by split-rail fencing. Entry monument sign will be maximum of four (4) feet in height and will emphasize the architectural theme of the Project by incorporating decorative stone accents and other ornamental materials within its design.

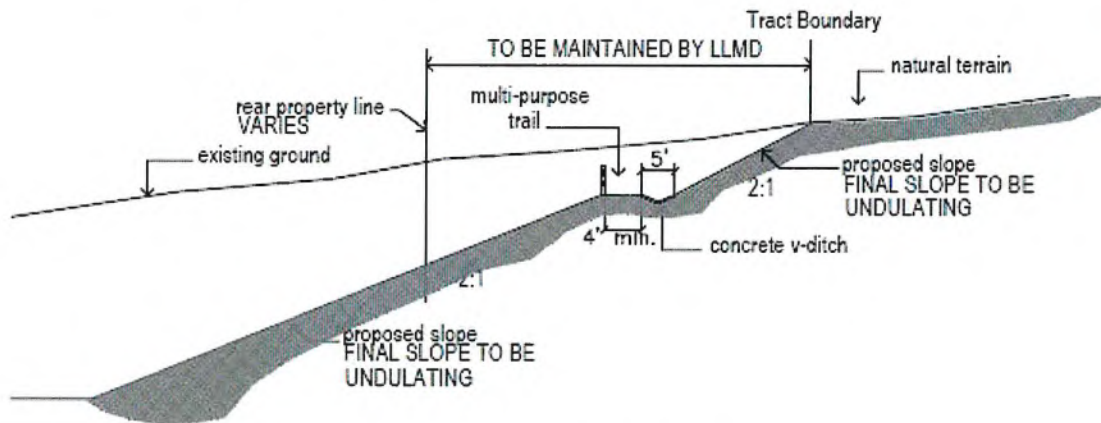




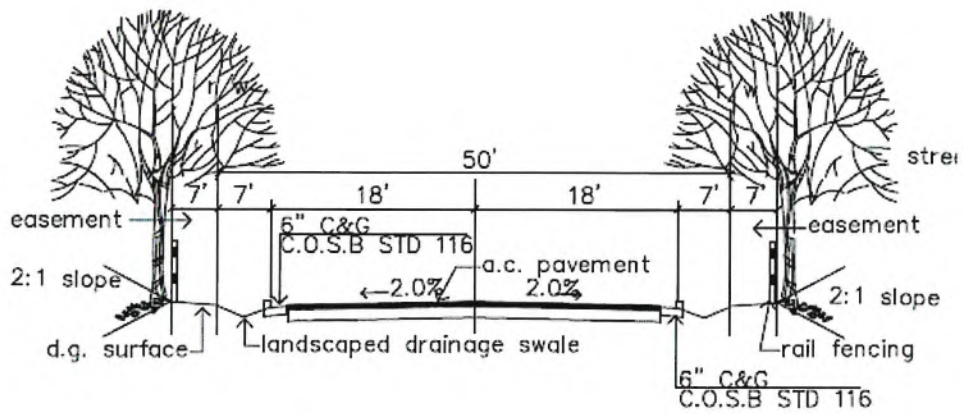
**A) EXHIBIT 13 – YUCAIPA RIDGE ROAD STREET SECTION**



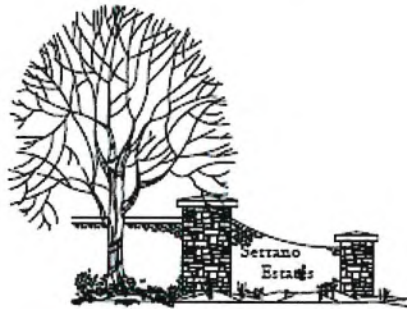
**B) EXHIBIT 14 – YUCAIPA RIDGE ROAD STREET SECTION**



**C) EXHIBIT 15 – SLOPE SECTION AT EASTERN BOUNDARY**



**D) EXHIBIT 16 – TYPICAL INTERIOR STREET SECTION**



**E) EXHIBIT 17 – DECORATIVE ENTRY MONUMENT SIGN**

### **3.4 COMMUNITY PRESERVATION/MAINTENANCE**

The City of Yucaipa, through the formation of a Landscape and Lighting Maintenance District (LLMD), will be responsible for the maintenance of all common areas, multipurpose trails, lettered lots and drainage easement. Portions of the multipurpose trail located within the drainage easement along the rear of lots 1-11 that connects the proposed trail to the existing trail network will be maintained through the LLMD.

Conservation of underground water shall be implemented by utilizing impervious surfaces throughout the project, including the parkway design, unimproved natural open space areas, and detention basins. There will be no significant alteration to surface waters on site. The existing ephemeral drainage channel that spans along the southeast portion of the site is seasonal and will be left in its natural condition since the Project has been designed to avoid this channel. Vegetation and soils at the Project site will be preserved to the greatest extent feasible by providing approximately 13 acres of natural open space. Impacts to wildlife resources onsite will be minimal as there are no wildlife linkages or corridors that traverse the site as identified by the City of Yucaipa's General Plan.

## **4.0 SITE DEVELOPMENT AND INFRASTRUCTURE**

The purpose of this chapter is to identify the infrastructure, utilities and public services required to serve the Pipeline Avenue Residential Development.

### **4.1 GRADING**

The proposed grading of the Project will comply with City of Yucaipa Engineering Division's grading requirements. Any retaining walls on the project will comply with City of Yucaipa requirements. All grading will conform to the most recent edition of the California Building Code. New slopes within public areas will feature contour grading to the greatest extent feasible to give a more natural appearance with plant maturity. It is anticipated that there will be approximately 156,741 cubic yards of cut, 150,729 cubic yards of fill for a net of 6,012 cubic yards of total export.

### **4.2 WATER QUALITY MANAGEMENT PLAN (WQMP)**

The proposed WQMP for the project will comply with the City of Yucaipa Engineering Divisions requirements and regulations. The project proposes to collect and convey the "first flush storm water" to two (2) detention basins. Best Management Practices during the construction phases for the Serrano Estates Residential Development will be implemented to mitigate potential erosion and sediment runoff.

### **4.3 STORM DRAINAGE FACILITIES**

The Serrano Estates Residential Development will utilize the existing topography, grading of the project, and installation of bench drain to guide stormwater toward two (2) detention basins along Yucaipa Ridge Road to allow storm water to percolate into the ground and be retained onsite. Excess runoff from Lettered Lot A will be directed south of the project site, which is unimproved with no pervious surfaces and will remain consistent with historical runoff. Excess runoff from all other lettered lot detention basins will be guided toward an existing storm drain on the south side of Crystal Street, approximately 300 feet west of the project site.

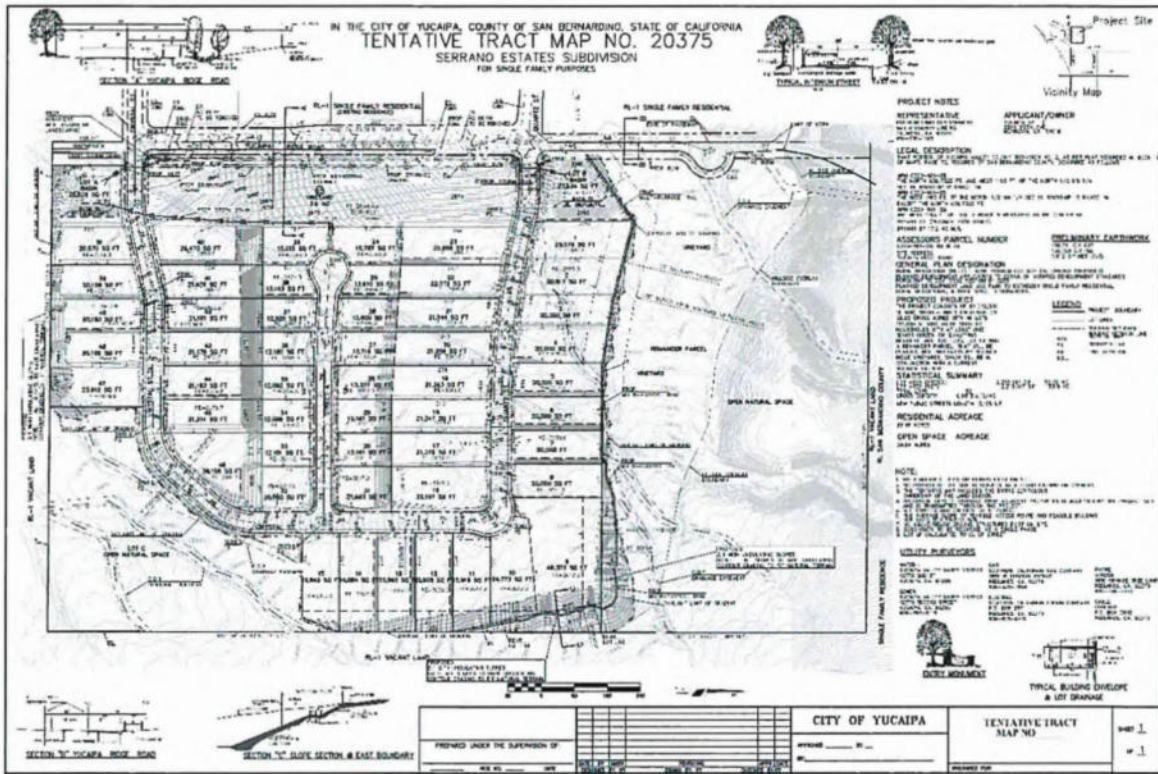


#### **4.4 SANITARY SEWER FACILITIES**

Sanitary service to proposed residential development will be provided by the Yucaipa Valley Water District. To provide adequate sanitary services, a new sewer line with appropriate connections to each dwelling unit will be installed by the developer prior to construction of the single-family residences.

#### **4.5 SUBDIVISION**

Tentative Tract Map 20375 proposes 51 single-family detached residential lots that range from 12,000 square feet to 48,373 square feet, Lot 52 and a remainder parcel to be used for agricultural operations, two detention basins, and three public road extensions. Maintenance of all landscaped detention basins, landscaped parkway, multipurpose trails, and common areas will be the responsibility of the LLMD. An easement, maintained by the City of Yucaipa, will be formed along the rear of Lots 1-11 that connects the proposed trail from Yucaipa Ridge Road to the existing trail network at the eastern boundary of the site.



TENTATIVE TRACT MAP – EXHIBIT 18

## **5.0 Appendix**

### **Property Owners**

Yucaipa 52, LLC, 204 Valle Vista Ave, Monrovia, CA 91016

Thomas S. Fitzroy, 204 Valle Vista Ave, Monrovia, CA 91016; (626)827-4494

Ghulam Sarwar, 35112 Wildwood Canyon Rd, Yucaipa, CA 92399; (909)790-3810

### **Representatives**

Premium Land Development, 543 W. County Line Rd, Calimesa, CA 92320;  
(909)335-1665

### **Engineers and Consultants**

Jennifer Kimme, P.E. No. 73054, 12278 11<sup>th</sup> Street, Yucaipa, CA 92399; (909)749-1300

Sitotech Inc., P.O. Box 592, Highland, CA 92346 – (909)864-3180

LOR Geotechnical Group, INC., 6121 Quail Valley Ct, Riverside, CA 92507; (951)653-1760

Research Associates, 34850 Date Street, Yucaipa, CA 92399