



Planning Commission Regular Meeting Agenda

April 19, 2023 - 6:30 PM

City of Yucaipa, City Hall, Council Chambers

THE CITY OF YUCAIPA COMPLIES WITH THE AMERICANS WITH DISABILITIES ACT OF 1990. IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING (PURSUANT TO 28 CFR 35.102.35.104 ADA TITLE II), PLEASE CALL THE CITY CLERK'S DEPARTMENT AT (909) 797-2489 AT LEAST 48-HOURS PRIOR TO THE MEETING.

ANY PUBLIC WRITINGS DISTRIBUTED BY THE CITY TO AT LEAST A MAJORITY OF THE PLANNING COMMISSION MEMBERS REGARDING ANY ITEM ON THIS REGULAR MEETING AGENDA WILL BE MADE AVAILABLE AT THE PUBLIC RECEPTION COUNTER AT CITY HALL, LOCATED AT 34272 YUCAIPA BOULEVARD, DURING NORMAL BUSINESS HOURS.

IF YOU WISH TO ADDRESS THE PLANNING COMMISSION DURING THE MEETING, PLEASE COMPLETE A SPEAKER'S FORM AND RETURN IT TO THE COMMISSION ASSISTANT PRIOR TO THE BEGINNING OF THE MEETING. THERE IS A THREE-MINUTE TIME LIMIT FOR SPEAKING.

PUBLIC COMMENT VIA MAIL OR EMAIL must be submitted no later than three (3) business hours prior to the meeting at which the commenter seeks to provide comment. Public comment may be submitted to the City via U.S. Mail at 34272 Yucaipa Blvd., Yucaipa, CA 92399 or via email to publiccomment@yucaipa.org. All mail and email correspondence will be archived, distributed to the Planning Commission, and retained as part of the public record; however, submissions will not be read out loud during the meeting. The subject line should specify "Public Comment-Planning Commission" and include the date of the meeting.

WRITTEN PUBLIC COMMENT SUBMITTED ON NON-AGENDA ITEMS AND ON SPECIFIC AGENDA ITEMS will be made available to the public pursuant to the City of Yucaipa policy regarding the distribution of written public comments at Planning Commission meetings, which may be accessed on the City's website at <https://yucaipa.org/agendas-minutes/>. Individuals should be aware that comments provided, including personal information, may be disclosable pursuant to the California Public Records Act.

LIVE AUDIO STREAM/RECORDING OF PLANNING COMMISSION MEETINGS. Members of the public may listen to planning commission meetings live at: <https://yucaipa.org/live>.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC COMMENT

CONSENT AGENDA

The Consent Agenda items below are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Councilmember or staff member may request removal of an item from the Consent Agenda for discussion. The title is deemed to be read, and further reading waived on any ordinance listed on the Consent Agenda for second reading and adoption.

- 1. **SUBJECT:** Approve Planning Commission Minutes of March 15, 2023.

NEW BUSINESS:

- 2. **SUBJECT:** **Pacific Horizons, LLC.** (Case No. 23-046/ARC): An Architectural Review associated with Tract Map 16268 for a 22-lot single-family development located at the southwest corner of Holmes Street and Wildwood Canyon Road; APN: 1242-191-10.

RECOMMENDATION:

That the Planning Commission review the proposed colors, materials, architectural designs, and conceptual landscaping for the 22-lot single family development associated with Tract 16268 and approve Case No. 23-046/ARC.

PUBLIC HEARINGS:

The order of Business for the Public Hearing Shall Be:

- | | |
|--|--------------------------------------|
| A. Disclosure of Ex Parte Disclosures | E. Applicant Rebuttal (if necessary) |
| B. Staff Presentation | F. Public Hearing Closed |
| C. Applicant/Representative Presentation | G. Commission Discussion |
| D. Public Comments | |

- 3. **SUBJECT:** **Marks Architect** (Case No. 22-062/PUP/ARC): A Planning Use Permit to permit the demolition and reconstruction of a new 2,580 square foot Jack-in-the-Box drive-thru restaurant located at 34504 Yucaipa Blvd; APN: 0303-175-45.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and:

- A) Approve the Planning Use Permit, subject to the Conditions of Approval as contained in the Agenda Report and if acceptable, approve the Architectural Design and preliminary landscaping; and

- B) Adopt the Findings for the Planning Use Permit as contained in the Agenda Report; and
 - C) Adopt a Categorical Exemption pursuant to Section 15302 (Class 2) and Section 15332 (Class 32) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and,
 - D) Direct staff to File a Notice of Exemption.
4. **SUBJECT: David Harrison** (Case No. 22-135/SUP/ARC): A Special Use Permit for the Architectural Review of a 1,200 square foot and 13-foot-tall, detached metal garage and a 750 square foot, 14-foot-tall metal RV carport that have been designed to match the existing home on a single-residential property 35404 Douglas Lane; APN: 0322-102-45.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed metal structures, and if it is acceptable, approve the design subject to the Conditions of Approval; and
 - B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
 - C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
 - D) Direct staff to file a Notice of Exemption.
5. **SUBJECT: Jean and Kendall Taylor** (Case No. 23-005/LUCR/SUP/ARC): A Land Use Compliance Review to construct a 1,200 square foot Additional Dwelling Unit (ADU), and a Special Use Permit for the Architectural Review of a 2,927 square foot detached structure, consisting of the 1,200 square foot ADU with an attached 792 square foot garage and 935 feet of attached patios located at 9714 Topaz Street; APN: 0302-301-13.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed structure that includes an ADU and attached garage, and if acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and,
- D) Direct staff to file a Notice of Exemption

6. **SUBJECT: Century Communities.** (Case No. 23-048/CUP/ARC): A Conditional Use Permit to allow for the continued development of a 57-unit residential detached condominium project, previously approved as Case No. 21-075/REV/TTM 18167 located southwest of the intersection of Avenue H and 4th Street and occupying approximately 7.5 acres with entrances along Avenue H and 4th Street within the City of Yucaipa; Assessor's Parcel Numbers 0319-233-93.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and:

- A) Approve Conditional Use Permit No. 23-048, with the previously approved Architectural Design and Landscaping, subject to the Conditions of Approval as contained in this Agenda Report; and
- B) Adopt the Findings as contained in this Agenda Report; and
- C) Determine that the Project does not require any additional environmental review pursuant Section 15162(a) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and
- D) Direct Staff to file a Notice of Exemption.

ANNOUNCEMENTS:

PLANNING COMMISSION ADJOURNED:

City of Yucaipa
PLANNING COMMISSION MINUTES
Regular Meeting of March 15, 2023

A Regular meeting of the Planning Commission of the City of Yucaipa, California was called to order in the Council Chambers, 34272 Yucaipa Boulevard, Yucaipa, on March 15, 2023, at 6:30 PM.

PRESENT: J.R. Allgower, Chair
Tony Hicks, Vice Chair
Richard Beck, Commissioner
Stacey Chester, Commissioner
David Higginson, Commissioner
Donna Snodgrass, Commissioner
Lyle Vick, Commissioner

ABSENT: None

CITY STAFF: Benjamin Matlock, Planning Manager/City Planner
Katrina Kunkle, Assistant City Engineer
Lauren Sanchez, Assistant City Attorney
Madeline Jordan, Associate Planner
Christian Farmer, Assistant Planner
Maria Koolhoven, Planning Commission Assistant

CONVENE PLANNING COMMISSION

The meeting was called to order at 6:31 p.m., with the Pledge of Allegiance led by Vice Chair Tony Hicks.

ROLL CALL

PUBLIC COMMENT: One public comment for items not on the agenda was received. Hansen Wang informed the Commission that the General Plan is good for twenty years, and that changes can be made if they help to improve the City. Mr. Wang noted that he is for development that is done in an appropriate manner.

CONSENT AGENDA

The following Consent Agenda items are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Councilmember or staff member may request removal of an item from the Consent Agenda for discussion.

The title is deemed to be read, and further reading waived on any ordinance listed on the Consent Agenda for second reading and adoption.

1. **SUBJECT:** Approve Item No. 1, Planning Commission Minutes of March 1, 2023.

ACTION: MOTION BY Vice Chair Hicks, SECOND BY Commissioner Beck, CARRIED, 6-0-1-0, TO APPROVE CONSENT AGENDA ITEM NO. 1.

PUBLIC HEARINGS: The order of Business for the Public Hearing Shall Be:

- | | |
|--|--------------------------------------|
| A. Staff Presentation | D. Applicant Rebuttal (if necessary) |
| B. Applicant/Representative Presentation | E. Public Hearing Closed |
| C. Public Comments | F. Commission Discussion |

2. **SUBJECT:** **David Ridge** (Case No. 23-026/SUP/ARC): A Special Use Permit for the Architectural Review of a 24.5-foot-tall and 2,400 square foot garage/workshop that has been designed to match the existing home on a single-residential property located at 35648 Sundance Court; APN: 1242-101-17.

RECOMMENDATION: That the Planning Commission conduct a Public Hearing and:

- A) Review the architectural design of the proposed oversized structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and,
- D) Direct Staff to file a Notice of Exemption.

DISCUSSION:

The Planning Commissioners noted they had no ex parte communications to disclose.

Associate Planner Madeline Jordan presented the Agenda Report.

The applicant, David Ridge informed the Commissioners that there will be a water closet and sink under the stairwell at the project location.

Public Comments: No comments received.

ACTION: MOTION BY Commissioner Vick, SECOND BY Commissioner Snodgrass, CARRIED, 7-0-0-0, TO APPROVE AGENDA ITEM NO. 2.

3. **SUBJECT:** **Burchco, LLC** (Case No. 22-035/CUP/ARC/VAR): A Conditional Use Permit and Architectural Review for the construction of a self-storage facility, including four (4) one-story buildings and 781 individual units, that would yield a total of 122,150 square feet of storage space, as well as a Variance request to allow for a 0-lot line along both side property lines (east and west) of the subject site located at 31875 Dunlap Blvd (APN: 0301-121-28), which is similar to the adjacent property with a self-storage land use to the west.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and:

- A) Approve the Conditional Use Permit (Case No. 22-035), Variance request, subject to the Conditions of Approval as contained in this Agenda Report; and
- B) Review, and if it is considered acceptable, approve the architectural design and conceptual landscaping for the proposed Project; and
- C) Adopt the Conditional Use Permit as contained in this Agenda Report; and
- D) Adopt the Variance Findings as contained in this Agenda Report; and
- E) Adopt a Categorical Exemption pursuant to Section 15332 (Class 32), of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, and
- F) Direct staff to file a Notice of Exemption.

DISCUSSION:

The Planning Commissioners noted they had no ex parte communications to disclose.

Associate Planner Madeline Jordan presented the Agenda Item.

The applicant, Jay Rentz, informed the Commissioners that he is the owner of the Alpine Storage adjacent to the proposed project and that this site would help with their existing demand. He thanked Associate Planner Madeline Jordan for her efforts on the presentation. Mr. Rentz addressed the hours of operation and lighting concerns that were posed by Chair Allgower.

Commissioner Vick asked the applicant if the current facility has an on-site, 24-hour living manager. Mr. Rentz noted that there is a 24-hour manager on-site.

Public Comments: No comments received.

ACTION: MOTION BY Commissioner Snodgrass, SECOND BY Commissioner Chester, CARRIED, 7-0-0, TO APPROVE AGENDA ITEM NO. 3.

4. **SUBJECT: Premium Land Development on behalf of Yucaipa 52, LLC** Case No. 22-150/PDP/FDP/TTM 23075: A Planned Development project that includes a Preliminary Development Plan and Tentative Tract Map (TTM 20375)/Final Development Plan for the proposed Serrano Estates Project, which will establish 51 Single Family Residential lots on parcels greater than 12,000 square feet and averaging over 20,000 square feet, of which 41 of the lots will be age restricted to those over 55, several lettered lots for water quality basins, and a combined 12-acre area as part of a “Lot 52” and remainder lot that would include space for vineyards, and 13 acres of permanent open space, located on three existing parcels totaling 52 acres along the east side of Yucaipa Ridge Road directly south of the City limits to unincorporated San Bernardino County. APNs: 0320-161-08, 09, and 28.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and if the Planning Commission decides to ultimately support the approval of this proposal, recommend to the City Council that they:

- A) Adopt Resolution No. 2023-03, approving a Preliminary Development Plan for the Serrano Estates Project; and
- B) Approve Final Development Plan/Tentative Tract Map No. 20375 (Case No. 22-150/FDP/TTM 20375), subject to the Conditions of Approval as contained in this Agenda Report; and
- C) Adopt the Findings as contained in this Agenda Report; and
- D) Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and,
- E) Direct staff to file a Notice of Determination.

DISCUSSION:

The following ex parte communications were disclosed:

- Chair Allgower noted he met with a neighbor to the site during the review of 20-136 with the Planning Commission.
- Vice Chair Hicks noted that he also met with that resident with Chair Allgower, and the resident discussed the site plan.
- Commissioner Beck has no disclosures.
- Commissioner Chester noted that she spoke with the applicant’s representative regarding the project site, earthquake concerns and minor questions she had regarding the plans.
- Commissioner Higginson disclosed he received a call from the applicant’s representative the night before the meeting. He informed the applicant’s representative that he was still reviewing the agenda and plans, and that any questions he develops will be provided to staff and asked at the Planning Commission Meeting.

- Commissioner Snodgrass noted that she had questions on the staff report, and spoke with the applicant's representative to obtain clarification on a project detail. She also relayed to the developer that she prefers to see a reduction in the number houses, and that she also did not like the monument sign.
- Commissioner Vick disclosed that he spoke with applicant's representative regarding the general overview of the site plan. He noted that he also met with a resident in the North Bench about future commercialization of the area, though that discussion was not specific to the agenda item at hand.

Planning Manager/City Planner Ben Matlock presented the Agenda Item.

Planning Manager/City Planner and Assistant City Attorney Lauren Sanchez answer Commissioner questions regarding the proposed project.

The applicant's representatives, Travis Heaps and Craig Heaps of Premium Land Development, thanked Planning Manager/City Planner Ben Matlock for the detailed presentation. Travis Heaps informed the Commission that a homeowner's association will be formed to manage the property and to ensure that the units are being sold to residents of appropriate age requirement are met. Travis Heaps noted that SB9 and ADU's are available to every single-family property in the city and is intended for individual homeowners. Travis Heaped provided a summary of the history of the site.

PUBLIC COMMENT: Seventy-Eight speaker forms were received in total. Of those, forty speaker forms noted opposition to the Project but that those individuals did not wish to speak. Additionally, four speakers were called to provide testimony, but ultimately did not come up to speak.

1. Melony Martindale - Dewey Ave: She noted that she supports the project. She stated that people will want to live in a growing city and that this proposed project will result in a positive impact for the City of Yucaipa.
2. Dr. John Chavez Sousa - Nice Ave: He informed the Commission that he is the President of the Green Valley Foundation, and expressed that this project is something that will benefit the economic development in the city.
3. Anthony Peralta - 13th Street: He noted that this project was presented to the Commission last year, and that the concerns from the residents were heard. Their team have made revisions to address those concerns and are trying to get the project approved.
4. Ray Snodgrass - Walnut Grove Court: He informed the Commission that many of the undeveloped properties in the North Bench area are owned by Limited Liability Corporations, Limited Partnerships, or investment groups, and that those vacant parcels will be built in the future. He noted that now is the time to guide future development to protect as much land for open space and agriculture.
5. Ross McGinnis - Azurite Street: He acknowledged that the revised project is heading in the right direction, but still remains opposed to the Project and has concerns with ingress and egress issues.
6. Ryan Agadoni - Fremont Street: He informed the Commission that he is a North Bench resident and loves that area the way it is now, concluding that the proposed project is not the right project for the area.
7. Nino Valmassoi - Quartz Street: He expressed his frustration with having to sit quietly and not being able to verbalize their agreement with the opinions being expressed.

8. Teri Boon - Yucaipa Ridge Road: She informed the Commission that if you have a 1-acre parcel, under RL-1 you are allowed to have four livestock animals, whereas that would not be permitted with this Project. She read a letter on behalf of Alan Hillwig stating his opposition to the project.
9. Kevin Miskin - Ivy Street: He recommended that the Commission to reject the plans for the Serrano Estates in its current design, and instead support development that is consistent with the RL-1 and custom home overlay requirements.
10. Robin Miskin - Ivy Street: She requested that the Commission reject this plan. She noted safety concerns in the High Fire Risk Area, and that the development must be consistent with the RL-1 and custom home overlay requirements.
11. Hansen Wang - Quartz Street: He noted that he is not against development and also appreciates that certain things being improved with the current proposal. However, he reiterated his concerns with the number of homes proposed on the project, and asked that this plan be rejected.
12. Colleen Wang - Quartz Street: She noted that if you have cluster housing, you can't have rural living. She informed the Commission that the General Plan has a definite definition of what RL-1 zoning is, and you can't redefine it. She expressed traffic concerns on Quartz Street. Ms. Wang presented a copy of a Petition to Protect the North Bench from High-Density Development and Preserve the Rural Living Standards and One-Acre Minimum Lot Size with 891 signatures from Yucaipa residents.
13. Russ Caldwell - Ivy Ave: He noted that the applicant is trying to change the land use to fit their project, rather than to change the project to fit the land use standards of RL-1. He asked that the Commission not recommend this project to the City Council.
14. Kathleen Reynolds - Jade Court: She noted that the General Plan was put in place to guide development of the city and that it has been certified by the state. She noted that the revised project does not comply in any way, shape, or form with the RL-1 zoning. She asked that the General Plan be respected.
15. Heather Dent - County Line Rd: She informed the Commission that she felt that the Serrano Estate project is a disaster and had concerns of the high fire area, lack of buses and grocery stores that a senior community would desperately need.
16. Irmgart Mitchell - Colonial Drive: She explained the structure of the City of Yucaipa Organizational Chart, reminding the Commission that they and staff are here to represent the residents in the community.
17. Philip Schneider - Greenbrook Place: He expressed concern regarding a major discrepancy between this project and the General Plan, and that the lot sizes proposed on this project do not meet the minimum requirement of one acre per lot.
18. Brian Bleyenbergh - Fremont Street: He noted that the North Bench is a unique place in Southern California and would like to have the Developer come back and present a project with one acre lots.
19. Jan McFarland - Yunis Court: She noted that Yucaipa has a unique culture and lifestyle that would not be maintained with the proposed development. She stated the small lot sizes not accommodate the rural lifestyle which includes large animals and hobbies on private properties.
20. DeEsta West - Norton Ave: She noted concerns regarding the lot sizes proposed and wants to keep the one acre lots.
21. Stephen West - Norton Ave: He noted that he is opposed to the project due to fire concerns and doesn't understand that, even with mitigating factors, a project like this would be approved.
22. Kathy Sellers - Palermo Court: She shared an article she found on the internet about the Yucaipa Valley Wine Alliance efforts with the city to gain approval of an overlay to support a grape

growing wine making region. She noted that the Committee intended to aid the national designation somehow ended up with a housing proposal instead, and that the Alliance created a petition to oppose lot size reduction led by Donna Snodgrass. Ms. Sellers asked what had changed. She stated that residents were excited about protecting the rural environment while embracing just the vineyard development.

23. Joel McCabe - Fir Avenue: He noted that he was one of the 891 signatures obtained in the petition presented tonight. He stated that if the Serrano Estates project is approved, it will change the North Bench and the rural way of life it represents. He expressed concerns regarding the land development and zone changes, and is opposed to the re-zoning on the North Bench.
24. Tony Matlock - Lake Breeze Drive: He noted that he was a member of the Yucaipa Valley Wine Country Planning Committee established by the City. He informed the Commission that they tried to put together a plan that would include compromise and would still be able to move forward with it. He noted that he understands that people are afraid of change, but sometimes everyone must work at a compromise, consider all the facts, and make appropriate decisions.
25. Sara Cooper - Pendleton Road: She noted that she researched the Yucaipa General Plan and the Yucaipa General Plan Housing Element. She stated she is a longtime Yucaipa resident and enjoys her walks to local businesses. She noted the conflict she has is with a senior citizen planned community being so far away from Central Yucaipa, parks and related amenities.
26. David Duron - Panorama Drive: (Due to Mr. Duron's case of bronchitis, Teri Boon read a letter on his behalf.) Mr. Duron expressed concern regarding the value of vacant land to the aquifers in Yucaipa. He also noted his concern regarding the recent El Dorado Fire and the thousands of acres of valuable landscape that had burned, which has created ongoing problems with mudslides.
27. Maria Corn - Fremont Street: She noted traffic concerns and stated that she leaves her community about four times a day. She stated that she loves the rural community feeling and the open spaces that the city offers, and is opposed to track developments being built in the North Bench.
28. Cesar Roldan - Pendleton: He addressed Commissioner Higginson's question regarding pesticides and herbicides. He stated that he has been leading the development of vineyards in the community, and that they are currently trying to establish high standards for local vineyards. He noted that a current vineyard that is 8 to 10 years old has not had any herbicides applied to it. He stated that he is working with a community of wine growers, and that if an insect problem develops, they will use organic and natural solutions rather than any harmful chemicals to protect both the crops and surrounding environment. He informed the Commission that he is in favor of the project.
29. Matt Underwood - Diamond Street: He noted that the revised project is not substantially different from the one that was denied, and that the only key change was the location of the vineyard. He stated that this is not a good project and does not fit in with the surrounding community. He also has traffic, public transportation, and high fire area concerns.
30. Denise Work - Limekiln Drive: She noted she was a Planning Commissioner for twenty years. She stated the Wine Country Specific Plan has not been approved, and suggested that there is no reason to develop the area with homes and vineyards. She believes in capitalism, and would not have a problem with vineyards in the area, concluding that if there is a market and that the wine sells, that it would be great.
31. Sherry Todd - Quartz Street: She noted she is not opposed to development but is opposed to this development. She stated the project, as proposed, is not an improvement to the area and is therefore opposed.

32. Joshua Morgan - Fremont Street: (Audio of his message was played with approval from the Chair). He noted his family moved to the north bench to have a larger lot and open space, and requested the project not be approved.
33. Daniel Morgan - Fremont Street: He stated that developing lots that are less than one acre does not reflect the atmosphere and culture of the North Bench. He noted that the developer wants to develop for profit and that it is not the city's responsibility to approve changes simply based on the desire for a larger profit margin. He asked the Commissioners not to be the leaders that allow the community to dramatically change.
34. Marlin Feenstra - Goldstone Street: He stated that the project is proposing to use the Plan Development Review process instead of adhering to the existing development standards, and requested that the Commission deny the project.

The representative, Craig Heaps noted that the property was purchased in 2014 and that the property owner did what he could with the property at the time. He stated that the applicant met with City Staff and has spent the last 3 years trying to see the project through. He noted the residents simply do not want any development to occur in the North Bench, but that the owner has the right to be able to develop his property. Mr. Heaps informed the Commission that this project is not proposing cluster housing.

Craig Heaps stated that Premium Land Development did not donate to any campaign. He stated that Premium land Development has been doing business in Yucaipa since 2004.

Mr. Heaps noted that what they are doing is legal and the right thing to do with the land. He stated that they presented the best project that they can for that piece of land. Mr. Heaps noted that this is a 55 and over community not a Senior Care Home, Care Facility or clustered congregate housing.

Commissioner Chester asked the Assistant City Attorney, Lauren Sanchez for SB9 clarification. Assistant City Attorney Lauren Sanchez stated that SB9 applies to the City of Yucaipa but that the developer themselves would not qualify for SB9 splits, nor is it proposed with the current proposal.

Commissioner Hicks asked Assistant City Attorney Lauren Sanchez about splitting adjacent lots (in reference to SB9). Assistant City Attorney Lauren Sanchez informed Commissioner Hicks that an individual cannot split lots that are adjacent to one another, nor can they act in concert with someone else to split an adjacent lot or split the same parcel twice using SB9.

Commissioner Snodgrass asked if a traffic light would be installed on Juniper Street. Assistant City Engineer Katrina Kunkle noted that a traffic light is not conditioned to be installed. The condition is to complete a warrant analysis, and if it meets certain criteria for a traffic signal or stop sign, then they can be installed.

Commissioner Hicks noted that, as a Planning Commissioner, he was asked to be on the AVA Committee. He recognized that if we guide and support development that is controlled, we can help gain fifty percent of open space on it, whereas we might not be able to in the future. He referenced a discussion he had with the Redlands Conservancy about the general wine country efforts to preserve land that is otherwise permitted for residential development, and that their organization iterated that those types of concessions simply do not typically happen. He is asking for everyone to keep an open mind and try to preserve half

of the North Bench area. Commissioner Hicks thanked everyone for attending and appreciates the community outpour. He encourages the community to continue to stay involved.

The Public Hearing was then closed.

Commissioner Higginson noted that he listened to the August 2022 Planning Commission and the City Council Appeal Meeting. He noted that both the Planning Commission and City Council previously denied the project and made recommendations to the site layout. He stated that the applicant responded to all those recommendations. He informed the Commissioners that he drove the site, and that he only has some potential concerns with the setbacks between the new homes and the agrarian activities.

Commissioner Chester stated that she drove the site and was surprised with its current condition, including trash and debris hidden in the interior of the parcel. She noted that she used her economic background and used those numbers to help make an informed decision based on facts presented. She noted that this project would allow the streets to be improved and that it would likely increase surrounding home values. Commissioner Chester stated that this will create a positive economic impact for the City of Yucaipa.

Commissioner Beck thanked the community for attending the meeting.

Commissioner Vick noted that there are quite a few concessions in the General Plan to meet a demand that he feels does not currently exist in Yucaipa. He stated that he is not sure if he supports this development, and would like to see the project further modified and presented in a way it works for everyone.

Commissioner Hicks stated that he appreciates all the Commissioners and the work they all do.

Chair Allgower noted that he has been on the Commission for a while and has seen many projects over the years. He stated that he thinks this is a fairly good project and that this project would make a positive impact for the city.

ACTION: MOTION BY Commissioner Snodgrass, SECOND BY Commissioner Chester, CARRIED, 4-3-0-0, TO APPROVE TO RECOMMEND TO CITY COUNCIL AGENDA ITEM NO. 4.

ANNOUNCEMENTS: City Planner Benjamin Matlock thanked everyone for attending the meeting. He informed the Commissioners that he will be attending the Planning Commissioners Academy on March 29, 2023, to March 31, 2023, along with Commissioner Higginson and Commissioner Snodgrass.

ADJOURNMENT:

The meeting adjourned at 10:48 PM.

Benjamin Matlock
Planning Manager/City Planner

JR Allgower
Chair of the Planning Commission

**CITY OF YUCAIPA
DEVELOPMENT SERVICES DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners

FROM: Christian Farmer, Assistant Planner *CF*

FOR: Planning Commission Meeting of April 19, 2023

SUBJECT: **Pacific Horizons, LLC.** (Case No. 23-046/ARC): An Architectural Review associated with Tract Map 16268 for a 22-lot single-family development located at the southwest corner of Holmes Street and Wildwood Canyon Road; APN: 1242-191-10.

RECOMMENDATION:

That the Planning Commission review the proposed colors, materials, architectural designs, and conceptual landscaping for the 22-lot single family development associated with Tract 16268 and approve Case No. 23-046/ARC.

BACKGROUND:

Tentative Tract Map 16268 was originally approved by the Planning Commission at the regular meeting of July 21, 2004 as Case No. 04-054/TTM 16268. Subsequent to the original approval, the Project initiated the final mapping process, and was ‘timely filed’ pursuant to the Subdivision Map Act. After the approval of the Tentative Map, several key factors occurred that resulted in changes to the original design, including changes to water quality design requirements, changes to the Hillside Overlay, an update to the orientation of two of the lots, an added intersection signal on Holmes Street and Wildwood Canyon Road, and an update to the internal trail layout. These changes ultimately necessitated a revision (18-083/REV) to the Tentative Tract Map to ensure that the final map remained in substantial conformance to the City’s approval. This updated map has been in the Final Map check process and remains “timely filed” with those ongoing efforts.

A Mitigated Negative Declaration (MND) was prepared and adopted by the Planning Commission as part of the original Project approval. The MND prepared for this Project had considered the potential environmental impacts that could occur as a result of this Project. All available evidence indicated that any potentially significant impacts can be mitigated to a less-than-significant level, and these mitigation measures were incorporated into the original Conditions of Approval that were proposed for this Project.

DISCUSSION:

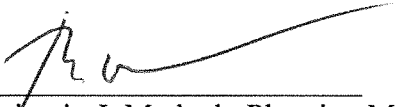
The proposed Project features homes which range in size from 4,209 square feet to 4,901 square feet. The design provides for a total of three (3) different floor plans, each with three (3) different Elevation Types. Plans One (1) and Two (2) are single-story floor plans and Plan Three (3) is a two-story plan. Elevation Option “A” is inspired by a “Farmhouse” style that features a mix of

vertical and horizontal lap siding with gabled roof elements and wood corbels, and dark stone veneer accents along the base. Option “B” has a strong “Craftsman” influence with horizontal lap siding, shutter accents around primary windows, a hipped roof, and light-toned stone veneer accents along the base. Finally, Option “C” reflects a “Prairie” architectural style which features neutral brown tones, stone veneer accents along the base, and wood band accents along the roofline of the front elevation to elongate the structure horizontally.

The Site Plan provided indicates the plotting layout for the different units for approval which meet the required setbacks for the Single Residential Land Use District. Any deviation may be subject to additional review, including a variance if there is an encroachment into the setbacks.

Attachments: Site Plan
Architectural Plan Packet (Floor Plans, Elevations, Colors and Materials)

Approved by:



Benjamin J. Matlock, Planning Manager/City Planner
Development Services Department





PLAN 1 FRONT ELEVATION -A



PLAN 1 FRONT ELEVATION -B



PLAN 1 FRONT ELEVATION -C

PACIFIC HORIZON HOMES
WILDWOOD CANYON
 TRACT 1626B
 YUCAIPA, CA.

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PLAN 2 FRONT ELEVATION-A



PLAN 2 FRONT ELEVATION-B



PLAN 2 FRONT ELEVATION-C

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PLAN 3 FRONT ELEVATION-A

PLAN 3 FRONT ELEVATION-B



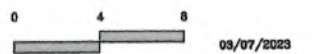
PLAN 3 FRONT ELEVATION-C

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EXTERIOR COLORS & MATERIALS

WILDWOOD CANYON

Yucaipa, California

Pacific Horizon Homes



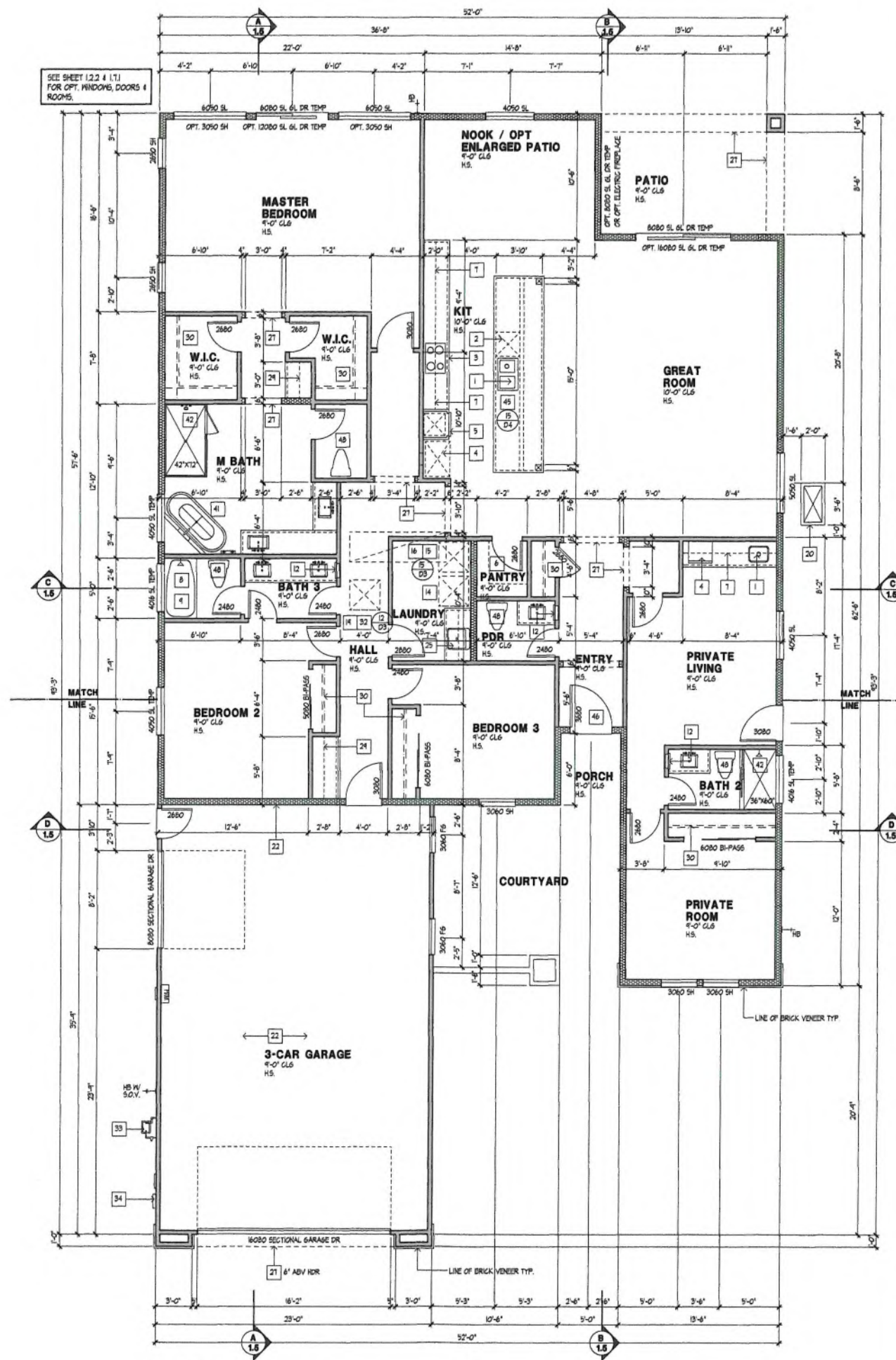
Scheme A		Omega Stucco	Eagle Roofing	Eldorado Stone	Vista Paint	James Hardie	03-07-2023 22059
Stucco	A1	10 Omega White - Finish 16/20 Sand					Stucco
Roofing	B1		4679 Light Gray Range - Bel Air				Roofing
Roofing	B2		4697 Slate Range - Bel Air				Roofing
Stone Veneer	C			Dark Rundle - Stacked Stone			Stone Veneer
Brick Veneer	D			Ironside - Tundra Brick			Brick Veneer
Trim 1	E				00 White		Trim 1
Trim 2 / Garage	F				0536 Subway		Trim 2 / Garage
Doors / Shutters	G				0536 Subway		Doors / Shutters
Lab Singing 1	H					Breaded Cedarmill - White House	Lab Singing 1
Lab Siding 2	H					Smooth - White House	Lab Siding 2

Scheme B		Omega Stucco	Eagle Roofing	Eldorado Stone	Vista Paint	James Hardie	
Stucco	A1	1A-439 - Finish 16/20 Sand					Stucco
Stucco	A2	3/4 A-364 - Finish 16/20 Sand					Stucco
Roofing	B1		679 Light Gray Range - Bel Air				Roofing
Roofing	B2		697 Slate Range - Bel Air				Roofing
Stone Veneer	C			Cottonwood - European Ledge			Stone Veneer
Stone Veneer	D			Whitecap - Ledgecut 33			Stone Veneer
Trim 1 / Garage	E				0011 Sugar Dust		Trim 1 / Garage
Trim 2	F				0542 Captain Nemo		Trim 2
Doors / Shutters	G				0535 Zen Retreat		Doors / Shutters
Lab Singing	H					Select Cadarmill - White House	Lab Singing

Scheme C		Omega Stucco	Eagle Roofing	Eldorado Stone	Vista Paint	James Hardie	
Stucco	A1	20 Floral White - Finish 16/20 Sand					Stucco
Roofing	B1		4687 Brown Gray Range - Bel Air				Roofing
Roofing	B2		4689 Brown Range - Bel Air				Roofing
Stone Veneer	C			Santa Fe - Stacked Stone			Stone Veneer
Stone Veneer	D			Cascade - Rustic Ledge			Stone Veneer
Trim 1	E				02116 Earthing		Trim 1
Trim 2 / Garage	F				0219 Camel's Hump		Trim 2 / Garage
Doors / Shutters	G				0221 Brown Suede		Doors / Shutters
Lab Singing	H					Rustic Cedar - White House	Lab Singing

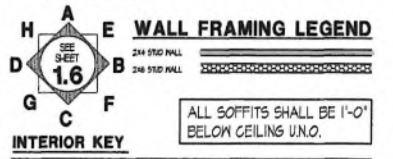
The color board represents approximate printable color only. Job color and texture will vary due to methods of application and job conditions. Please refer to the Color Matrix and material suppliers for colors

PLOT TIME: 12:11 PM PATH: \\NAME: G:\2023\22059 - WILDWOOD - YUCAIPA\CD\PLAN-1\22059 11 PLAN 1.DWG



FLOOR PLAN - A
SCALE: 1/8" = 1'-0"

- FLOOR PLAN NOTES**
- SINGLE BOWL, KITCHEN SINK WITH GARBAGE DISPOSAL. REFER TO INTERIOR ELEVATIONS.
 - DUAL IN DISHWASHER WITH AIR GAP. REFER TO INTERIOR ELEVATIONS.
 - DROP-IN COOKTOP RANGE WITH EXHAUST HOOD (MIN. 100 CFM).
 - PROVIDE 3" REFRIGERATOR SPACE. (PROVIDE PLUMBING RECESSED IN HALL FOR ICE MAKER).
 - 30" WIDE HIGH-CAPACITY OVEN OVER CONVENTIONAL OVEN REFER TO INTERIOR ELEVATIONS. VERIFY WITH MANUFACTURER SPEC'S.
 - PANTRY WITH ADJUSTABLE SHELVES UNO. REFER TO INTERIOR ELEVATIONS.
 - LINE OF CABINET/SHELF ABOVE. REFER TO INTERIOR ELEVATIONS.
 - PROVIDE CURTAIN ROD.
 - 32" X 60" FIBERGLASS TUB WITH SHOWER TO 10" A.F.F. WITH SHOWER HEAD AT 104" A.F.F.
 - 42" X 60" FIBERGLASS OVAL TUB ON 18" HIGH MOISTURE RESISTANT PLATFORM. FLOOR AND SHOWER HEAD AT 84" A.F.F.
 - 102" X 42" FIBERGLASS TUB/SHOWER WITH HANGGOT TO 18" ABOVE FINISH FLOOR AND SHOWER HEAD AT 84" A.F.F.
 - RECESSED MIRRORING CABINET. REFER TO INTERIOR ELEVATIONS.
 - SHOWER RESISTANT SHOWER ENCLOSURE-FULLY TEMPERED OR LAMINATED SAFETY GLASS.
 - HANDER SPACE (PROVIDE RECESS NICHES IN HALL FOR PLUMBING AND PROVIDE SHOWER LINE) PROVIDE SHUTTY PAN WITH DRAIN TO BE TIED INTO A FINISHED DRAIN BELOW WHEN WASHER IS LOCATED ON THE SECOND FLOOR).
 - DRYER VENT (VENT TO O.S.A.)
 - LINE OF EXHAUST VENT.
 - BACK DRAFT DAMPER.
 - GAS TANKLESS WATER HEATER
 - PROVIDE SEISMIC STRAPS.
 - PROVIDE P.T. RELIEF VALVE TO OUTSIDE OR APPROVED DRAIN.
 - SHALL BE NATURALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT ARE APPROVED AS PER TO THEIR LISTING.
 - THE GAS PIPING SERVING THIS APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER'S LISTED INSTALLATION INSTRUCTIONS AND THE 2019 CALIFORNIA PLUMBING CODE. ELEMENTS OF APPLIANCE WHICH CREATE A GLOW SPARK OR FLAME SHALL BE LOCATED A MINIMUM OF 18" ABOVE GARBAGE FLOOR (SIC 300.1).
 - SEE SHEET 69-2, DIVISION 12 SPECIALTIES (NOTE 1).
 - AIR HANDLERS (HEAT PUMPS) PER CMC. REFER TO GENERAL NOTES - DIVISION 15.
 - PROVIDE ROOF HOOD PLATFORM WITH RIG (14" MIN).
 - PROVIDE CONDENSATE LINE TO DRAIN OUTSIDE OR APPROVED TRAPPED DRAIN REFER TO HVAC DRAWINGS.
 - VERIFY SIZE AND CLEARANCE.
 - PROVIDE CONDENSATION AIR AS REQUIRED.
 - AIR CONDITIONER PAD. (VERIFY SIZE WITH MANUFACTURER)
 - E-STORE VANTY TOP AND 4" SPLASH
 - INTERIOR GARAGE FINISH. REFER TO SHEET 69-3.
 - 5/8" TYPE X GYPSUM BOARD AT OCCUPANCY SEPARATION TYP.
 - METAL FIREPLACE. REFER TO GENERAL NOTES - DIVISION 10.
 - 250.6AS APPLIANCE (REFER TO GENERAL NOTES - DIVISION 10)
 - REMOVED
 - OPTIONAL LAUNDRY SINK.
 - LINE OF SHELF. (REFER TO PLAN FOR HEIGHT)
 - LINE OF SOFFIT ABOVE. ELEV TYPE "A"-FLAT, "B" AND "C" ARCHED SEE INTERIOR.
 - LINE OF SHELF ABOVE. (REFER TO PLAN FOR HEIGHT)
 - LINE PAINTER HOOD C.T. (REFER TO INTERIOR ELEVATIONS)
 - SHelf AND POLE.
 - SHelf AND DOUBLE POLE.
 - 32 X 80" MIN. NOT LESS THAN THE LARGEST PIECE OF EQUIPMENT) MIN. 30" CLEAR HEADROOM ATTIC ACCESS - CIRC ROOTL. - CMC 404.3.1)
 - 6AS GO. SERVICE RISER. (VERIFY LOCATION WITH UTILITY CO.)
 - ELECTRIC SERVICE MAIN. PROVIDE UPFR GROUND. (VERIFY LOCATION WITH UTILITY COMPANY)
 - LOH HALL. (REFER TO PLAN FOR HEIGHT)
 - PROVIDE 1/2" GYPSUM BOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE UNDER STAIRS PER CMC SECTION 1003.1
 - RAILING - REFER TO DETAIL.
 - GUARDRAIL - REFER TO DETAIL.
 - HALL MOUNTED HANDRAIL - REFER TO DETAIL.
 - LINE OF FLOOR ABOVE.
 - PRESTANDING TUB- HP/6" STYLE TEO.
 - HAND MADE SHOWER PAN. SEE PLAN FOR SIZE.
 - DUCT CHASE.
 - REMOVED
 - KITCHEN ISLAND - SEE INTERIOR ELEVATIONS.
 - DEAD BOLT AT TOP AND BOTTOM OF ENTRY DOOR, AND TOP ONLY OF INTERIOR DOORS.
 - CEILING BREAK.
 - WATER CLOSET. (MAXIMUM 120 BALLONS PER FLUSH)
 - 56" HIGH STEEL PIPE BUMPER.
 - 42" X 12" FIBERGLASS OVAL TUB ON 18" HIGH MOISTURE RESISTANT PLATFORM.
 - RETURN AIR GRILL.
 - LINE OF FLOOR BELOW.
 - DESIKNER "DROPPED"



- GENERAL PLAN NOTES**
- ALL INTERIOR DOORS TO BE HOLLOW CORE | 3/8" THK. UNO. REFER TO PLAN FOR SIZE
 - ALL GARAGE MAIN DOORS TO BE HOLLOW CORE | 3/8" THK. EXT. GRADE. REFER TO PLAN FOR SIZE & SHEET 69-3 FOR ELEVATIONS
 - ALL HOSE TO GARAGE DOORS TO BE 30 MINS FIRE RATED OR SOLID CORE. SOLID WOOD OR HOLLOW CORE STEEL | 3/8" THK. WITH SELF CLOSURE AND SELF LATCHING AND TIGHT FITTING. REFER TO PLAN FOR SIZE
 - ALL ENTRY DOORS TO BE SOLID CORE | 3/4" THK. REFER TO PLAN FOR SIZE
 - PROVIDE 60 SQ. IN. OF MAKE UP AIR AT THE LAUNDRY ROOM. ITS REPLACE AIR BEING EXHAUSTED BY DRYER VENT AND EXHAUST FAN IF APPLICABLE PER CMC 504.3.2
 - CLOSET'S DRYER HOISTING EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST IS LIMITED TO 14" WITH TWO ELBOWS. THIS SHALL BE REDUCED 2" FOR EVERY ELBOW IN EXCESS OF TWO. A MINIMUM 4" DIAMETER SMOOTH AND METAL DUCT.

PLAN 1 SQUARE FOOTAGE

FLOOR PLAN	3,009	sq ft
PATIO	153	sq ft
GARAGE	822	sq ft
PORCH	30	sq ft
FRONT COURTYARD	225	sq ft

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Yucaipa, California



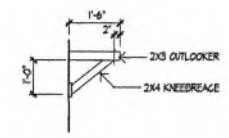
PROJECT INFO
PLAN 1
JOB NUMBER **22059**
PROJECT MGR. CH
DRAWN BY AD
PLOT DATE: 11-10-2022

SHEET TITLE
FLOOR PLAN
SHEET NUMBER
1.2

PLOT TIME: 12:22 PM PATHNAME: G:\2022\22059 - WILDWOOD - YUCAIPA\CD\PLAN-1\22059 14 ELEVATION 1.DWG

ELEVATION NOTES

1. 1/8" (3 GA) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCAFFOLD (REFER TO DETAIL)
3. TYPE 'B' VENT WITH GAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. 6:1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT O/ METAL LATH O/ BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALCS)
10. 3/8" RAFTER TAILS
11. REFS: FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF GELING
16. LINE OF ROOF ABOVE
17. DECORATIVE FOAM PIPE
18. TYPICAL EXTERIOR 'HARDIE' SIDING
19. DOWNEPOUT
20. SHUTTERS- PER BUILDERS SPECIFICATIONS
21. WOOD / FOAM CORDEL
22. COLUMN
23. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
24. BRICK VENEER
25. WOOD OUTLOOKER
26. SECTIONAL GARAGE DOOR
27. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
28. STONE VENEER
29. 14" X 18" 6:1 SCREENED AND LOVERED COMBUSTION AIR VENT



A WOOD KNEE BRACE

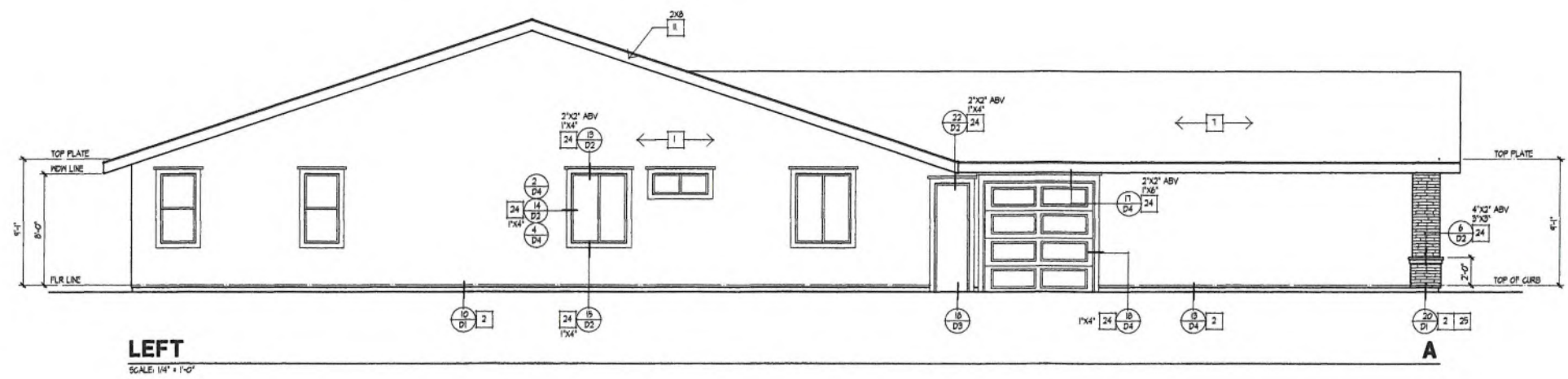
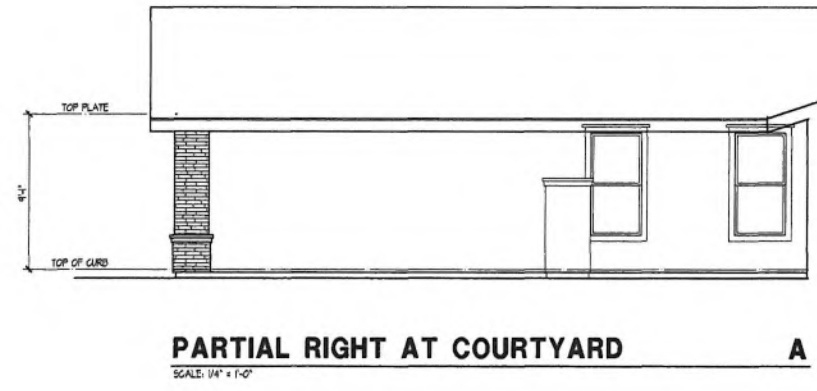
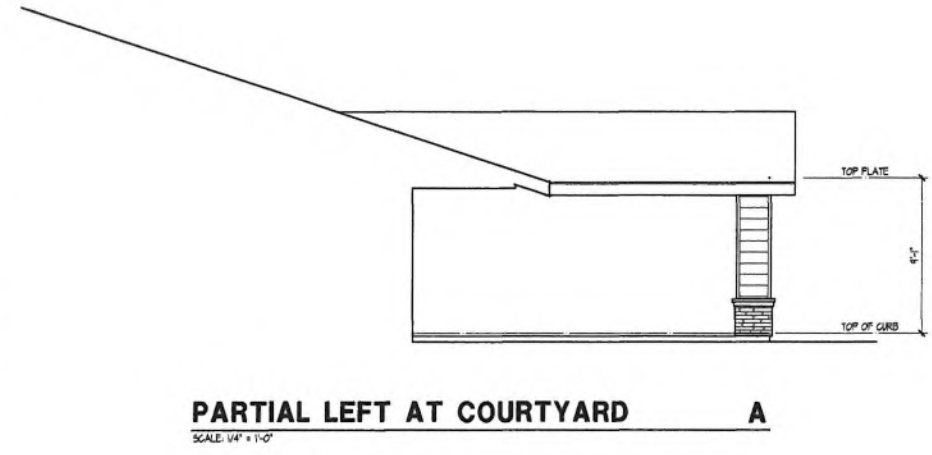
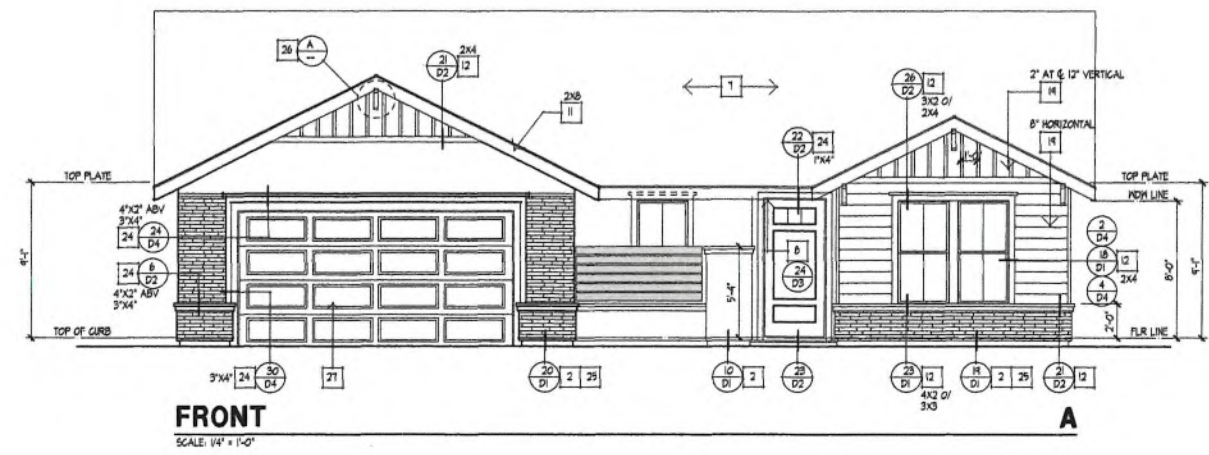
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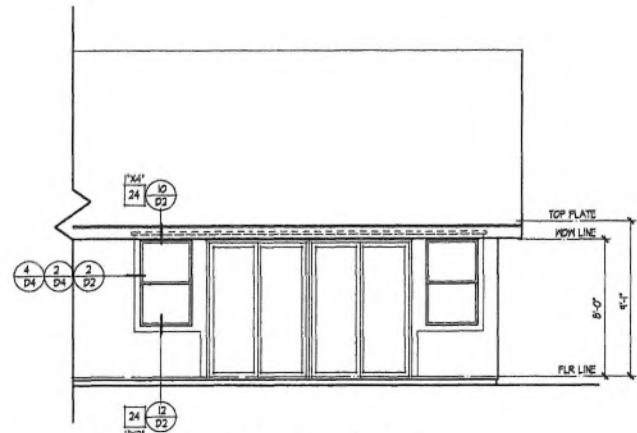
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 Yucaipa, California



PROJECT INFO
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 PROJECT MGR. **CM**
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 PLOT DATE: **11-10-2022**

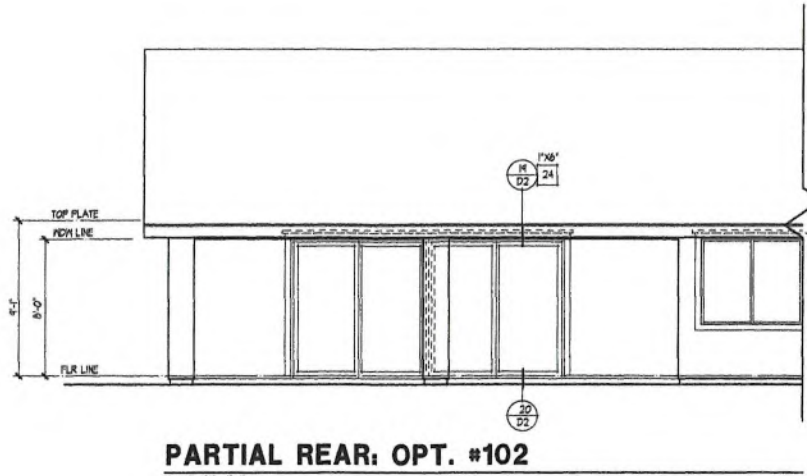
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**ELEVATION 'A'
 FRONT & LEFT
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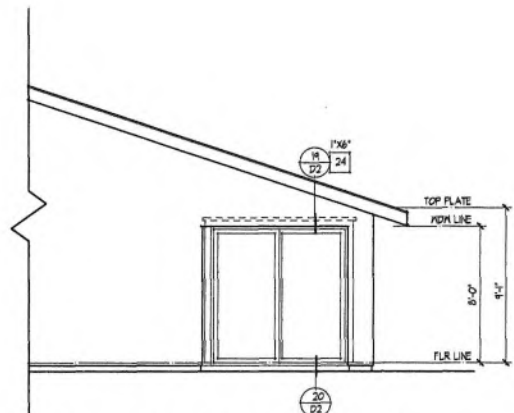
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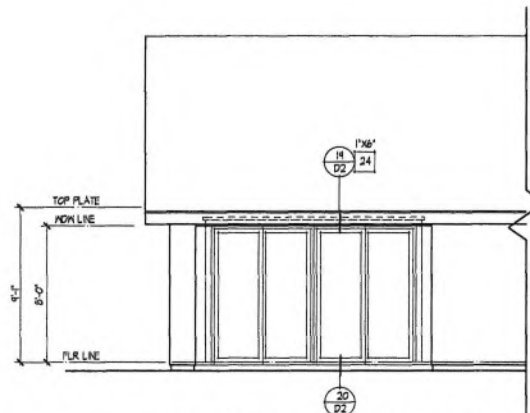
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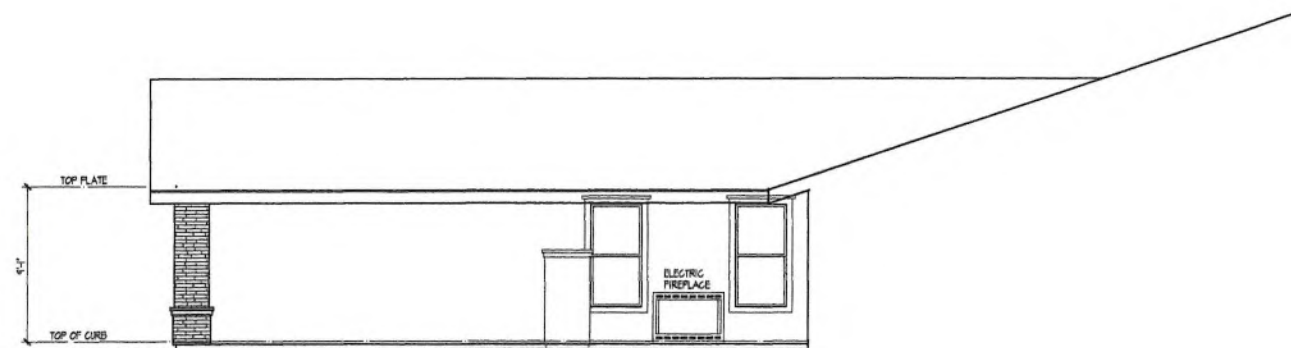
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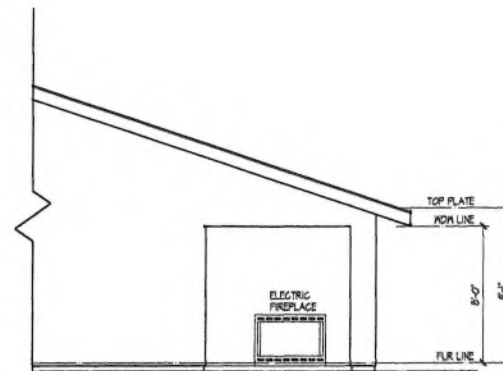
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SCALE: 1/4" = 1'-0"



PARTIAL RIGHT: OPT. #104

SCALE: 1/4" = 1'-0"



PARTIAL RIGHT: OPT. #105

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. 1/8" (3 GA) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS G.I. STUCCO SCREED (REFER TO DETAIL)
3. TYPE "B" VENT WITH CAP BY FIREPLACE MFR.
4. G.I. SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL - NON WORKING / 1-24
6. G.I. FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT OF METAL LATH OR BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
10. 3/8" RAFTER TAILS
11. KEYS / PASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM COREBEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL. (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" (6). SCREENDED AND LOVERED COMBUSTION AIR VENT



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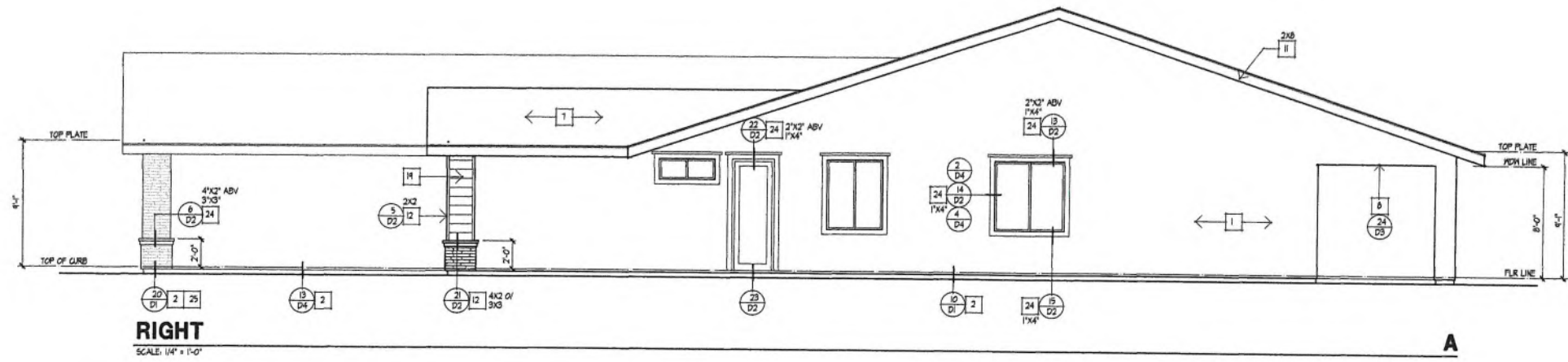
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PROJECT INFO
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PROJECT MGR. CH
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PLOT DATE: 11-10-2022

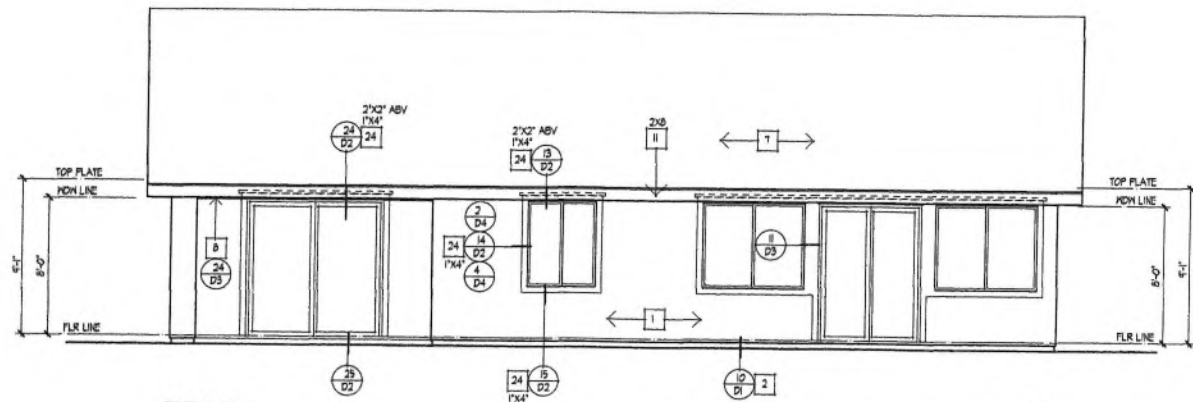
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ELEVATION OPTIONS
SHEET NUMBER
1.7.1

PLOT TIME: 12:22 PM PATHNAME: G:\2023\22059 - WILDWOOD - YUCAIPA\CD\PLAN-1\22059_14 ELEVATION 1.003



RIGHT
SCALE: 1/4" = 1'-0"

A



REAR
SCALE: 1/4" = 1'-0"

A

ELEVATION NOTES

1. 18" (3 COATS) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCRIBED (REFER TO DETAIL)
3. TYPE 'B' VENT WITH GAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. 6:1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT O/ METAL LATH O/ BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALCS)
10. 3x8 RAFTER TAILS
11. REIS FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 60 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNSPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM GORDEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL. (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 6:1 SCREENED AND LOUVERED COMBUSTION AIR VENT



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NO.	DATE	REVISION

PACIFIC HORIZON HOMES

WILDWOOD CANYON

Yucaipa, California



PROJECT INFO

PLAN 1

JOB NUMBER **22059**

PROJECT MGR. **GM**

DRAWN BY **AD**

PLOT DATE: 11-10-2022

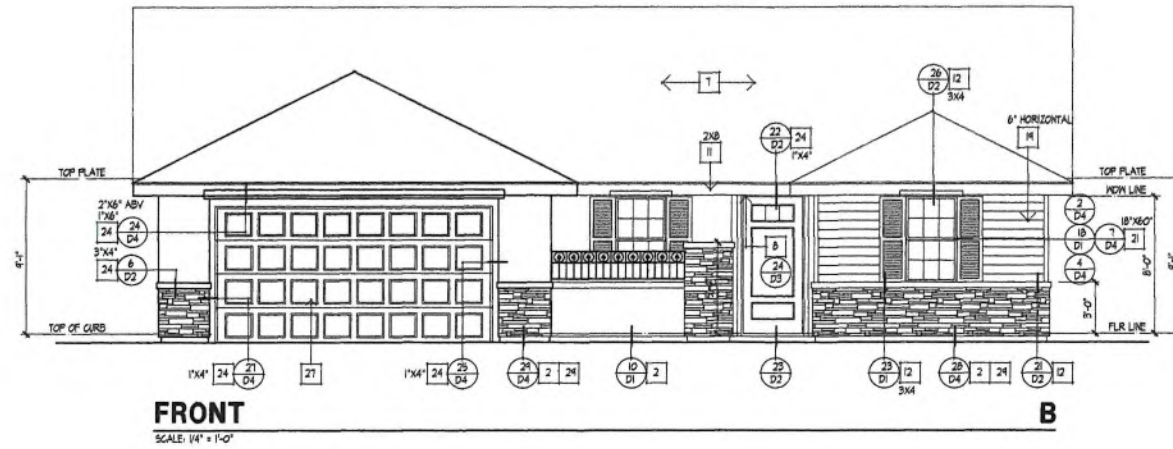
SHEET TITLE

**ELEVATION 'A'
RIGHT & REAR
ELEVATIONS**

SHEET NUMBER

1.8

PLOT TIME: 12:22 PM PATHNAME: G:\2022\22059 - WILDWOOD - YUCAIPA\CD\PLAN-1\22059 14 ELEVATION 1.DWG



FRONT
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES**
1. 1/8" (3 CONTIGUOUS) (REFER TO GENERAL NOTES)
 2. CONTIGUOUS 6. STUCCO SCREED (REFER TO DETAIL)
 3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
 4. 6.1 SADDLE AND FLASHING
 5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / 1-24
 6. 6.1 FLASHING
 7. ROOF MATERIAL (REFER TO ROOF NOTES)
 8. STUCCO SOFFIT @ METAL LATH @ BUILDING PAPER
 4. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
 10. 3/8" RAFTER TAILS
 11. REIS FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE
 12. HARDIE TRIM SEE ELEVATIONS FOR SIZE
 13. CULTURED STONE- 50 CAL STONE SOLUTIONS
 14. POT SHELF (REFER TO DETAIL)
 15. LINE OF CEILING
 16. LINE OF SHELF
 17. LINE OF ROOF ABOVE
 18. DECORATIVE FOAM PIPE
 19. TYPICAL EXTERIOR/HARDIE SIDING
 20. DOWNSPOUT
 21. SHUTTERS- PER BUILDERS SPECIFICATIONS
 22. WOOD / FOAM CORBEL
 23. COLUMN
 24. FINISH COAT OVER FOAM TRM (REFER TO DETAIL)
 25. BRICK VENEER
 26. WOOD OUTLOOKER
 27. SECTIONAL GARAGE DOOR
 28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
 29. STONE VENEER
 30. 14" X 18" 6.1. SCREENED AND Louvered COMBUSTION AIR VENT

KPI Inc.

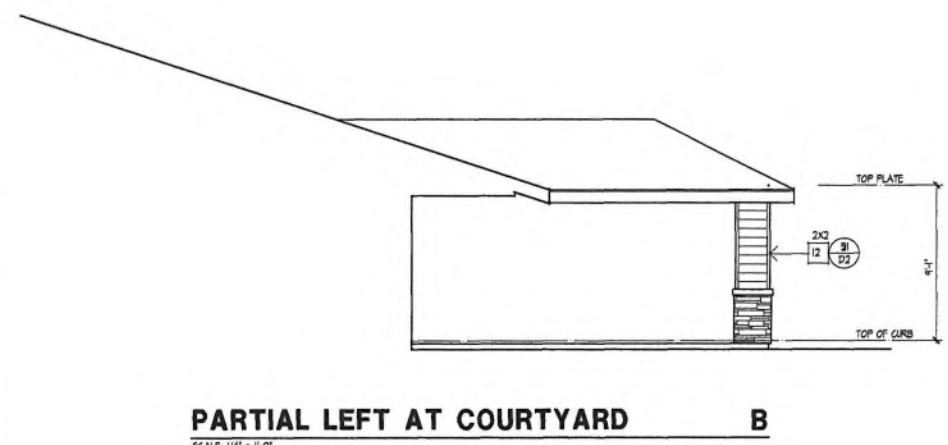
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architecture & planning

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IRVINE, CALIFORNIA 92614
PHONE: (949) 752-1177
FAX: (949) 752-0151
WWW.KNITTER.COM

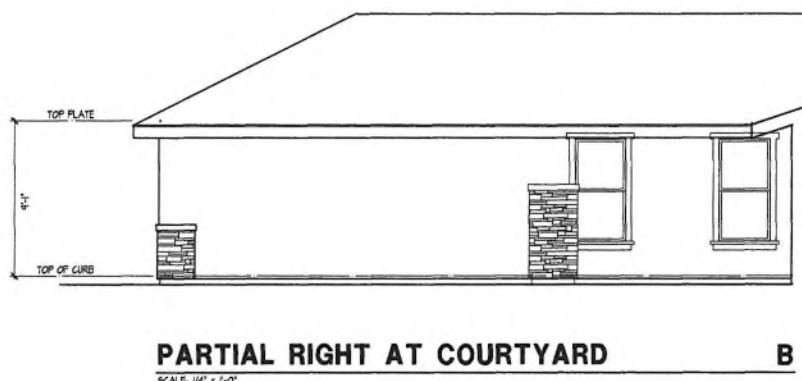
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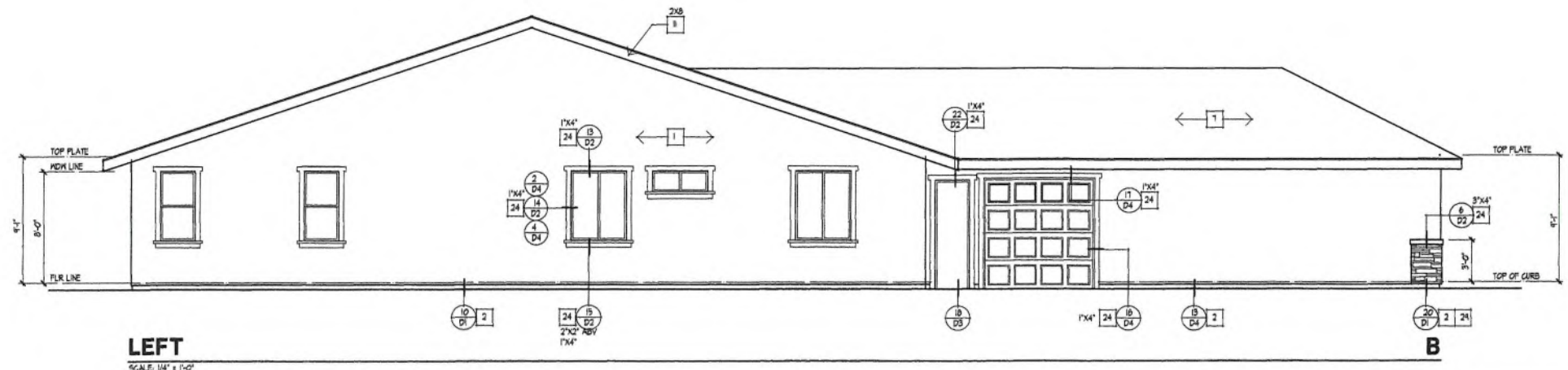
NO.	DATE	REVISION
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PARTIAL LEFT AT COURTYARD B
SCALE: 1/4" = 1'-0"



PARTIAL RIGHT AT COURTYARD B
SCALE: 1/4" = 1'-0"



LEFT
SCALE: 1/4" = 1'-0"

SEE SHEET 1.2J FOR
APPENDIX INFORMATION
PER ELEVATION

PACIFIC HORIZON HOMES

WILDWOOD CANYON

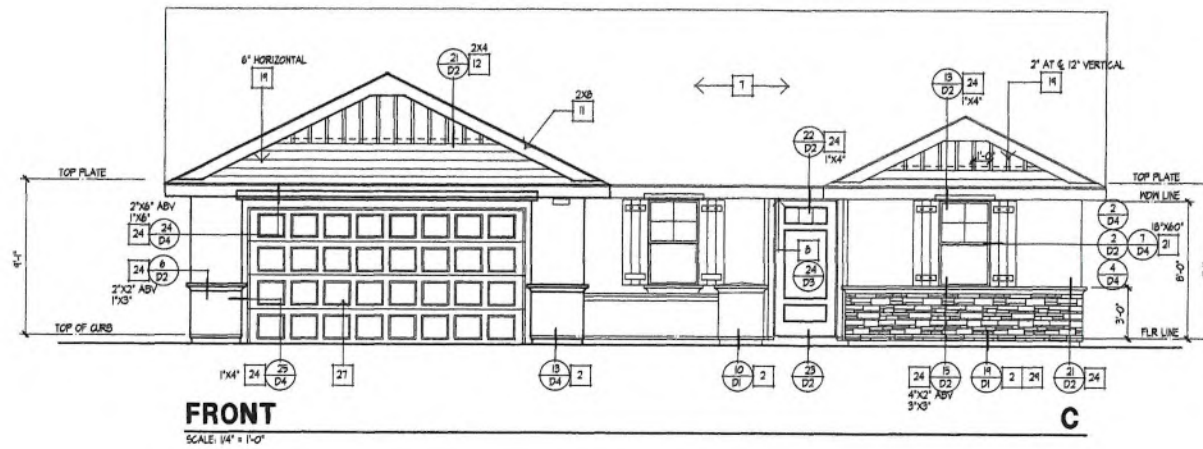
Yucaipa, California



PROJECT INFO
PLAN 1
JOB NUMBER **22059**
PROJECT MGR. CH
DRAWN BY AD
PLOT DATE: 11-10-2022

SHEET TITLE
**ELEVATION 'B'
FRONT & LEFT
ELEVATIONS**
SHEET NUMBER
1.9

PLOT TIME: 12:22 PM PAKNAME: 6:\2022\22059 - WILDWOOD - HDG\PA\CD\PLAN-1\20259 14 ELEVATION 1.DCS



FRONT
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. 1/8" (3 COATS) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS G.I. STUCCO SCREEN (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. G.I. SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL - NON WORKING / 1-24
6. G.I. FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT (METAL LATH OF BUILDING PAPER)
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALCS)
10. 3/4" RAFTER TAILS
11. NEW FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNSPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. MOOD / FOAM CORDEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM (REFER TO DETAIL)
25. BRICK VENEER
26. MOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" G.I. SCREENED AND LOUVERED COMBUSTION AIR VENT

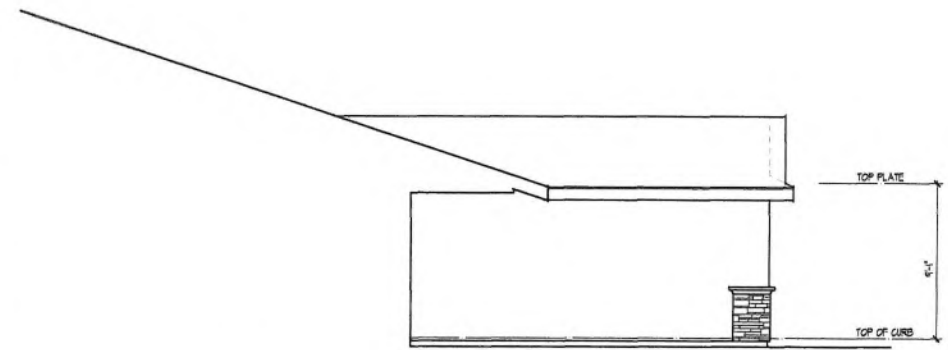
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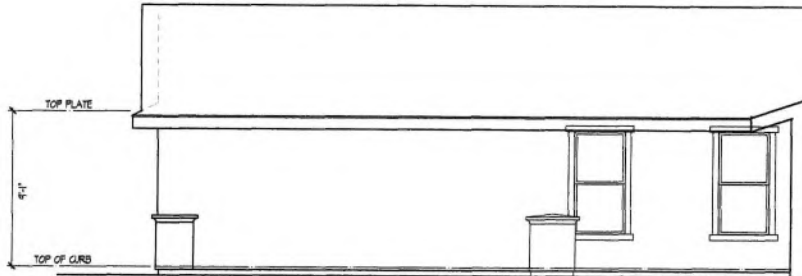
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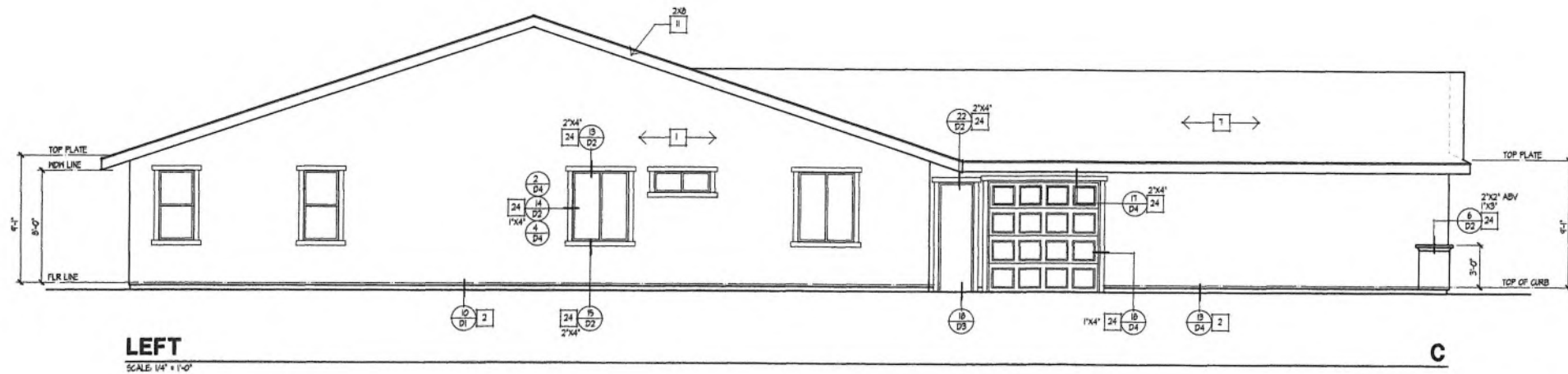
NO.	DATE	REVISION



PARTIAL LEFT AT COURTYARD
SCALE: 1/4" = 1'-0"



PARTIAL RIGHT AT COURTYARD
SCALE: 1/4" = 1'-0"



LEFT
SCALE: 1/4" = 1'-0"

SEE SHEET (2) FOR
 ADDENDA INFORMATION
 PER ELEVATION

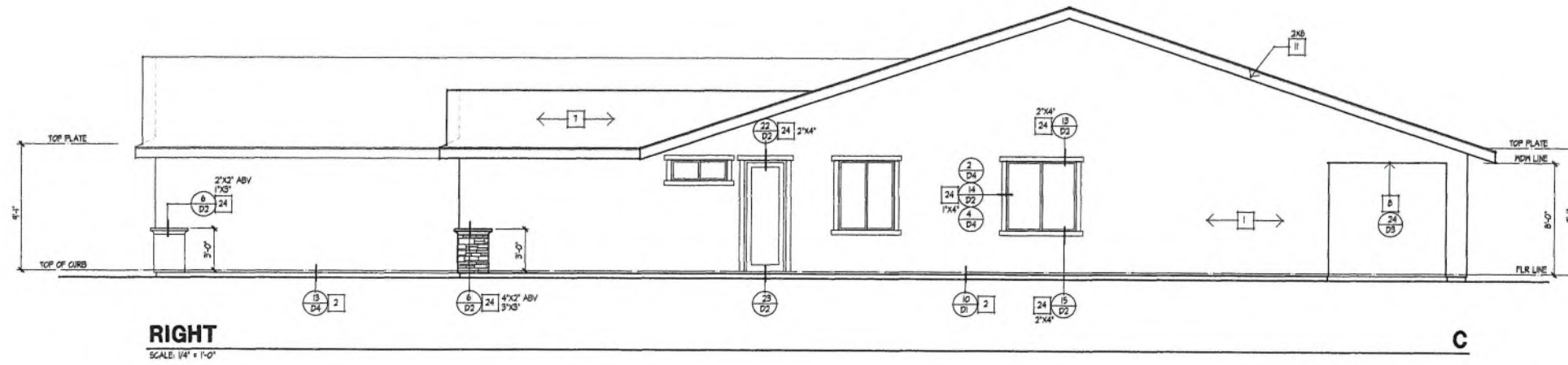
PACIFIC HORIZON HOMES
WILDWOOD CANYON
 Yucaipa, California



PROJECT INFO
PLAN 1
 JOB NUMBER **22059**
 PROJECT MGR. CH
 DRAWN BY AD
 PLOT DATE: 11-10-2022

SHEET TITLE
**ELEVATION 'C'
 FRONT & LEFT
 ELEVATIONS**
 SHEET NUMBER
1.11

PLOT TIME: 12:22 PM PARTNAME: G:\2022\22059 - WILDWOOD - YUCAIPA\CD\PLAN-1\22059 14 ELEVATION 1.DWG



RIGHT
SCALE: 1/4" = 1'-0"

C

ELEVATION NOTES

1. 1/8" (3 GA) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCREEN (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. G.I. FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT (METAL LATH OF BUILDING PAPER)
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALLS)
10. 3/8" RAFTER TAILS
11. REAR FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. HOOD / FOAM CORBEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. HOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 6:1 SCREENED AND LOUVERED COMBUSTION AIR VENT



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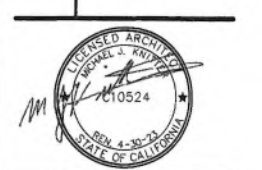
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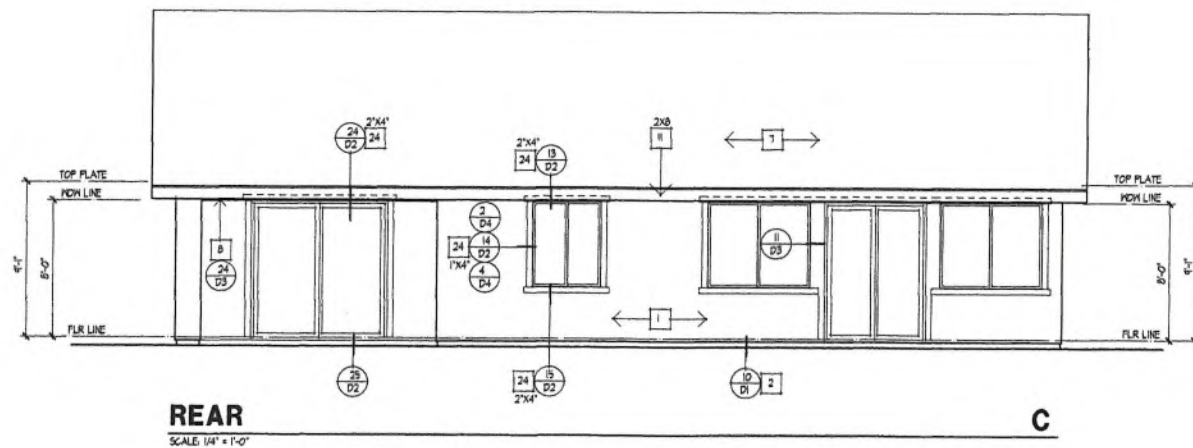
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Yucaipa, California



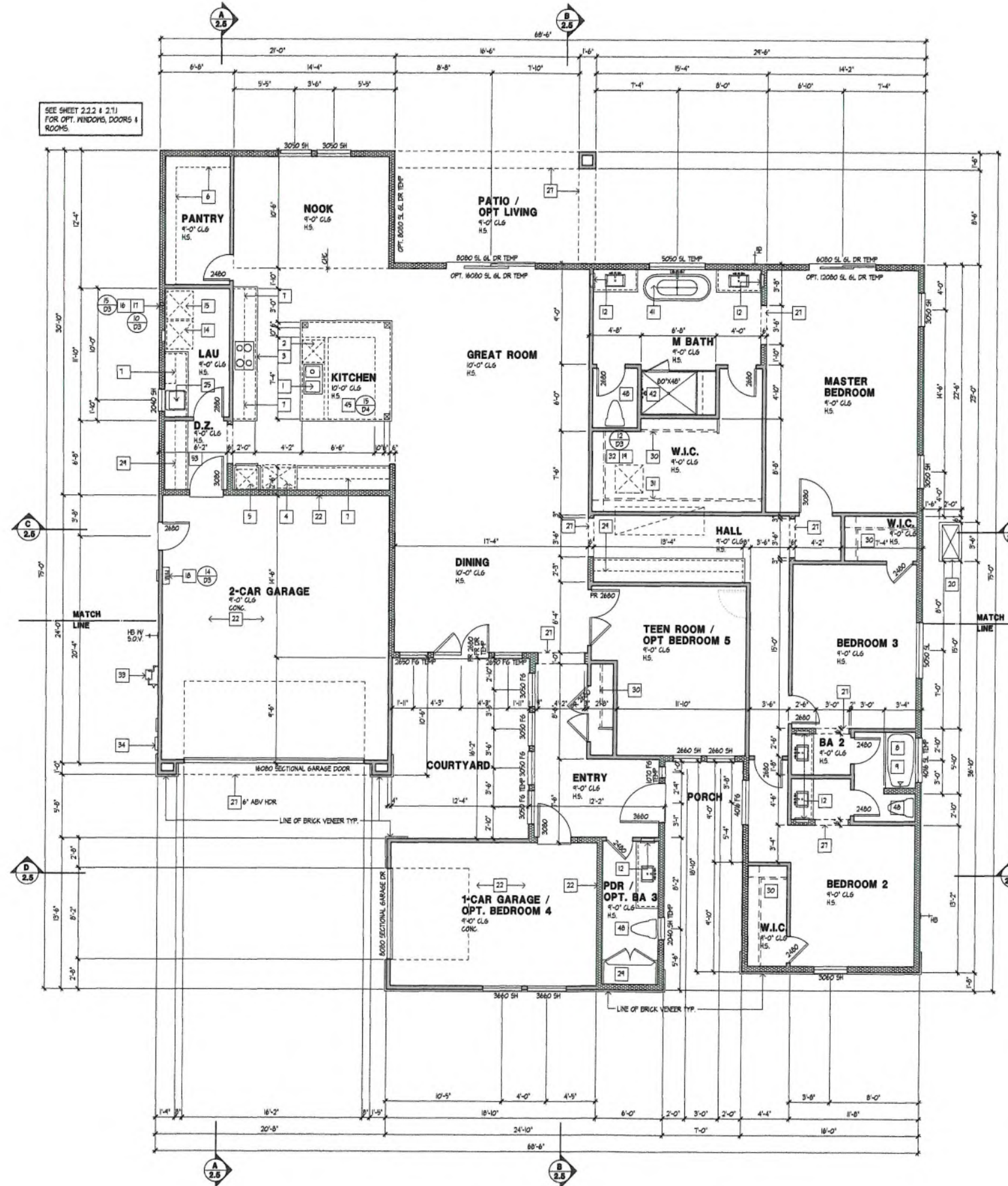
PROJECT INFO
PLAN 1
JOB NUMBER **22059**
PROJECT MGR. **CM**
DRAWN BY **AD**
PLOT DATE: 11-10-2022

SHEET TITLE
**ELEVATION 'C'
RIGHT & REAR
ELEVATIONS**
SHEET NUMBER
1.12



REAR
SCALE: 1/4" = 1'-0"

C



FLOOR PLAN - A
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- 1. SINGLE BOWL KITCHEN SINK WITH GARABAGE DISPOSAL. (REFER TO INTERIOR ELEVATIONS)
- 2. BUILT-IN DISHWASHER WITH AIR GAP. (REFER TO INTERIOR ELEVATIONS)
- 3. DROP-IN COOKTOP RANGE WITH EXHAUST HOOD (MIN. 100 CFM)
- 4. PROVIDE 3" REFRIGERATOR SPACE. (PROVIDE PLUMBING RECESSED IN HALL FOR ICE MAKER)
- 5. 30" WIDE MICROWAVE OVEN OVER CONVENTIONAL OVEN (REFER TO INTERIOR ELEVATIONS. VERIFY WITH MANUFACTURER'S SPEC'S)
- 6. PANTRY WITH ADJUSTABLE SHELVES U.N.G. (REFER TO INTERIOR ELEVATIONS)
- 7. LINE OF CABINET/SHELF ABOVE. (REFER TO INTERIOR ELEVATIONS)
- 8. PROVIDE CURTAIN ROD.
- 9. 33" X 60" FIBERGLASS TUB WITH SHOWER TO 12" A.F.F. WITH SHOWER HEAD AT 84" A.F.F.
- 10. 42" X 60" FIBERGLASS OVAL TUB ON 18" HIGH MOISTURE RESISTANT PLATFORM.
- 11. 102" X 42" FIBERGLASS TUB/SHOWER WITH PANCOAT TO 78" ABOVE FINISH FLOOR AND SHOWER HEAD AT 84" A.F.F.
- 12. RECESSED MIRRORING CABINET. (REFER TO INTERIOR ELEVATIONS)
- 13. SHOWER RESISTANT SHOWER ENCLOSURE-FULLY TIE-ROD OR LAMINATED SAFETY GLASS
- 14. WASHER SPACE PROVIDE RECESS NICHES IN HALL FOR PLUMBING AND PROVIDE WASTE LINE (PROVIDE "SHITTY PAN" WITH DRAIN TO BE TIED INTO A FUTURE DRAIN BELOW WASHER IS LOCATED ON THE SECOND FLOOR)
- 15. DRYER SPACE. (VENT TO G.S.A.)
- 16. LINE OF EXHAUST VENT
- 17. BACK DRAFT DAMPER
- 18. GAS TANKLESS WATER HEATER - PROVIDE BRACKING STRAPS - PROVIDE 1/2" RELIEF VALVE TO OUTSIDE OR APPROVED DRAIN - SHALL BE MANUFACTURER LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTION THAT WERE APPROVED AS PER TO THEIR LISTING - THE GAS PIPING SERVING THIS APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER'S LISTED INSTALLATION INSTRUCTIONS AND THE 2019 CALIFORNIA PLUMBING CODE. ELEMENTS OF APPLIANCES WHICH CREATE A SLURR SPARING OR FLAME SHALL BE LOCATED A MINIMUM OF 18" ABOVE GARAGE FLOOR. (CFC 308.1) - SEE SHEET 20-2, DIVISION 10, SPECIALTIES (NOTE 1)
- 19. AIR HANDLING UNIT (AHU) PER CAC. (REFER TO GENERAL NOTES - DIVISION 10) - PROVIDE RIGID FOOD PLATFORM WITH RAS (14" MIN) - PROVIDE CONDENSATE LINE TO DRAIN OUTSIDE OR APPROVED TRAPPED DRAIN (REFER TO HVAC DRAWINGS) - VERIFY SIZE AND CLEARANCE - PROVIDE CONDENSATE AND AS REQUIRED.
- 20. AIR CONDITIONER PAD. (VERIFY SIZE WITH MANUFACTURER)
- 21. 2-STONE VANITY TOP AND 4" SPLASH
- 22. INTERIOR GARAGE FINISH. (REFER TO SHEET 20-1)
- 23. 5/8" TYPE X GYPSUM BOARD AT OCCUPANCY SEPARATION TYP.
- 25A. METAL FIREPLACE. (REFER TO GENERAL NOTES - DIVISION 10)
- 23B. GAS APPLIANCE (REFER TO GENERAL NOTES - DIVISION 10)
- 24. REMOVED
- 25. OPTIONAL LAUNDRY SINK
- 26. LINE OF SHELF. (REFER TO PLAN FOR HEIGHT)
- 27. LINE OF SHELF ABOVE. ELEV TYPE "A", "FLAT", "B" AND "C" ARCHED SEE INTERIORS
- 28. LINE OF SHELF ABOVE. (REFER TO PLAN FOR HEIGHT)
- 29. LINEN. PAINTED WOOD C. (REFER TO INTERIOR ELEVATIONS)
- 30. SHELF AND POLE
- 31. SHELF AND DOUBLE POLE
- 32. 22 X 30" HIL, NOT LESS THAN THE LARGEST PIECE OF EQUIPMENT HIL. 30" CLEAR HEADROOM ATTIC ACCESS - CFC R202.1 - CFC 404.1.1)
- 33. GAS CO. SERVICE RISER. (VERIFY LOCATION WITH UTILITY CO.)
- 34. ELECTRIC SERVICE MAIN, PROVIDE UFER GROUND. (VERIFY LOCATION WITH UTILITY COMPANY)
- 35. LOW HALL. (REFER TO PLAN FOR HEIGHT)
- 36. PROVIDE 1/2" GYPSUM BOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE UNDER STAIRS PER CAC DETAIL, R302.1
- 37. RAILING - REFER TO DETAIL (23)
- 38. GUARDRAIL - REFER TO DETAIL (23)
- 39. HALL MOUNTED HANDRAIL - REFER TO DETAIL (23)
- 40. LINE OF FLOOR ABOVE.
- 41. PRESTANDING TUB - (FIB) / STYLE TYP.
- 42. HAND MADE SHOWER PAN. SEE PLAN FOR SIZE.
- 43. DUCT CHASE.
- 44. REMOVED
- 45. KITCHEN ISLAND - SEE INTERIOR ELEVATIONS.
- 46. DEAD BOLT AT TOP AND BOTTOM OF ENTRY DOOR, AND TOP ONLY OF INTERIOR DOORS.
- 47. CEILING BREAK.
- 48. WATER CLOSET. (MAXIMUM 120 BALLONS PER FLUSH)
- 49. 38" HIGH STEEL PIPE DAMPER.
- 50. 42" X 12" FIBERGLASS OVAL TUB ON 18" HIGH MOISTURE RESISTANT PLATFORM.
- 51. RETURN AIR GRILL
- 52. LINE OF FLOOR BELOW
- 53. DESIGNER "DROPZONE"

WALL FRAMING LEGEND

2 1/2 24" STD WALL
2 1/2 24" STD WALL
2 1/2 24" STD WALL
2 1/2 24" STD WALL
2 1/2 24" STD WALL
2 1/2 24" STD WALL

ALL SOFFITS SHALL BE 1'-0" BELOW CEILING U.N.O.

INTERIOR KEY

- GENERAL PLAN NOTES**
- 1. ALL INTERIOR DOORS TO BE HOLLOW CORE (3/8" THK. U.N.G. REFER TO PLAN FOR SIZE)
 - 2. ALL GARAGE MAIN DOORS TO BE HOLLOW CORE (3/8" THK. EXT. GRADE. REFER TO PLAN FOR SIZE & SHEET 20-3 FOR ELEVATIONS)
 - 3. ALL HOUSE TO GARAGE DOORS TO BE 30 MINUTE FIRE RATED OR SOLID CORE, SOLID FIBER OR HOLLOW CORE STEEL, 1/2" THK. WITH SELF CLOSER AND SELF LATCHING AND TIGHT FITTING. (REFER TO PLAN FOR SIZE)
 - 4. ALL ENTRY DOORS TO BE SOLID CORE (3/4" THK. REFER TO PLAN FOR SIZE)
 - 5. PROVIDE 100 SQ. IN. OF MAKE UP AIR AT THE LAUNDRY ROOM (DO NOT REPLACE AIR BEING EXHAUSTED BY DYER VENT AND EXHAUST FAN IF APPLICABLE) PER CAC 304.3.2
 - 6. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. DAMPER IS LIMITED TO 14" WITH TWO ELBOWS THIS SHALL BE REDUCED 2" FOR EVERY ELBOW IN EXCESS OF TWO. A MINIMUM 4" DIAMETER SMOOTH AND METAL DUCT

PLAN 2 SQUARE FOOTAGE

FLOOR PLAN	3,117	sq ft
PATIO	180	sq ft
1-CAR GARAGE	258	sq ft
2-CAR GARAGE	499	sq ft
PORCH	51	sq ft
FRONT COURTYARD	198	sq ft

FOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUD



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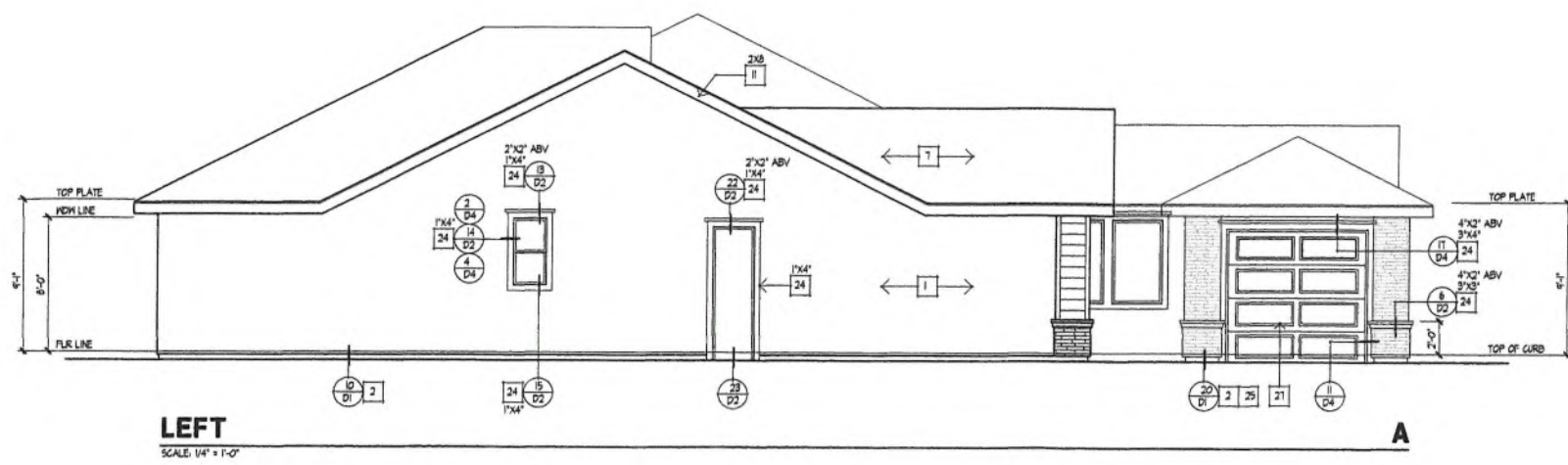
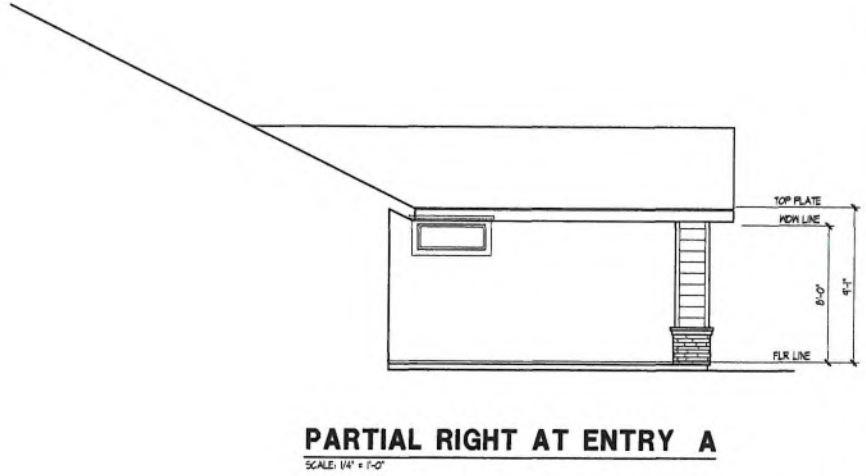
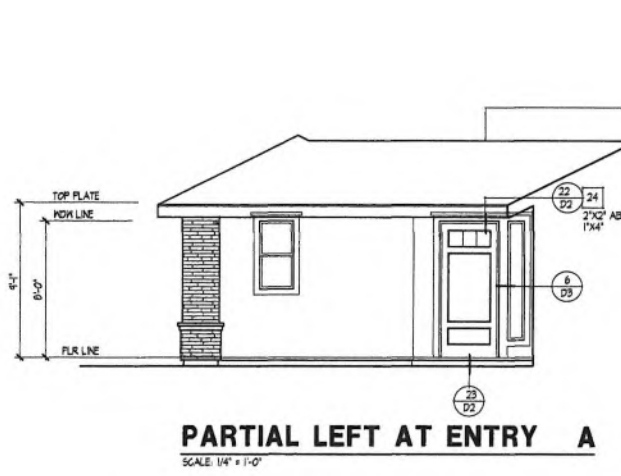
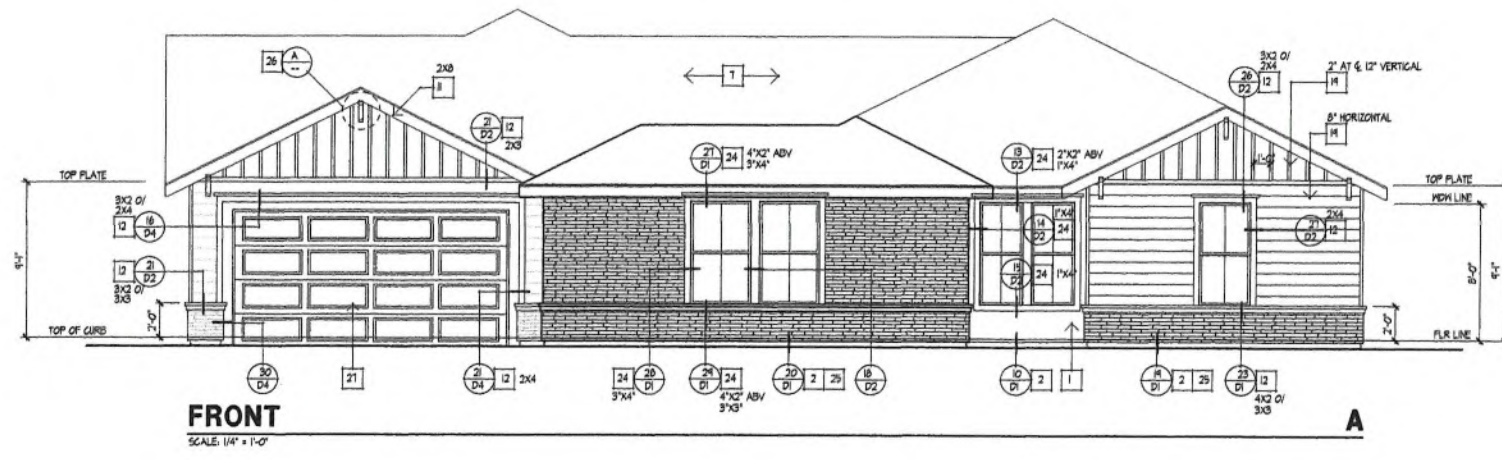


PROJECT INFO

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JOB NUMBER	22059
PROJECT MGR.	CM
DRAWN BY	AD
PLOT DATE:	11-10-2022

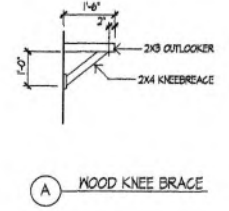
SHEET TITLE
FLOOR PLAN & OPTION
SHEET NUMBER
2.2

PLOT TIME: 12:34 PM PATHNAME: G:\2022\22059 - WILDWOOD - YUCAIPA\CD\PLAN-2\22059 24 ELEVATION 2.DWG



ELEVATION NOTES

1. 7/8" (3 COATS) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCREED (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. G.I. SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT / METAL LATH / BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALCUS)
10. 2x6 RAFTER TAILS
11. REAS PASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
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28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
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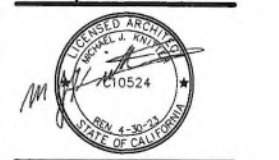
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NO.	DATE	REVISION

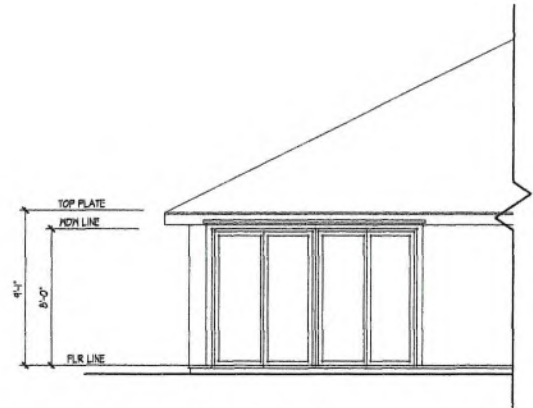
PACIFIC HORIZON HOMES
WILDWOOD CANYON
Yucaipa, California



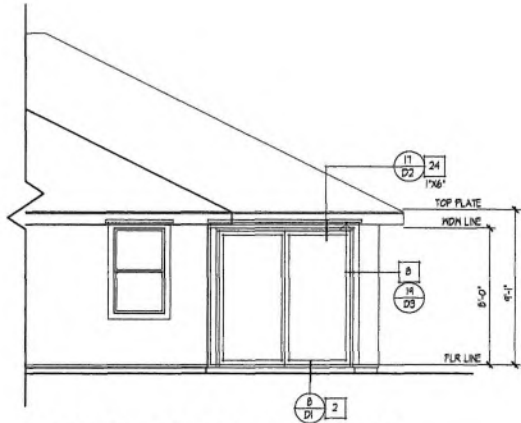
PROJECT INFO
PLAN 2
JOB NUMBER **22059**
PROJECT MGR. **CM**
DRAWN BY **AD**
PLOT DATE: **11-10-2022**

SHEET TITLE
**ELEVATION 'A'
FRONT & LEFT
ELEVATIONS**
SHEET NUMBER
2.7

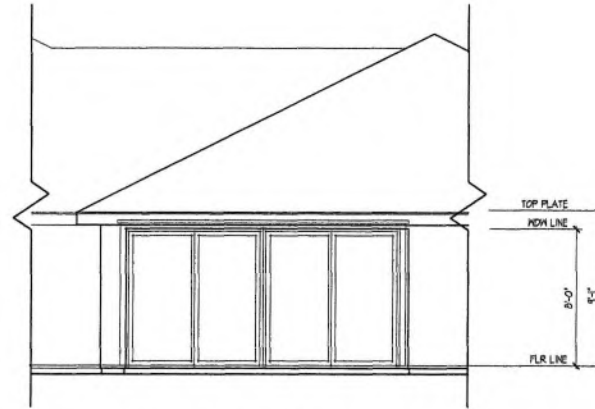
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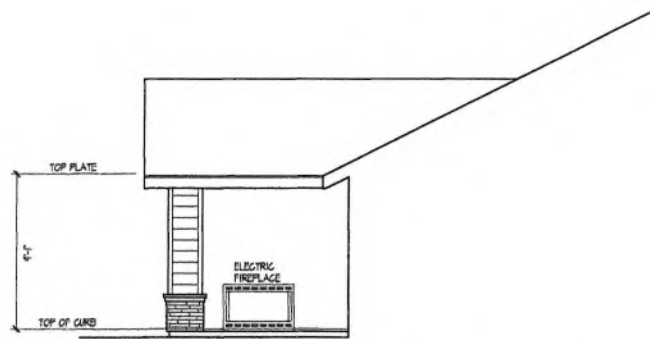
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SCALE: 1/4" = 1'-0"



PARTIAL RIGHT: OPT. #203
SCALE: 1/4" = 1'-0"



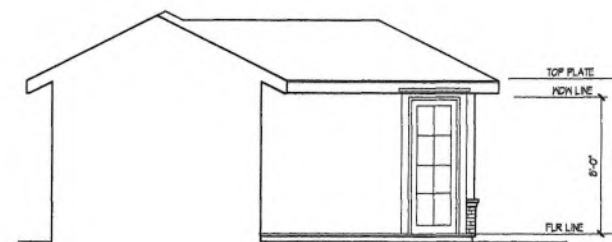
PARTIAL REAR: OPT. #203
SCALE: 1/4" = 1'-0"



PARTIAL RIGHT: OPT. #204
SCALE: 1/4" = 1'-0"



PARTIAL LEFT: OPT. #206
SCALE: 1/4" = 1'-0"



PARTIAL REAR: OPT. #206

ELEVATION NOTES

1. 1/8" (3 COAT) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCAFFOLD (REFER TO DETAIL)
3. TYPE 'D' VENT WITH GAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. 6:1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT (METAL LATH O/ BUILDING PAPER)
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
10. 3x6 RAFTER TAILS
11. NDS FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORDEL
23. COLUMN
24. FRESH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 6:1 SCREENED AND LOVERED COMBUSTION AIR VENT



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NO.	DATE	REVISION
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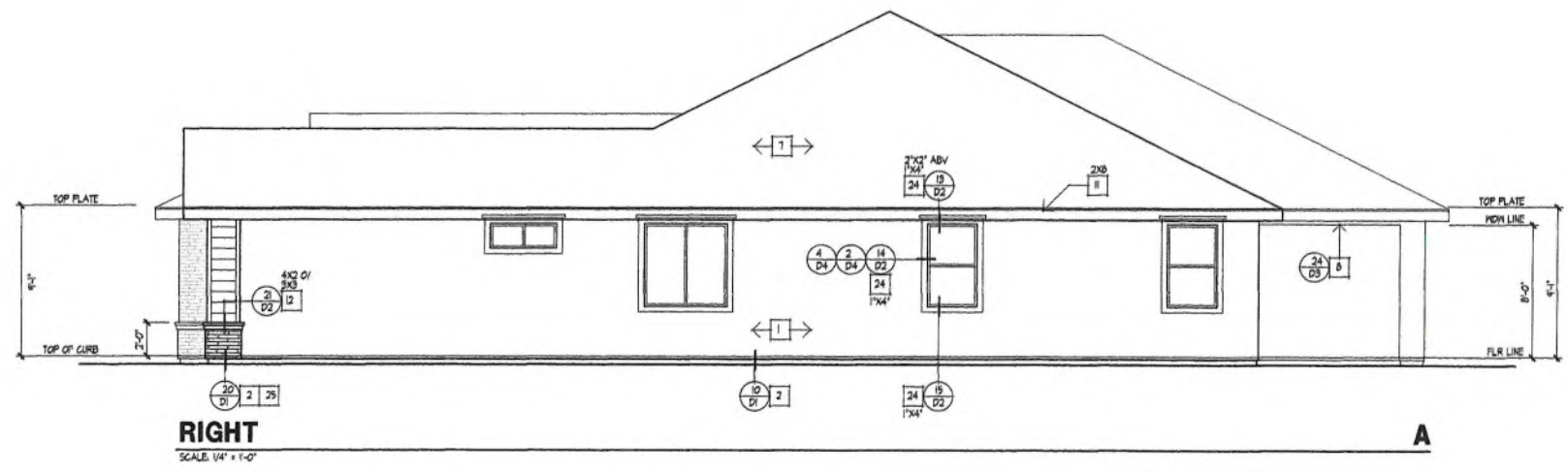
PACIFIC HORIZON HOMES
WILDWOOD CANYON
Yucaipa, California



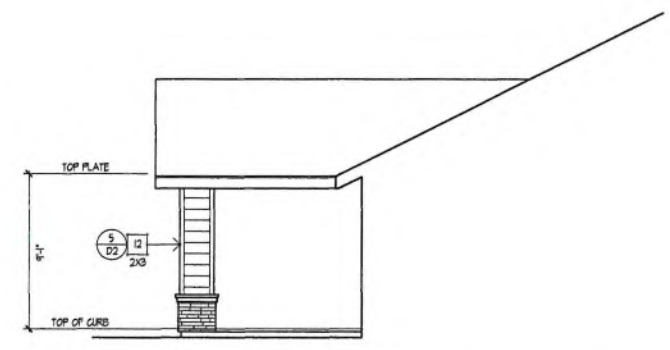
PROJECT INFO
PLAN 2
JOB NUMBER **22059**
PROJECT MGR. **CM**
DRAWN BY **AD**
PLOT DATE: **11-10-2022**

SHEET TITLE
ELEVATION OPTIONS
SHEET NUMBER
2.7.1

PLOT TIME: 12:34 PM PLOT NAME: G:\2021\22059 - WILDWOOD - TUCUMPA\CD\PLAN-2\22059 24 ELEVATION 2.DWG



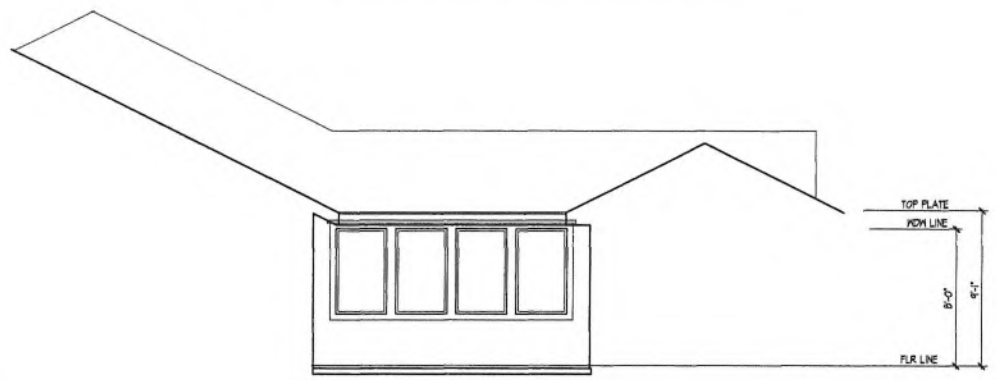
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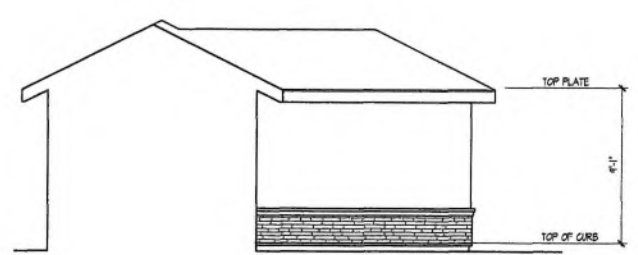
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SCALE: 1/4" = 1'-0"



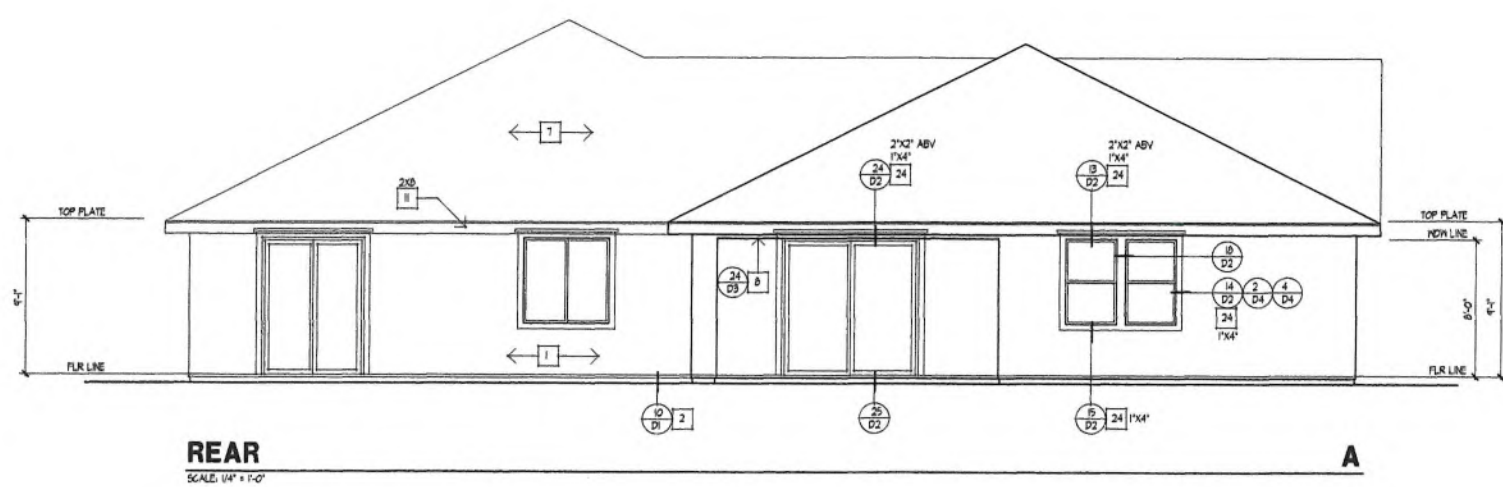
PARTIAL FRONT AT COURTYARD A
SCALE: 1/4" = 1'-0"



PARTIAL RIGHT AT COURTYARD A
SCALE: 1/4" = 1'-0"



PARTIAL REAR AT COURTYARD A
SCALE: 1/4" = 1'-0"



REAR
SCALE: 1/4" = 1'-0"

A

ELEVATION NOTES

1. 1/8" (3 CONTIGUOUS REFER TO GENERAL NOTES)
2. CONTIGUOUS 6/1 STUCCO SCREED (REFER TO DETAIL)
3. TYPE 'D' VENT WITH CAP BY FIREPLACE MFR.
4. 6/1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / 1-24
6. 6/1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT 0/ METAL LATH / BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALLS)
10. 3/8x Rafter Tails
11. REAR FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR HARDIE SIDING
20. DOWNSPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. HOOD / FOAM CORBEL
23. COLUMN
24. FINISH GOAT OVER FOAM TRIM (REFER TO DETAIL)
25. BRICK VENEER
26. HOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 6/1 SCREENED AND LOVERED COMBUSTION AIR VENT



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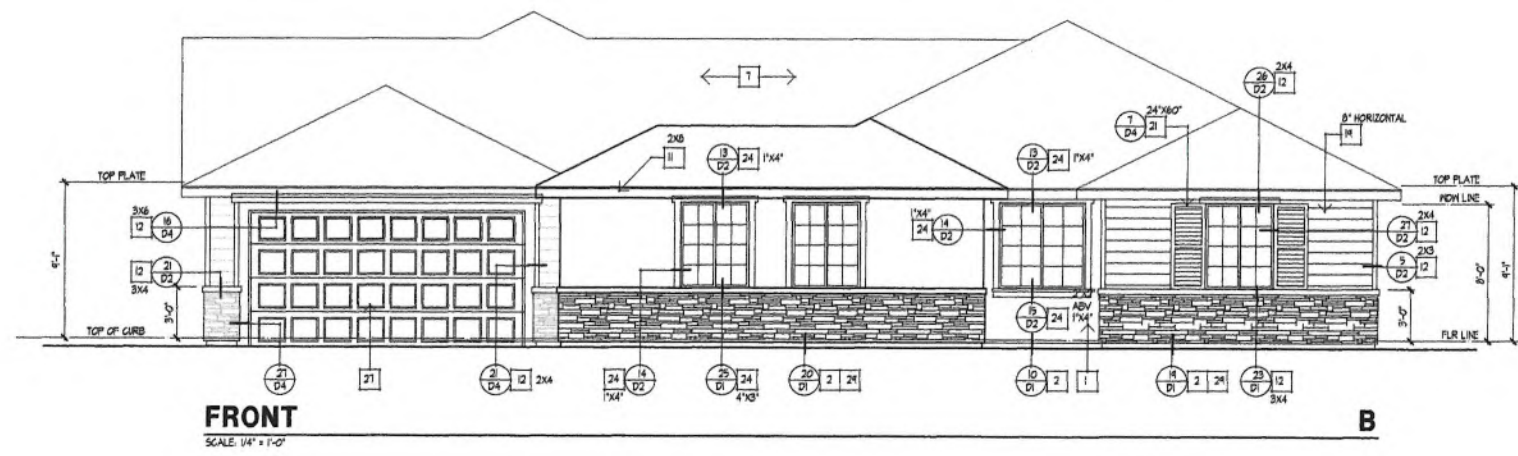
NO.	DATE	REVISION

PACIFIC HORIZON HOMES
WILDWOOD CANYON
Yucaipa, California



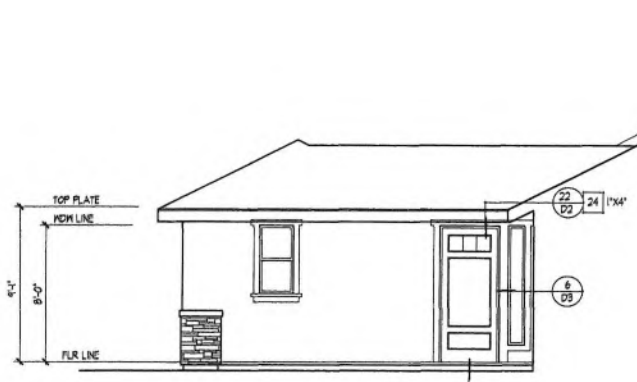
PROJECT INFO
PLAN 2
JOB NUMBER **22059**
PROJECT MGR. **CM**
DRAWN BY **AD**
PLOT DATE: **11-10-2022**

SHEET TITLE
**ELEVATION 'A'
RIGHT & REAR
ELEVATIONS**
SHEET NUMBER
2.8



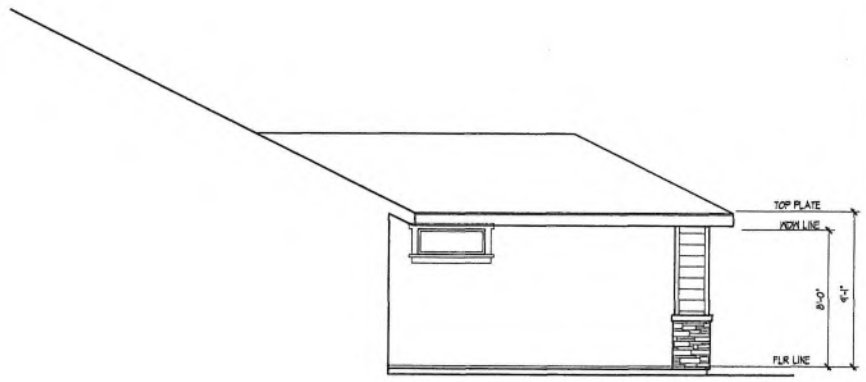
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B



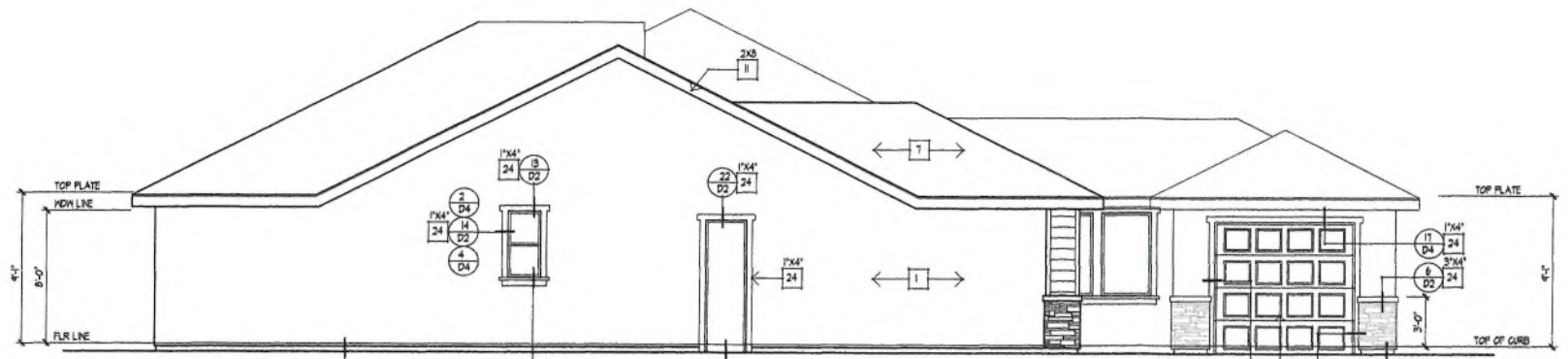
PARTIAL LEFT AT ENTRY
SCALE: 1/4" = 1'-0"

B



PARTIAL RIGHT AT ENTRY
SCALE: 1/4" = 1'-0"

B



LEFT
SCALE: 1/4" = 1'-0"

B

ELEVATION NOTES

1. 7/8" (3) GOATSBECK (REFER TO GENERAL NOTES)
2. CONTINUOUS 61. STICCO SCALED (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. 61. SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. 61. FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STICCO SOTTOIT OI METAL LATH OI BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
10. 3/8 RAFTER TALS
11. RES. FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE
12. HARDIE TRIM SEE ELEVATIONS FOR SIZE
13. CULTURED STONE- 50 CAL STONE SOLUTIONS
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. HOOD / FOAM CORBEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM (REFER TO DETAIL)
25. BRICK VENEER
26. HOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 61. SCAFFLED AND LOVERED COMBUSTION AIR VENT

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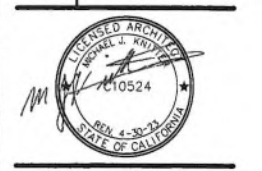
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PACIFIC HORIZON HOMES

WILDWOOD CANYON

 Yucaipa, California



PROJECT INFO
PLAN 2
JOB NUMBER **22059**
PROJECT MGR. **CM**
DRAWN BY **AD**
PLOT DATE: 11-10-2022

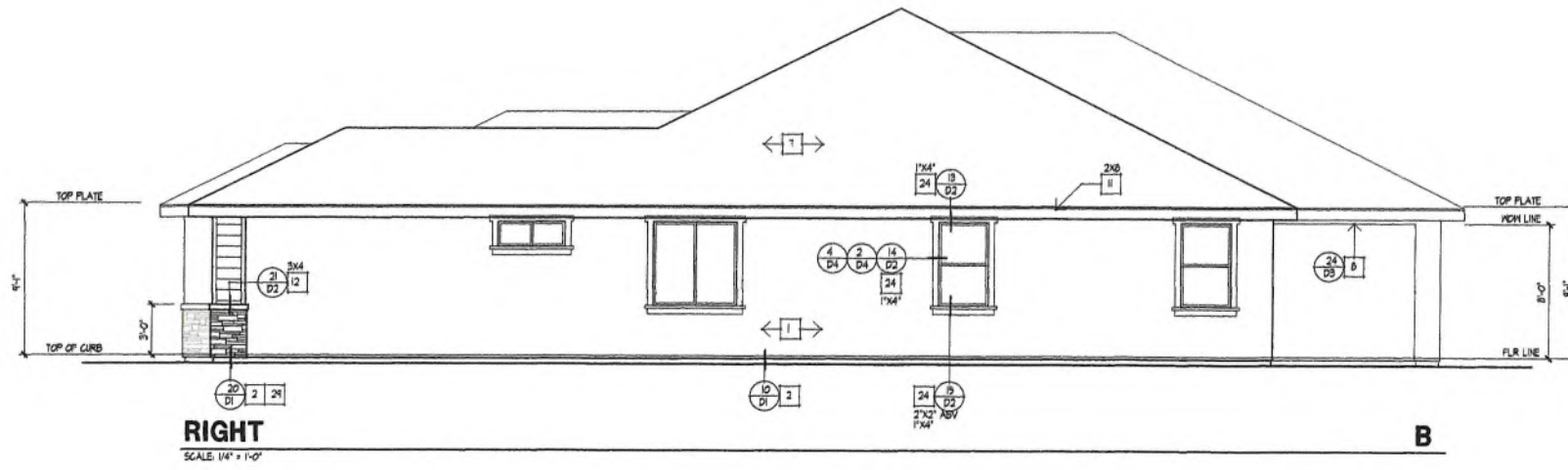
SHEET TITLE
**ELEVATION 'B'
FRONT & LEFT
ELEVATIONS**

SHEET NUMBER
2.9

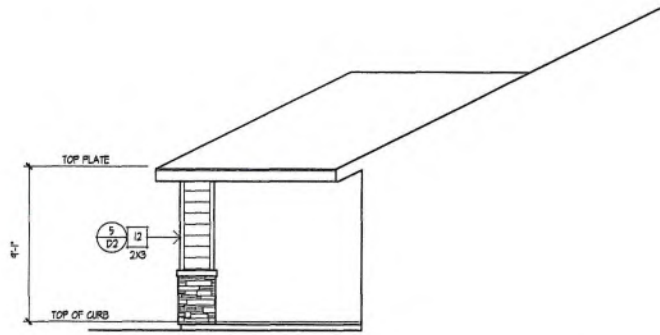
SEE SHEET 2.3 FOR
ADDENDA INFORMATION
PER ELEVATION

PLOT TIME: 12:34 PM PATH: NAME: G:\2022\22059 - WILDWOOD - WILDWOOD\CD\PLAN-2\22059_24 ELEVATION 2.DWG

PLOT TIME: 12:34 PM P:\N\NAME: 6_2022\22059 - WILDWOOD - YUCAIPA\CD\PLAN-2\22059 24 ELEVATION 2.DWG



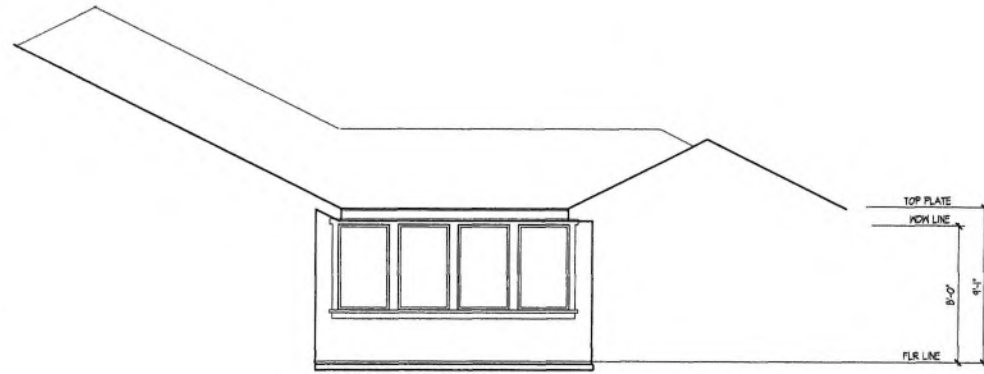
RIGHT
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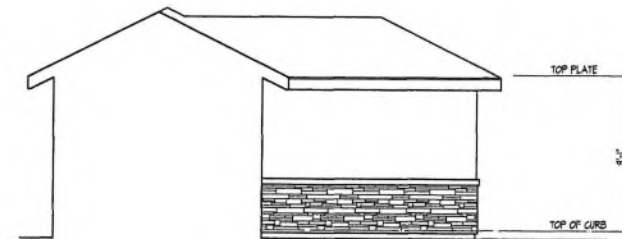
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SCALE: 1/4" = 1'-0"



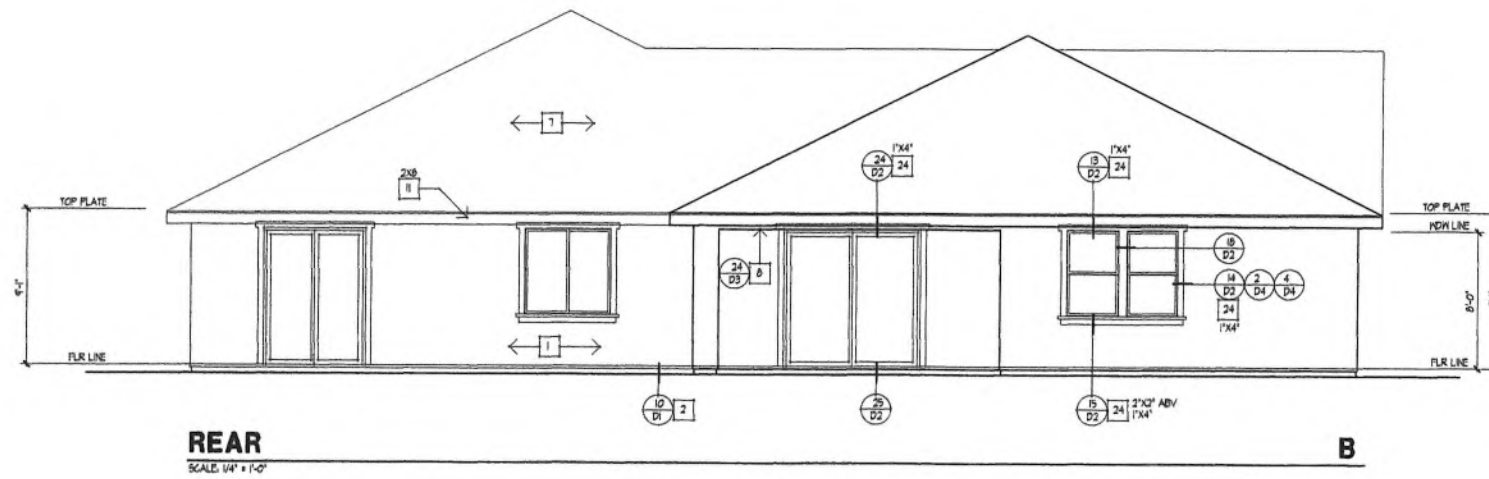
PARTIAL FRONT AT COURTYARD B
SCALE: 1/4" = 1'-0"



PARTIAL RIGHT AT COURTYARD B
SCALE: 1/4" = 1'-0"



PARTIAL REAR AT COURTYARD B
SCALE: 1/4" = 1'-0"



REAR
SCALE: 1/4" = 1'-0"

B

ELEVATION NOTES

1. 1/8" (3 GA) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 61 STUCCO SCREEN (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. 61 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / 1-24
6. 61 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT (METAL LATH OR BUILDING PAPER)
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
10. 3/8" RAFTER TAILS
11. REIS FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNSPOUT
21. SNITTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORBEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL. (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" (61) SCREENED AND LOWERED COMBUSTION AIR VENT

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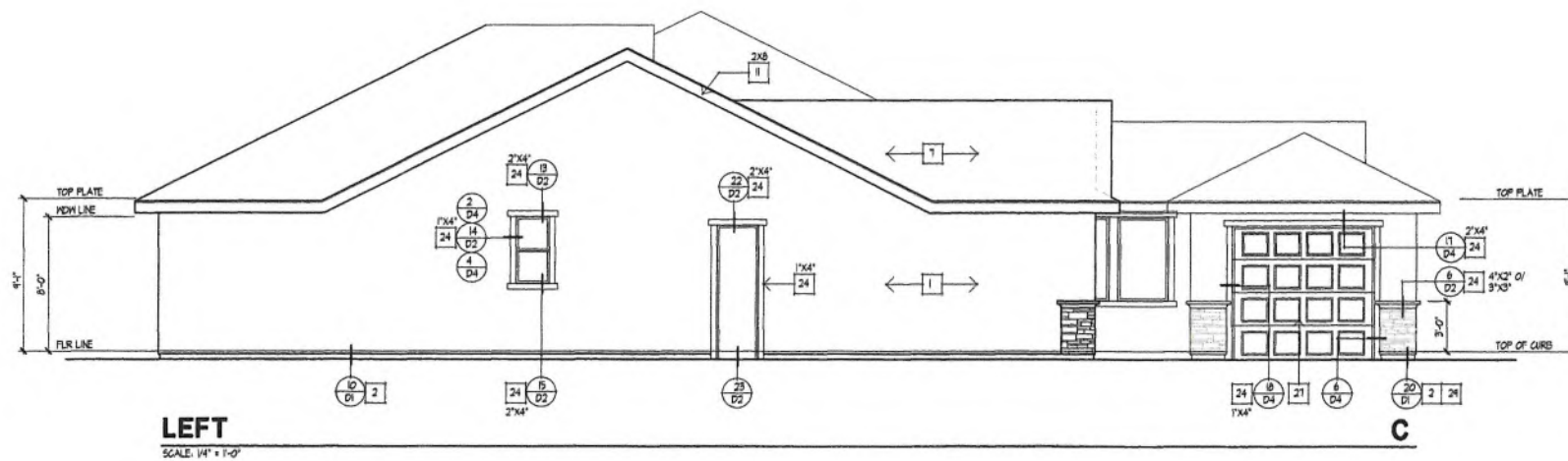
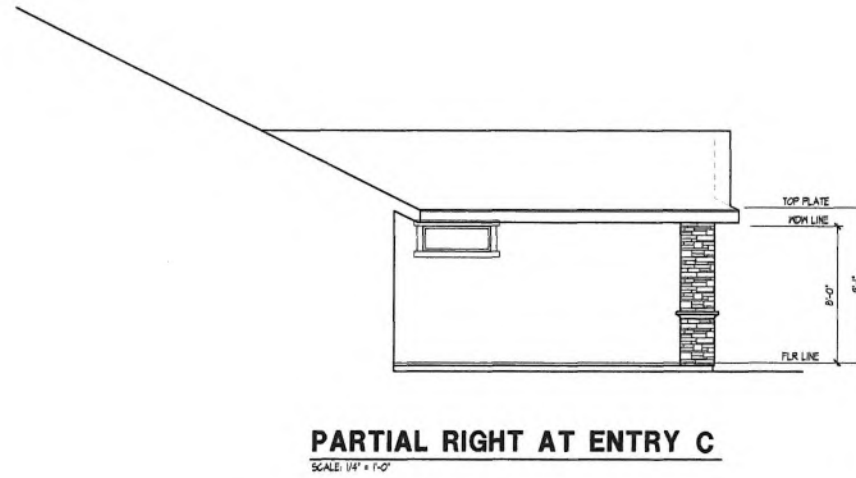
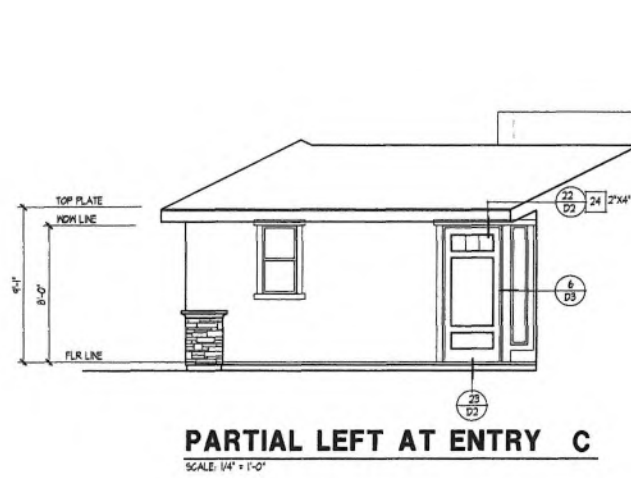
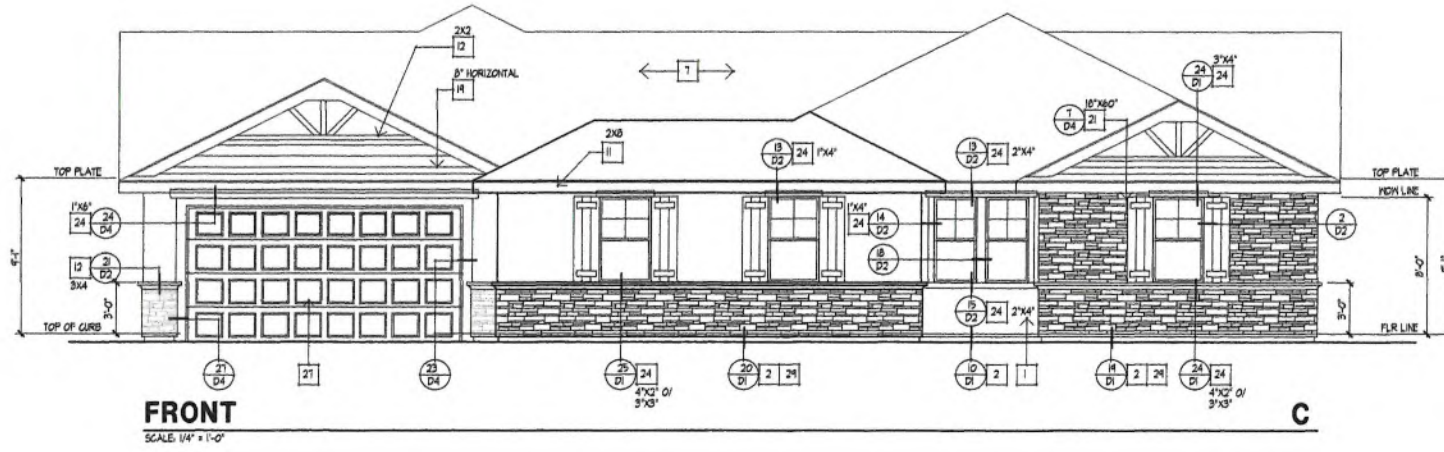
WILDWOOD CANYON

 Yucaipa, California



PROJECT INFO
PLAN 2
JOB NUMBER **22059**
PROJECT MGR. CH
DRAWN BY AD
PLOT DATE: 11-10-2022

SHEET TITLE
ELEVATION 'B' RIGHT & REAR ELEVATIONS
SHEET NUMBER
2.10



ELEVATION NOTES

1. 1/8" (3 GOST) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCAFFOLD (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL - NON WORKING / T-24
6. 6:1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT / METAL LATH / BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALCS)
10. 3X6 RAFTER TAILS
11. REUS FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL. STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORDEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OVERLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 6:1, SCREENED AND LOWERED COMBUSTION AIR VENT



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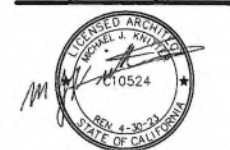
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WILDWOOD CANYON

Yucaipa, California

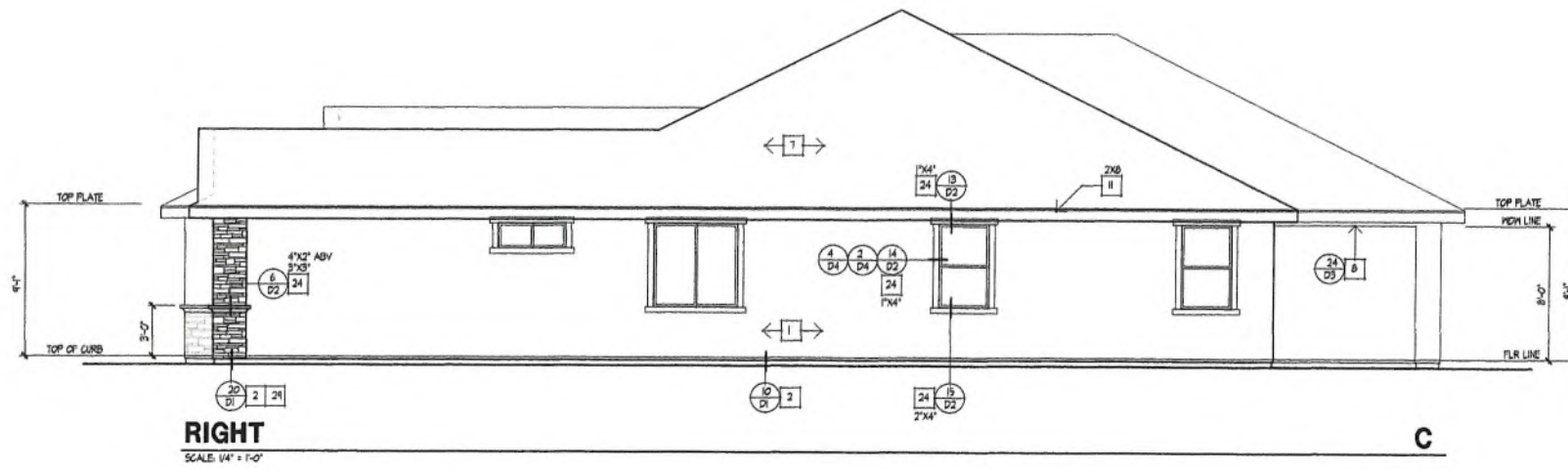


PROJECT INFO
PLAN 2
JOB NUMBER **22059**
PROJECT MGR. **CM**
DRAWN BY **AD**
PLOT DATE: **11-10-2022**

SHEET TITLE
ELEVATION 'C' FRONT & LEFT ELEVATIONS

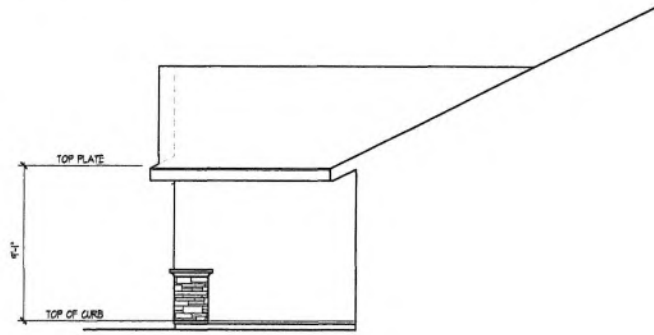
SHEET NUMBER
2.11

PLOT TIME: 12:34 PM PATH NAME: G:\022\22059 - WILDWOOD - YUCAIPA\CD\PLAN-2\22059_24 ELEVATION 2.DWG



RIGHT
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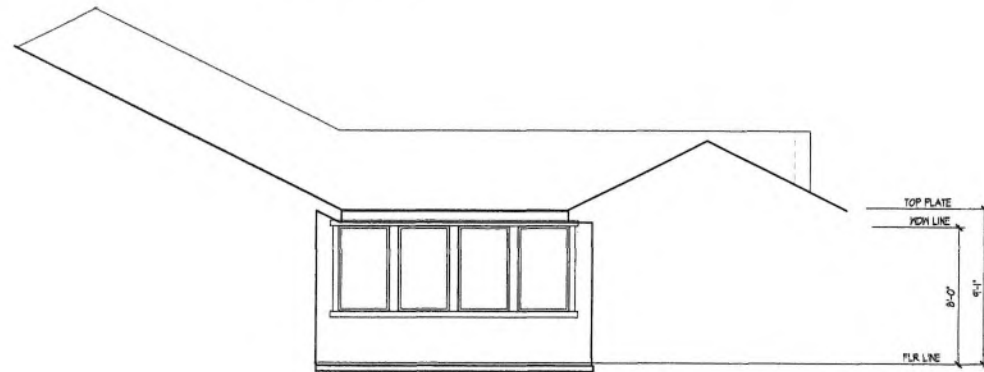
C



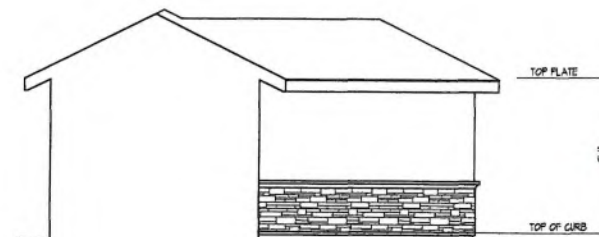
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SCALE: 1/4" = 1'-0"



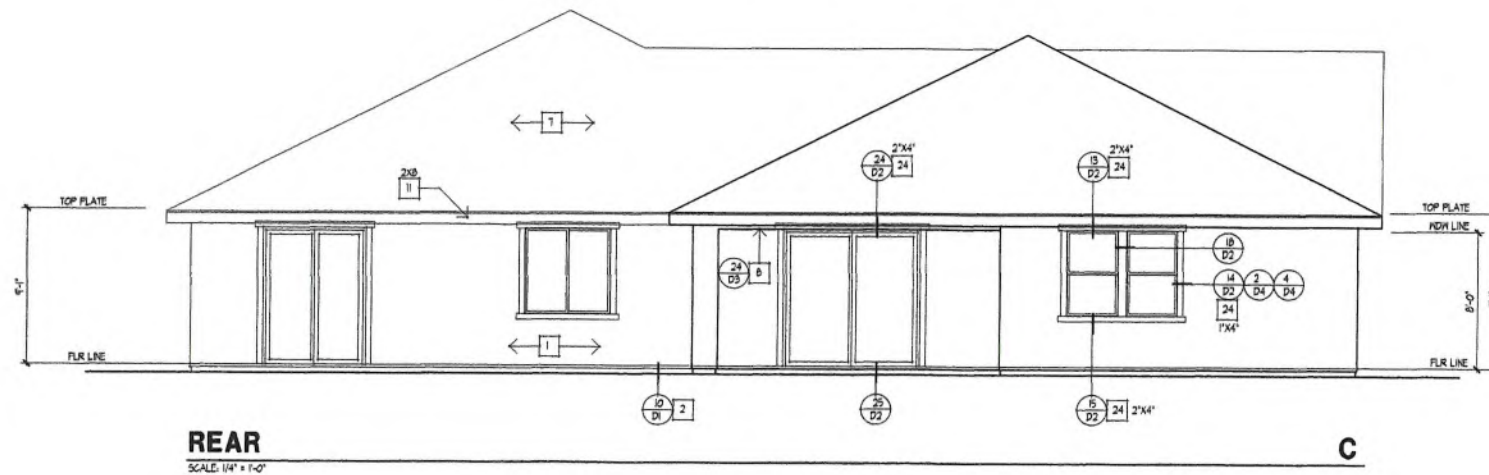
PARTIAL FRONT AT COURTYARD C
SCALE: 1/4" = 1'-0"



PARTIAL RIGHT AT COURTYARD C
SCALE: 1/4" = 1'-0"



PARTIAL REAR AT COURTYARD C
SCALE: 1/4" = 1'-0"



REAR
SCALE: 1/4" = 1'-0"

C

ELEVATION NOTES

1. 1/8" (3 COAT) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6.1 STUCCO SCREEN (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. 6.1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL - NON WORKING / 1-24
6. 6.1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT / METAL LATH / BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALCS)
10. 3/16 RAFTER TAILS
11. REFS. PASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR "HARDIE" SIDING
20. DOWNSPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. MOOD / FOAM CORBEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. MOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 6.1 SCREENED AND LOUVERED COMBUSTION AIR VENT



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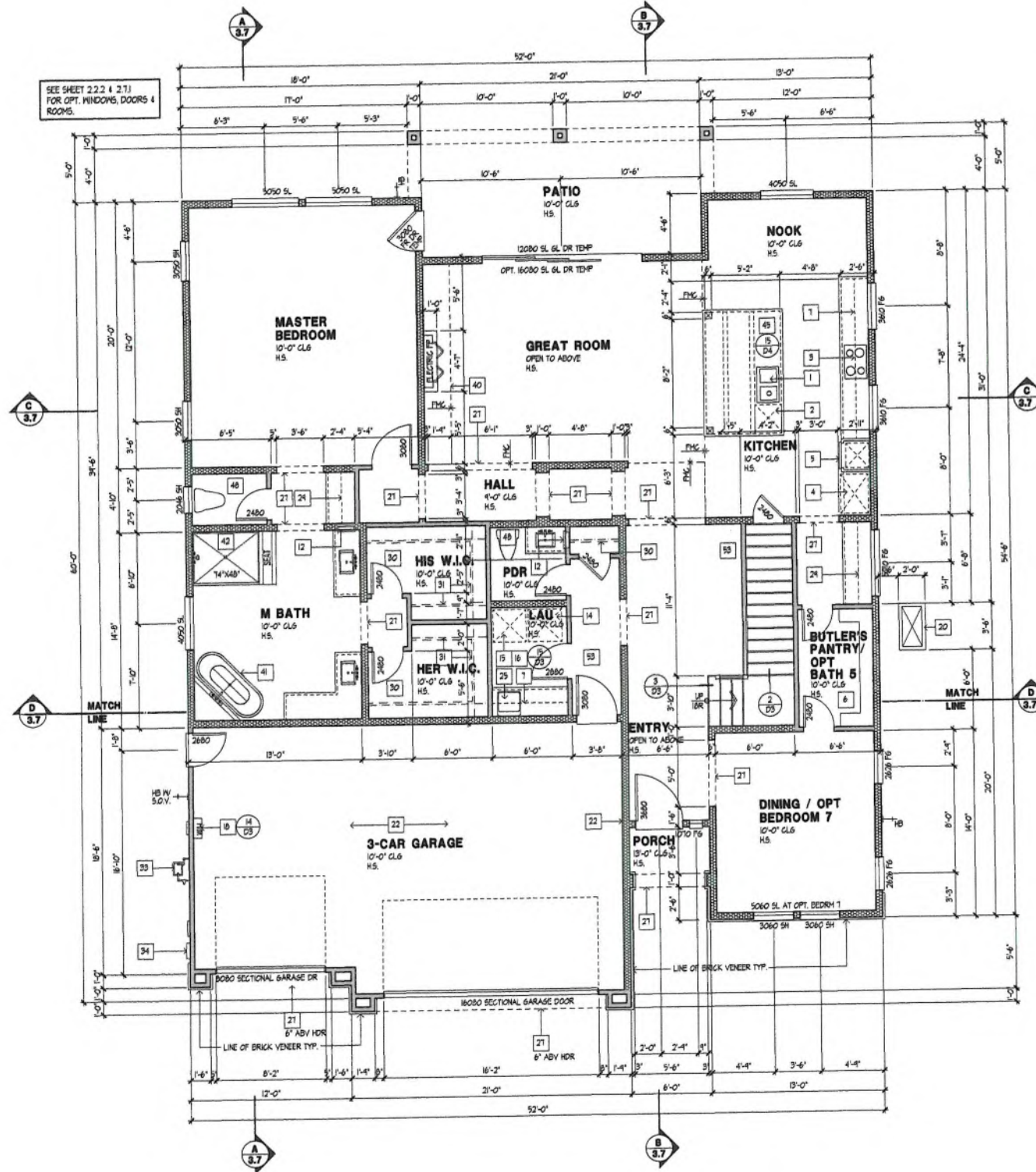
PACIFIC HORIZON HOMES

WILDWOOD CANYON
 Yucaipa, California



PROJECT INFO
PLAN 2
 JOB NUMBER 22059
 PROJECT MGR. CM
 DRAWN BY AP
 PLOT DATE: 11-10-2022

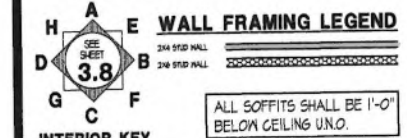
SHEET TITLE
ELEVATION 'C' RIGHT & REAR ELEVATIONS
SHEET NUMBER
2.12



FIRST FLOOR PLAN - A

FLOOR PLAN NOTES

1. SINGLE BOWL KITCHEN SINK WITH GARBAGE DISPOSAL. (REFER TO INT ELEVATIONS)
2. BUILT-IN DISHWASHER WITH AIR GAP. (REFER TO EXTERIOR ELEVATIONS)
3. DROP-IN COOKTOP RANGE WITH EXHAUST HOOD (400 CFM)
4. PROVIDE 30" REFRIGERATOR SPACE. (PROVIDE PLUMBING RECESSED IN WALL FOR ICE MAKER)
5. 30" WIDE MICROWAVE OVEN OVER CONVENTIONAL OVEN (REFER TO INTERIOR ELEVATIONS. VERIFY WITH MANUFACTURERS SPEC'S)
6. PANTRY WITH ADJUSTABLE SHELVES I.N.O. (REFER TO INTERIOR ELEVATIONS)
7. LINE OF CABINET/SHELF ABOVE. (REFER TO INTERIOR ELEVATIONS)
8. PROVIDE CURTAIN ROD.
9. 33" X 60" FIBERGLASS TUB WITH SHOWER TO 13" A.F.F. WITH SHOWER HEAD AT 64" A.F.F.
10. 42" X 60" FIBERGLASS OVAL TUB ON 18" HIGH MOISTURE RESISTANT PLATFORM.
11. 33" X 43" FIBERGLASS TUB/SHOWER WITH HANGGOT TO 18" ABOVE FINISH FLOOR AND SHOWER HEAD AT 64" A.F.F.
12. RECESSED MEDICINE CABINET. (REFER TO INTERIOR ELEVATIONS)
13. SHOWER RESISTANT SHOWER ENCLOSURE-FULLY TYPED OR LAMINATED SAFETY GLASS.
14. SHOWER SPACE PROVIDE RECESS HIGH IN WALL FOR PLUMBING AND PROVIDE WASTE LINE (PROVIDE "SHITTY PANT" WITH DRAIN TO BE TIED INTO A FUTURE DRAIN BELOW WHEN FASHER IS LOCATED ON THE SECOND FLOOR)
15. DRYER SPACE (VENT TO O.S.A.)
16. LINE OF EXHAUST VENT.
17. BACK DRAFT DAMPER.
18. GAS TANKLESS WATER HEATER
 - PROVIDE SEISMIC STRAPPING.
 - PROVIDE P.T. RELIEF VALVE TO OUTSIDE OR APPROVED DRAIN.
 - SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTION THAT WERE APPROVED AS PER TO THEIR LISTING.
 - THE GAS PIPING SERVING THIS APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER LISTED INSTALLATION INSTRUCTIONS AND THE 2019 CALIFORNIA PLUMBING CODE. ELEMENTS OF APPLIANCE WHICH CREATE A GLOW SPARK OR FLAME SHALL BE LOCATED A MINIMUM OF 18" ABOVE GARAGE FLOOR. (CNC 2021).
 - SEE SHEET 3.2, DIVISION 10, SPECIALTIES (NOTE 1)
19. AIR HANDLER/HEAT PUMPS PER C.H.C. (REFER TO GENERAL NOTES - DIVISION 10)
20. PROVIDE RIGID ROOF PLANTATION WITH RAIN 64" MIN.
21. PROVIDE CONDENSATE LINE TO DRAIN OUTSIDE OR APPROVED TRAPPED DRAIN REFER TO HVAC DRAWINGS.
22. VERIFY SIZE AND CLEARANCE.
23. PROVIDE CONDENSATION AIR AS REQUIRED.
24. AIR CONDITIONER PAD. (VERIFY SIZE WITH MANUFACTURER)
25. 6" SHINE VANITY TOP AND 4" SPLASH
26. INTERIOR GARAGE FINISH. (REFER TO SHEET 3.2)
27. 5/8" TYPE X GYPSUM BOARD AT OCCUPANCY SEPARATION TYP.
28. METAL FIREPLACE. (REFER TO GENERAL NOTES - DIVISION 10)
29. GAS APPLIANCE (REFER TO GENERAL NOTES - DIVISION 10)
30. REMOVED
31. OPTIONAL LAUNDRY SINK.
32. LINE OF SHELF. (REFER TO PLAN FOR HEIGHT)
33. LINE OF SOFFIT ABOVE. ELEV TYPE "A", "B" AND "C" ARCHED (SEE INTERIORS)
34. LINE OF SHELF ABOVE. (REFER TO PLAN FOR HEIGHT)
35. LINEN PAINTED HOOD C.I. (REFER TO INTERIOR ELEVATIONS)
36. SHELF AND POLE.
37. SHELF AND DOUBLE POLE.
38. 24" X 80" MIN. NET LESS THAN THE LARGEST PIECE OF EQUIPMENT MIN. 30" CLEAR HEADROOM ATTIC ACCESS - C.H.C. REQ'D. - C.H.C. 404.11)
39. GAS CO. SERVICE RISER. (VERIFY LOCATION WITH UTILITY CO.)
40. ELECTRIC SERVICE MAIN. PROVIDE USER GROUND. (VERIFY LOCATION WITH UTILITY COMPANY)
41. LOW HALL. (REFER TO PLAN FOR HEIGHT)
42. PROVIDE 1/2" GYPSUM BOARD AT HALLS AND SOFFIT OF ENCLOSED USABLE LINEN STAIRS PER C.H.C. SECTION 1002.1
43. RAILING - REFER TO DETAIL (3.2)
44. SHARDORAL - REFER TO DETAIL (3.2)
45. HALL MOUNTED HANDRAIL - REFER TO DETAIL (3.2)
46. LINE OF FLOOR ABOVE.
47. FREESTANDING TUB- HT/A STYLE TSD.
48. HAND MADE SHOWER PAN. SEE PLAN FOR SIZE.
49. DUCT CHASE.
50. REMOVED
51. KITCHEN ISLAND - SEE INTERIOR ELEVATIONS.
52. DEAD BOLT AT TOP AND BOTTOM OF ENTRY DOOR AND TOP ONLY OF INTERIOR DOORS.
53. CEILING BREAK.
54. WATER CLOSET. (MAXIMUM 1.28 BALLONS PER FLUSH)
55. 3/4" HIGH STEEL PIPE DAMPER.
56. 42" X 12" FIBERGLASS OVAL TUB ON 18" HIGH MOISTURE RESISTANT PLATFORM.
57. RETURN AIR GRILL.
58. LINE OF FLOOR BELOW.
59. DESIGNER "OPTIONAL"



- GENERAL PLAN NOTES**
1. ALL INTERIOR DOORS TO BE HOLLOW CORE | 1 3/8" THK. UNO. (REFER TO PLAN FOR SIZE)
 2. ALL GARAGE MAIN DOORS TO BE HOLLOW CORE | 1 3/8" THK. EXT. GRADE. (REFER TO PLAN FOR SIZE | SHEET 3.2 FOR ELEVATIONS)
 3. ALL DOORS TO GARAGE DOORS TO BE 20 MINUTE FIRE RATED OR SOLID CORE. SOLID HOOD OR HONEYCOMB CORE STEEL | 1 3/8" THK. WITH SELF CLOSER AND SELF LATCHING AND TIGHT FITTING. (REFER TO PLAN FOR SIZE)
 4. ALL ENTRY DOORS TO BE SOLID CORE | 1 3/4" THK. (REFER TO PLAN FOR SIZE)
 5. PROVIDE 100 SQ. FT. OF MAKE UP AIR AT THE LAUNDRY ROOM (TO REPLACE AIR BEING EXHAUSTED BY DRYER VENT AND EXHAUST FAN IF APPLICABLE) PER C.H.C. 504.3.2
 6. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST IS LIMITED TO 10' WITH TWO ELBOWS. THIS SHALL BE REDUCED TO 10' FOR EVERY ELBOW IN EXCESS OF TWO. A MINIMUM 4" DIAMETER SMOOTH AND METAL DUCT.

PLAN 3 SQUARE FOOTAGE

1ST FLOOR PLAN	2,200	sq ft
2ND FLOOR PLAN	1,649	sq ft
TOTAL	3,849	sq ft
PATIO	191	sq ft
3-CAR GARAGE	643	sq ft
PORCH	27	sq ft
DECK	191	sq ft

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NO.	DATE	REVISION

PACIFIC HORIZON HOMES

WILDWOOD CANYON

Yucaipa, California



PROJECT INFO

PLAN 3

JOB NUMBER **22059**

PROJECT MGR. **CM**

DRAWN BY **AD**

PLOT DATE: **11-10-2022**

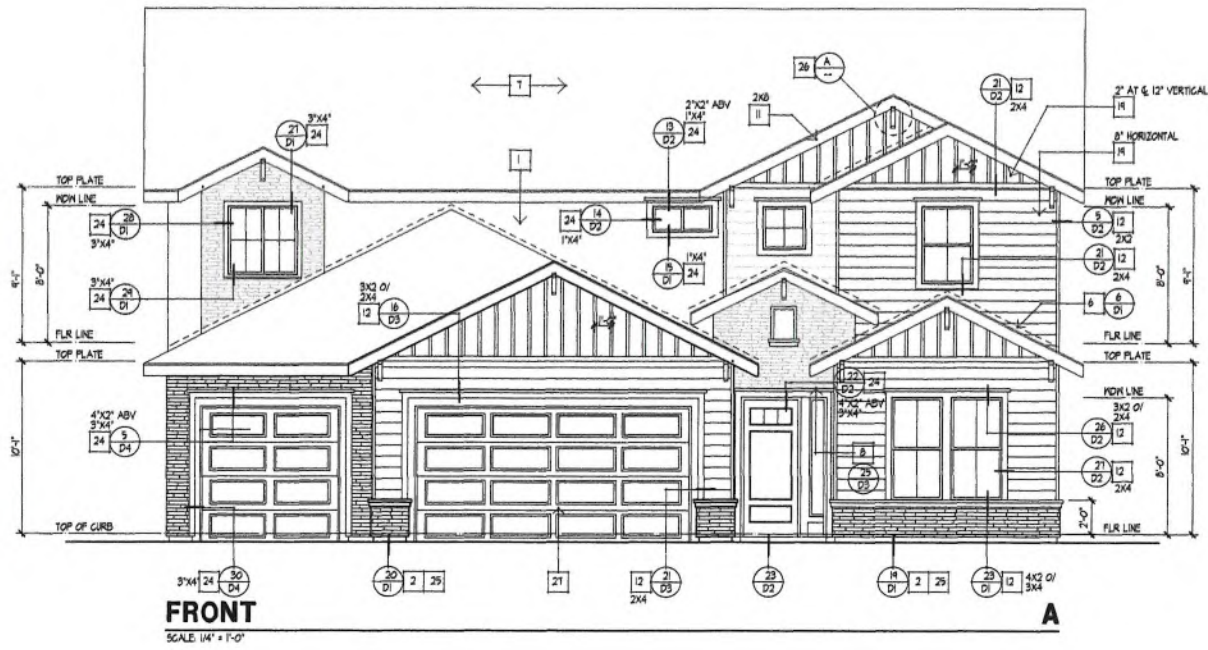
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FIRST FLOOR PLAN

SHEET NUMBER

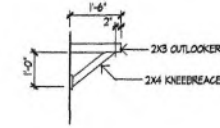
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PLOT TIME: 12:45 PM PATHNAME: G:\2022\22059 - WILDWOOD - YUCAIPA\CD\PLAN-3\22059_34 ELEVATION_3.DWG



ELEVATION NOTES

1. 1/8" (3 GA) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 61. STUCCO SCAFFOLD (REFER TO DETAIL)
3. TYPE 18" VENT WITH CAP BY FIREPLACE MFR.
4. 61. SADDLE AND FLASHING
5. DECORATIVE SADDLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. 61. FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SCAFFOLD METAL LATH OF BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALCS)
10. 3/8" RAFTER TAILS
11. REJS, FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE
12. HARDIE TRIM SEE ELEVATIONS FOR SIZE
13. CULTURED STONE- 50 CAL STONE SOLUTIONS
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR "HARDIE" SIDING
20. DOWNSPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORBEL
23. COLUMN
24. FINISH COAT OVER FOAM TRM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 61. SCREENED AND LOUVERED COMBUSTION AIR VENT



A WOOD KNEE BRACE



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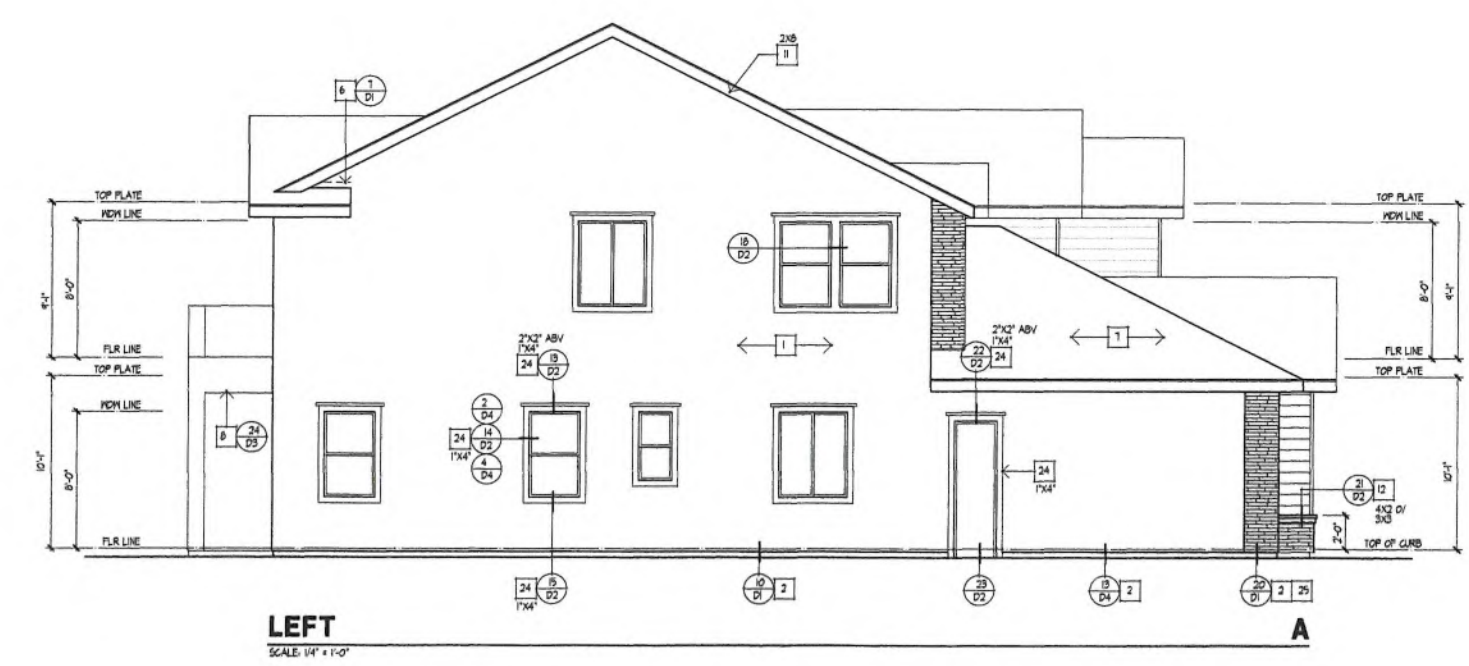
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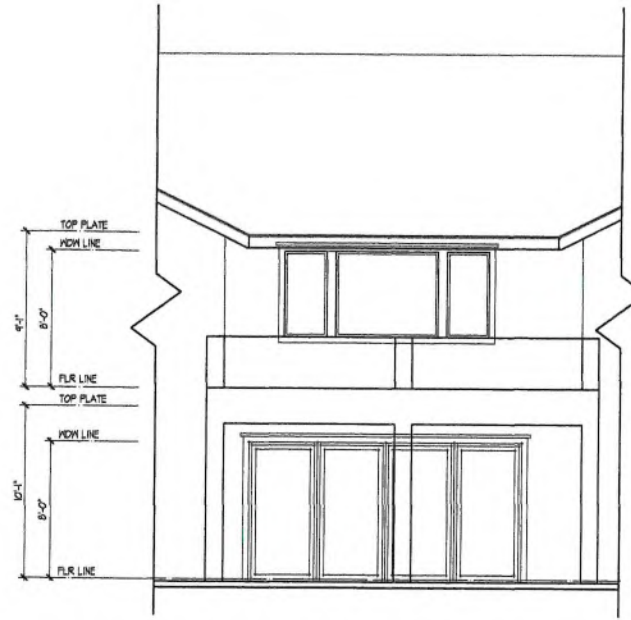
PACIFIC HORIZON HOMES
WILDWOOD CANYON
 Yucaipa, California



PROJECT INFO
PLAN 3
 JOB NUMBER **22059**
 PROJECT MGR. **GM**
 DRAWN BY **AD**
 PLOT DATE: **11-10-2022**

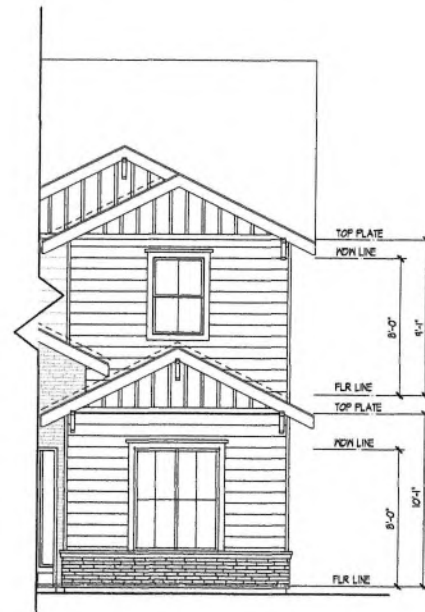
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**ELEVATION 'A'
 FRONT & LEFT
 ELEVATIONS**
 SHEET NUMBER
3.9





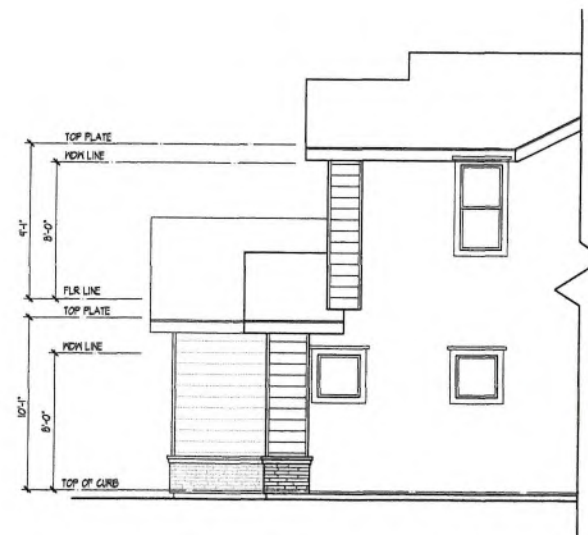
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SCALE: 1/4" = 1'-0"



PARTIAL FRONT: OPT. #307

SCALE: 1/4" = 1'-0"



PARTIAL RIGHT: OPT. #307

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. 1/8" (3 COATS) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 61. STUCCO SCREED (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. G.I. SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / 1-34
6. G.I. FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT O/ METAL LATH O/ BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
10. 3/8" RAFTER TAILS
11. REIS FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL. STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNSPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORSEL
23. COLUMN
24. FINISH GOAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 61. SCREENED AND LOUVERED COMBUSTION AIR VENT



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PACIFIC HORIZON HOMES

WILDWOOD CANYON

Yucaipa, California



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PROJECT MGR. **CM**
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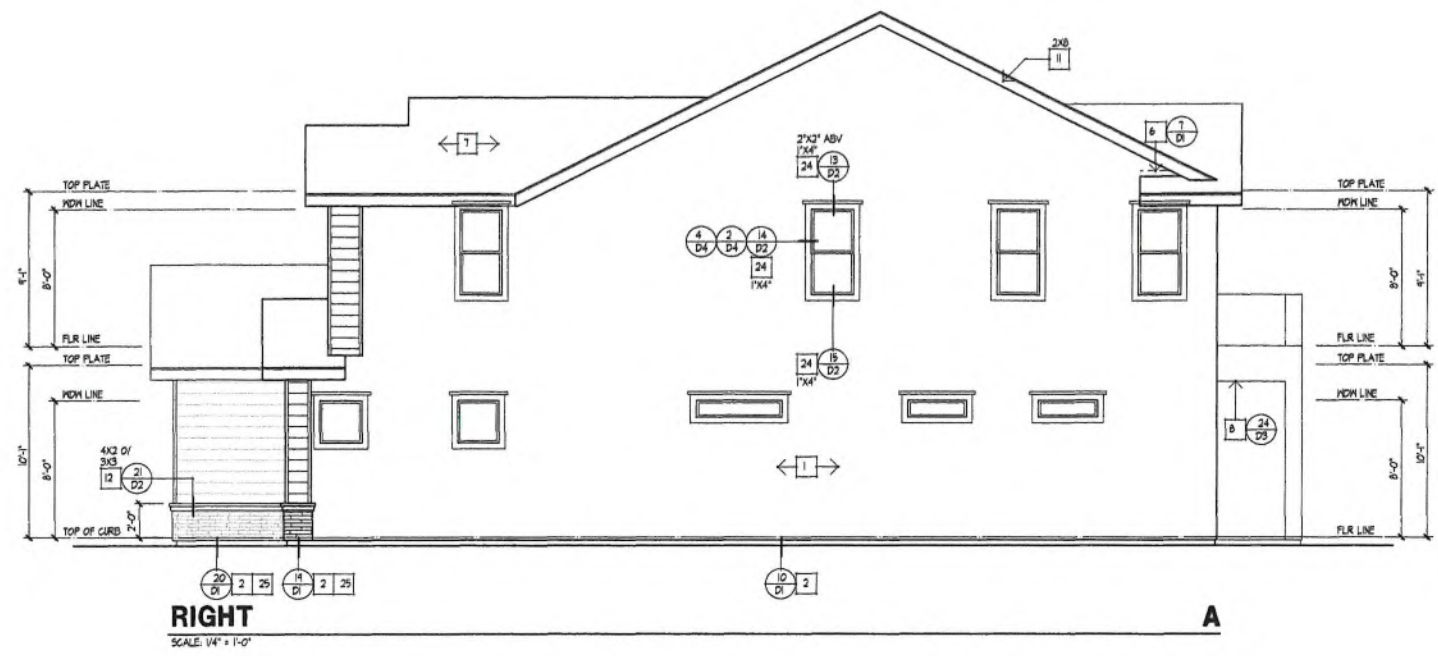
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ELEVATION OPTIONS

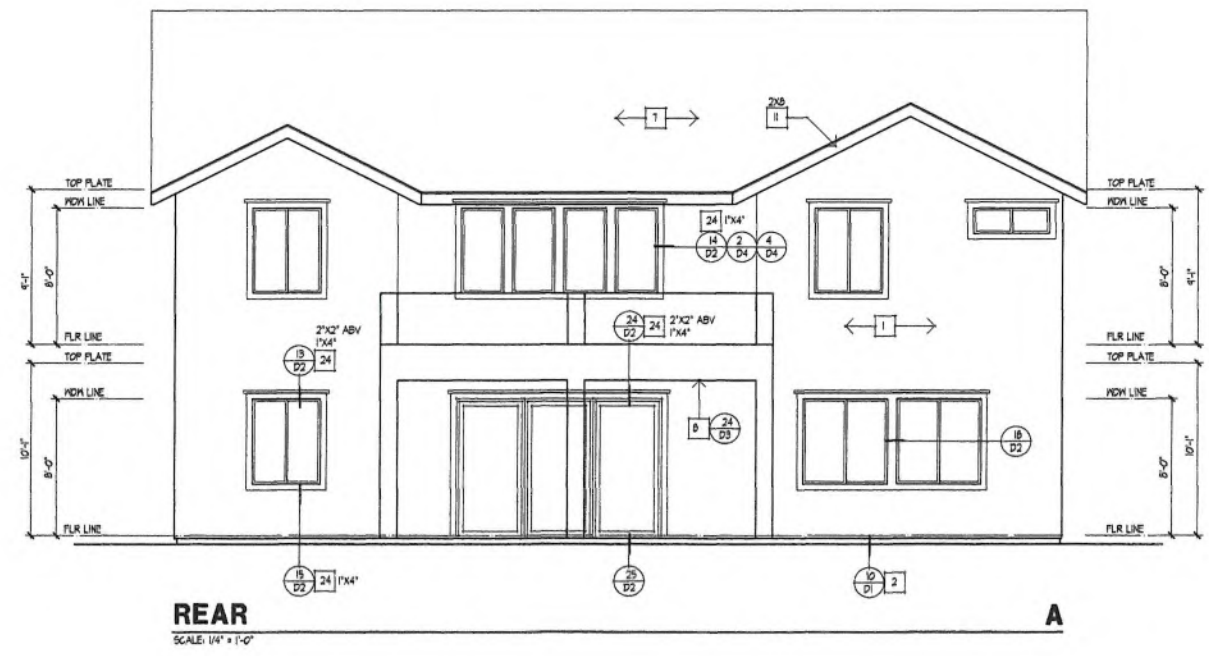
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3.9.1

DATE: 11-10-2022 11:10 AM PLOT TIME: 12:43 PM PARTNAME: G:\2022\22059 - WILDWOOD - TUCUAPA\DW\PLAN-2\22059_34 ELEVATION 3.DCS



RIGHT
SCALE: 1/4" = 1'-0"



REAR
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. 1"0" (3 GAUSTRICK) (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCREED (REFER TO DETAIL)
3. TYPE 'D' VENT WITH CAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. 6:1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT G/ METAL LATH G/ BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
10. 3x6 RAFTER TAILS
11. REUS FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE
12. HANDIC TRIM SEE ELEVATIONS FOR SIZE
13. CULTURED STONE- 60 CAL STONE SOLUTIONS
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORDEL
23. COLUMNS
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OULOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 6:1. SCREENED AND LOUVERED COMBUSTION AIR VENT



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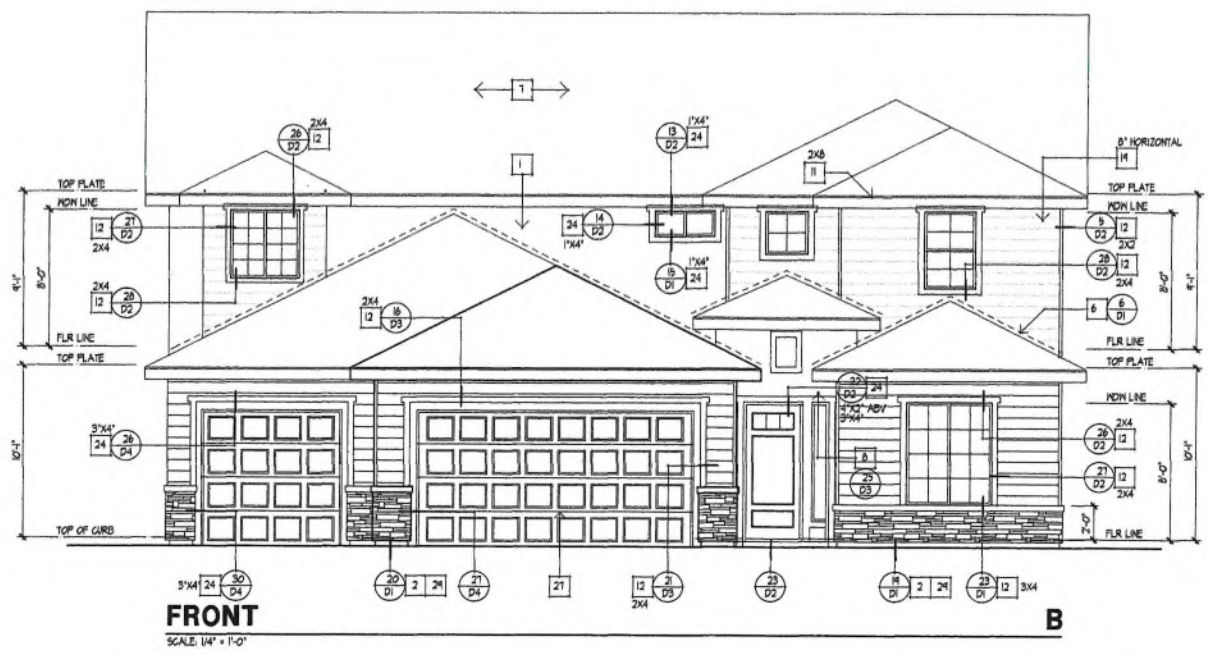
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WILDWOOD CANYON
Yucaipa, California



PROJECT INFO
PLAN 3
JOB NUMBER 22059
PROJECT MGR. CM
DRAWN BY AD
PLOT DATE: 11-10-2022

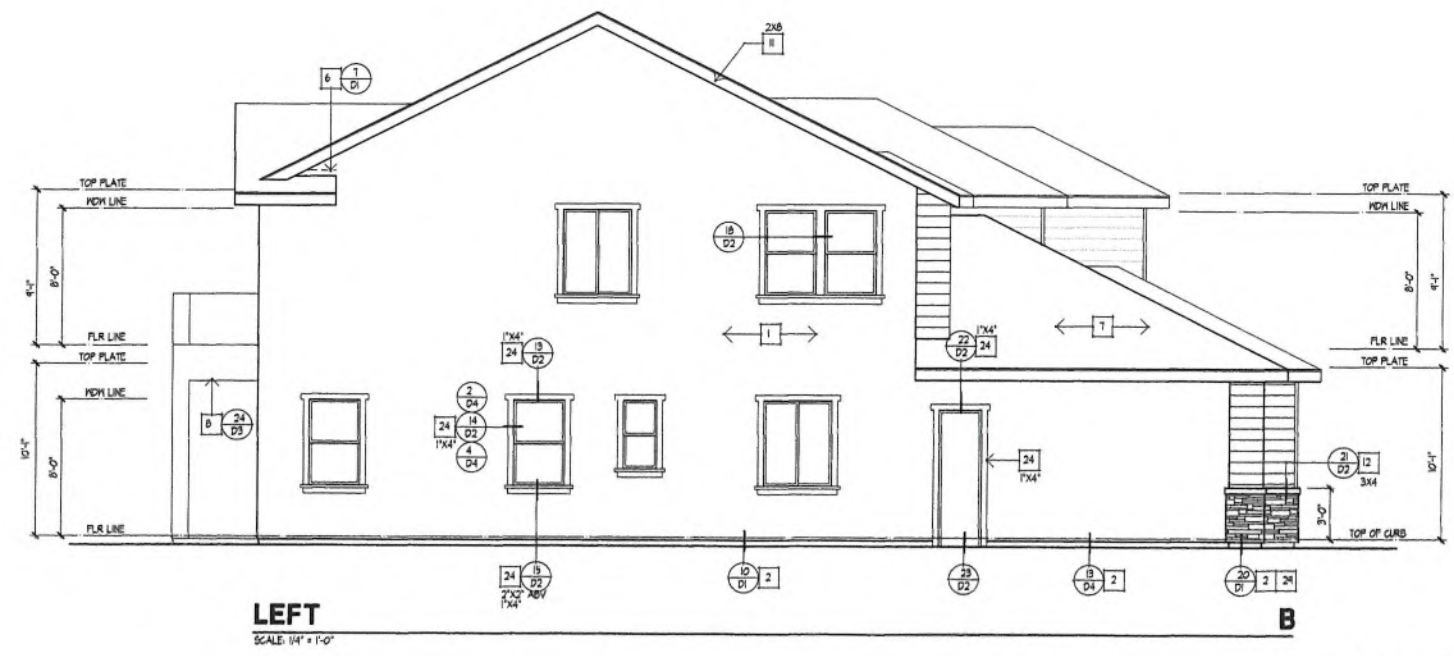
SHEET TITLE
**ELEVATION 'A'
RIGHT & REAR
ELEVATIONS**
SHEET NUMBER
3.10

PLOT TIME: 12:45 PM P:\HY\NAME: G:\2022\22059 - WILDWOOD - WDCMPA\DW\PLAN-3\2022-24 ELEVATION 3.DWG



FRONT
SCALE: 1/4" = 1'-0"

B



LEFT
SCALE: 1/4" = 1'-0"

B

SEE SHEET 3.21 & 3.31 FOR
ADDENDA INFORMATION
PER ELEVATION

ELEVATION NOTES

1. 1/8" x 3 GAUTS/STGGO (REFER TO GENERAL NOTES)
2. CONTINUOUS 61. STGGO SCREED (REFER TO DETAIL)
3. TYPE 'D' VENT WITH GAP BY FIREPLACE HFR.
4. 61. SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / 1-24
6. 61. FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STGGO SOFFIT OF METAL LATH OF BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALLOUT)
10. 2x6 RAFTER TAILS
11. REIS. FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HANDIE TRIM. SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORBEL
23. COLUMN
24. FINISH GOAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" x 18" 61. SCREENED AND LOUVERED COMBUSTION AIR VENT



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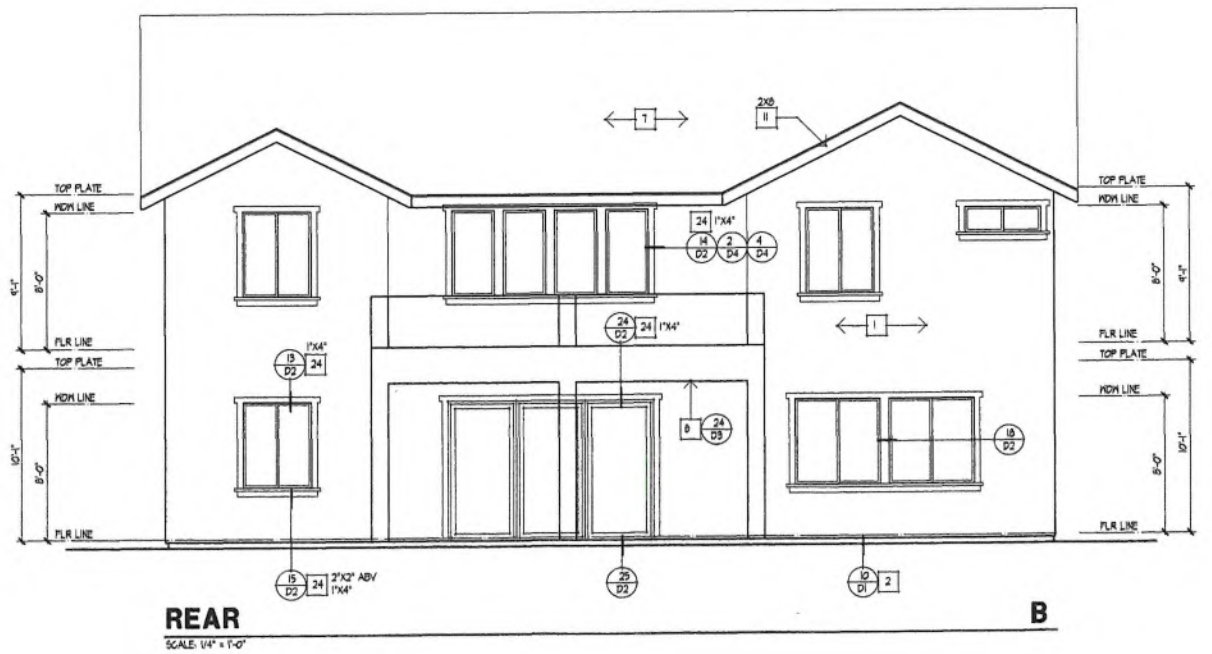
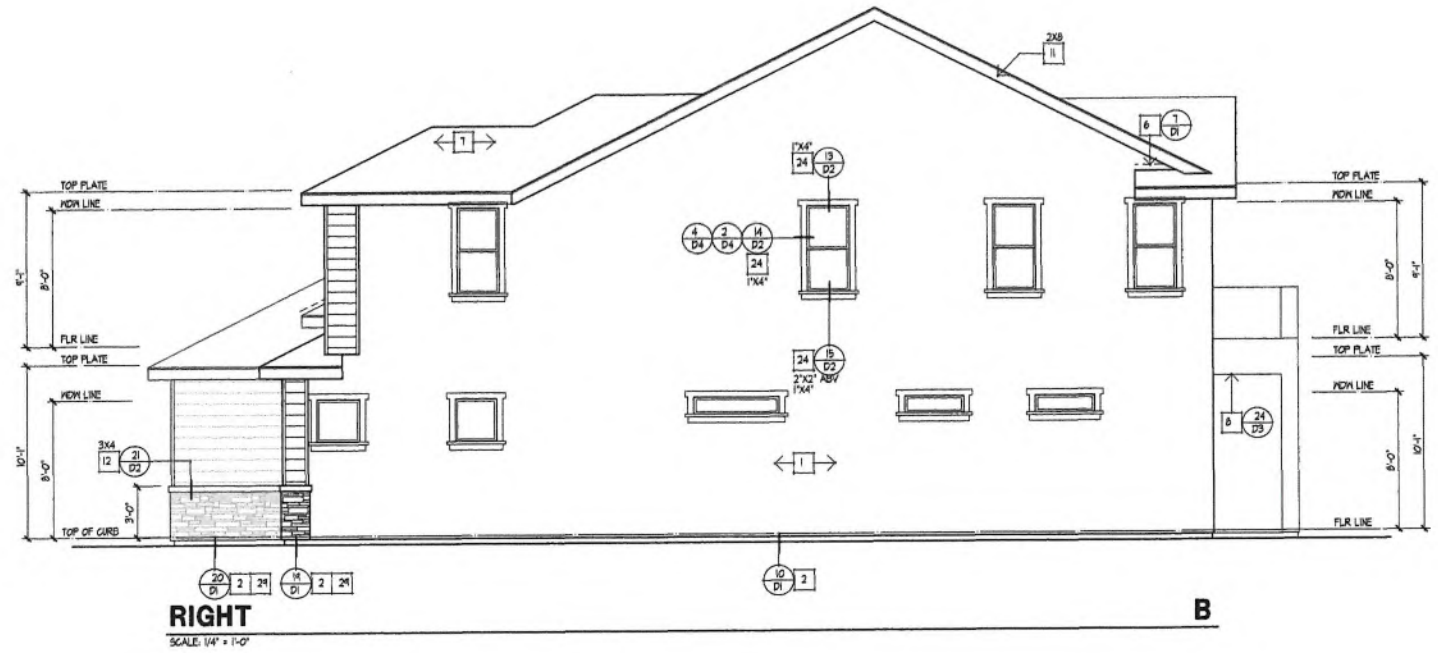
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PACIFIC HORIZON HOMES
WILDWOOD CANYON
Yucaipa, California



PROJECT INFO
PLAN 3
JOB NUMBER **22059**
PROJECT MGR. **GH**
DRAWN BY **AD**
PLOT DATE: 11-10-2022

SHEET TITLE
**ELEVATION 'B'
FRONT & LEFT
ELEVATIONS**
SHEET NUMBER
3.11



ELEVATION NOTES

1. 1/8" (3 COAT) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCRIBED (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. 6:1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT OF METAL LATH OF BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
10. 3x6 RAFTER TAILS
11. RE'S FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HANDIE TRIM. SEE ELEVATIONS FOR SIZE
13. CULTURED STONE- 50 CAL STONE SOLUTIONS
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR "HARDE" SIDING
20. DOWNPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORSEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" 6:1. SCRIBED AND LOUVERED COMBUSTION AIR VENT



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WILDWOOD CANYON

Yucaipa, California



PROJECT INFO

PLAN 3

JOB NUMBER **22059**

PROJECT MGR. GM

DRAWN BY AD

PLOT DATE: 11-10-2022

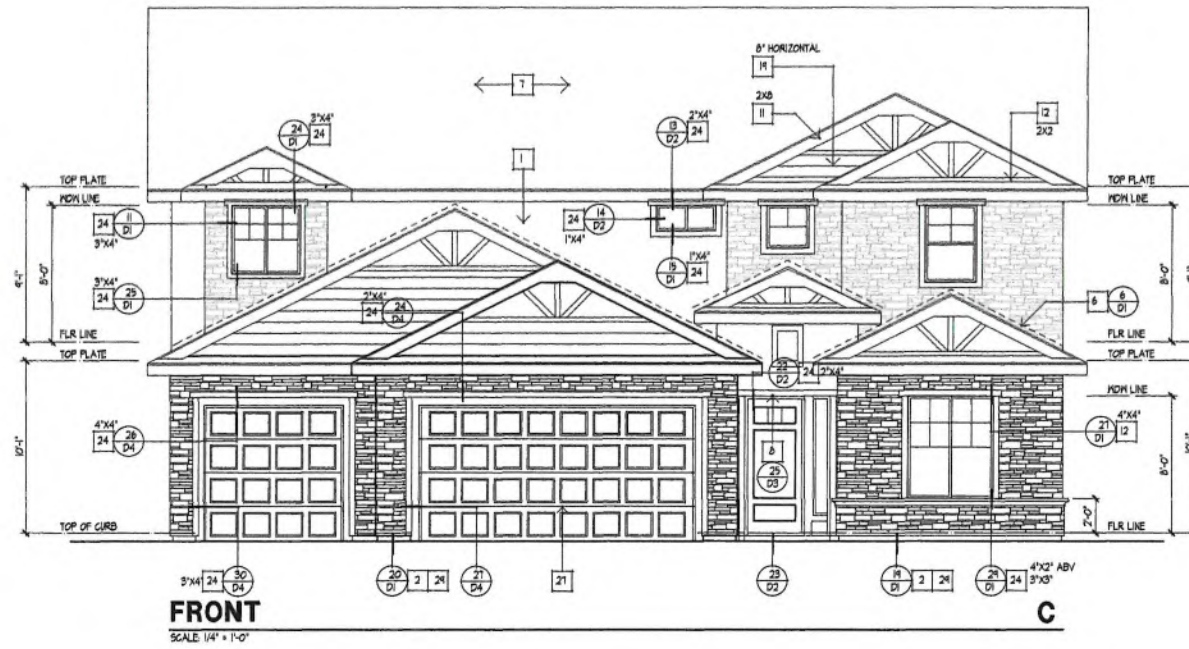
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ELEVATION 'B' RIGHT & REAR ELEVATIONS

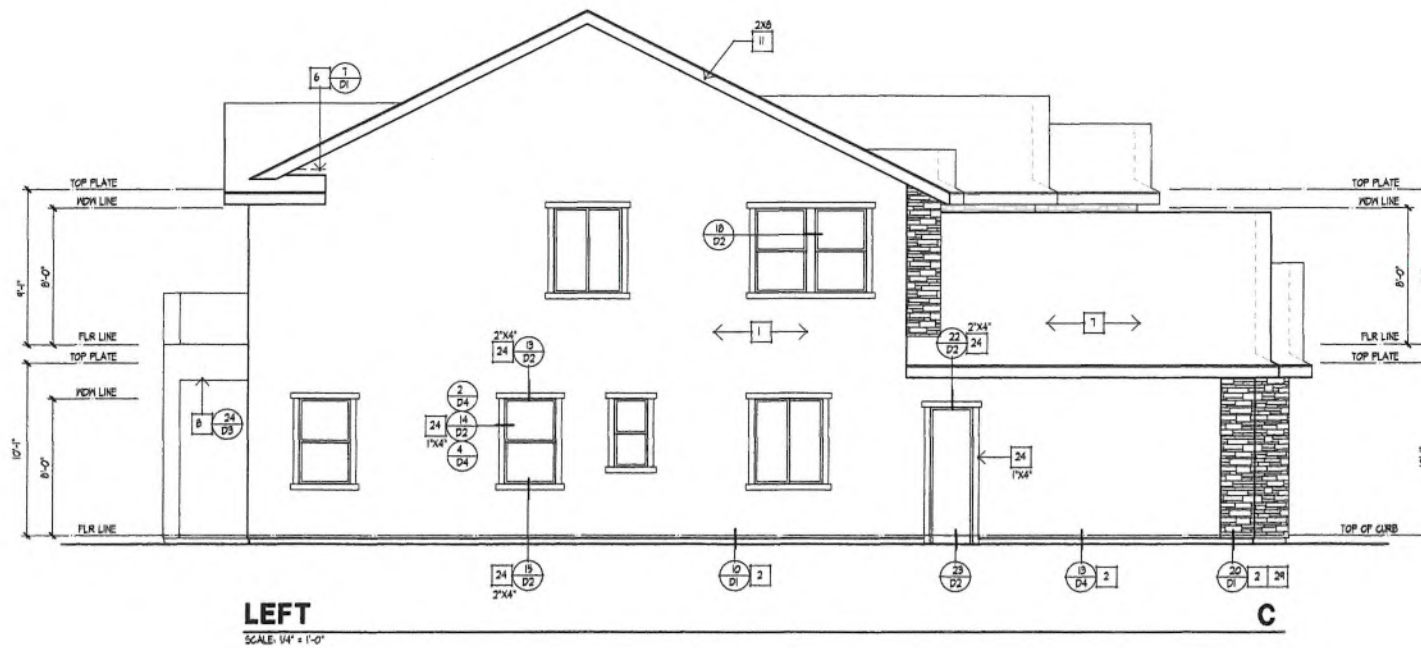
SHEET NUMBER

3.12

PLOT TIME: 12:43 PM PATH: \\NAME.G:\2022\22059 - WILDWOOD - TICMAPA\CD\PLAN-3\2022 34 ELEVATION 3.DWG



FRONT
SCALE: 1/4" = 1'-0"



LEFT
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. 1/8" (3 GA) STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS 6:1 STUCCO SCAFFOLD (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL - NON WORKING / T-24
6. 6:1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STUCCO SOFFIT G/ METAL LATH G/ BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALLOUT)
10. 3x6 RAFTER TAILS
11. REUS/ PASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE.
12. HARDIE TRIM SEE ELEVATIONS FOR SIZE.
13. CULTURED STONE- SO CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNSPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORDEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 18" G1. SCREEDED AND LOUVERED COMBUSTION AIR VENT



KNITTER PARTNERS INTERNATIONAL, INC.
architecture & planning

17752 MITCHELL N. SUITE 'C'
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NO.	DATE	REVISION

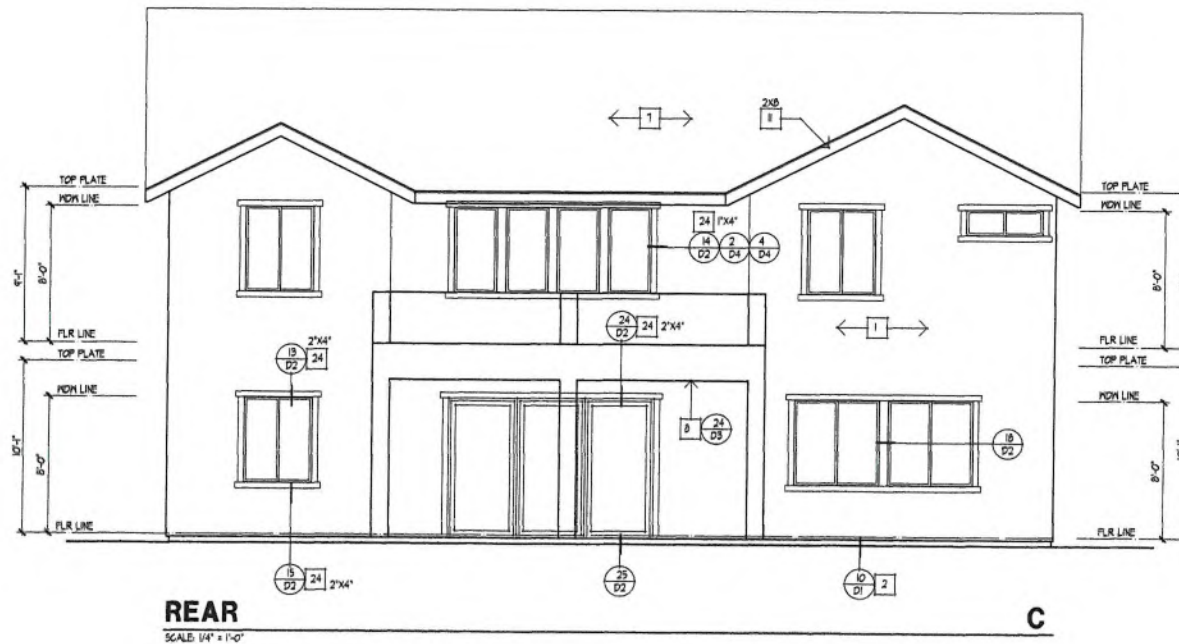
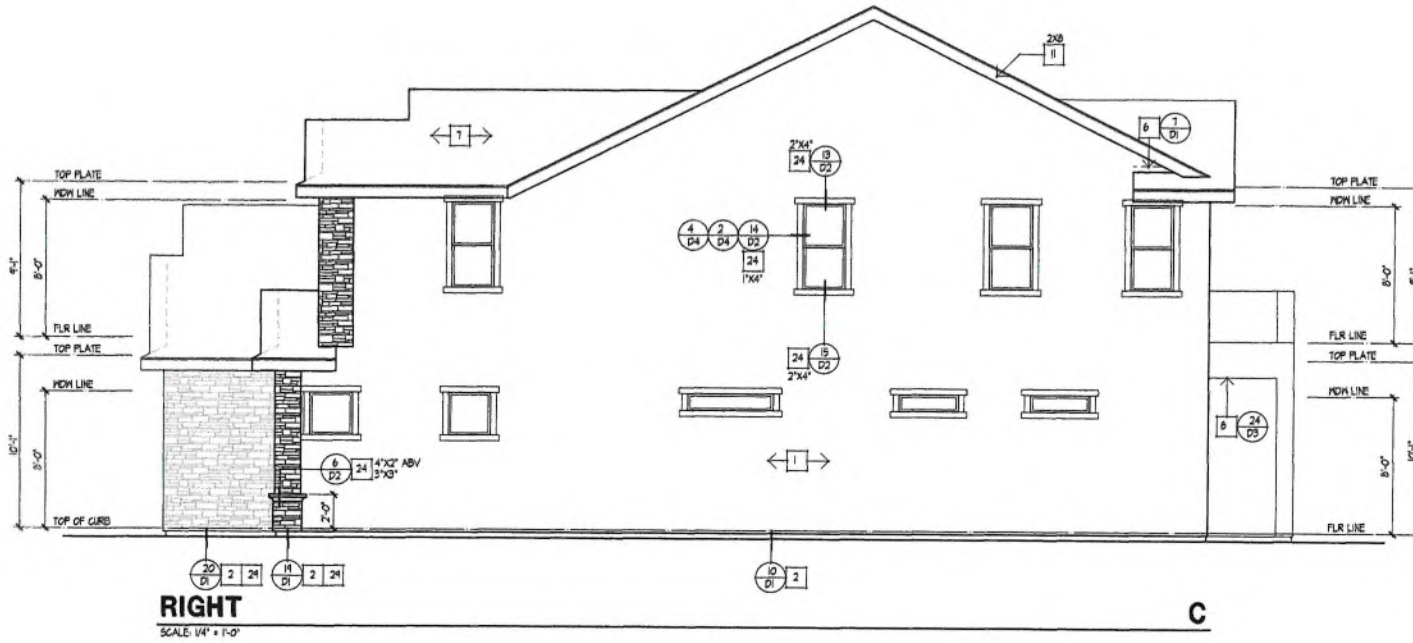
PACIFIC HORIZON HOMES
WILDWOOD CANYON
Yucaipa, California



PROJECT INFO
PLAN 3
JOB NUMBER **22059**
PROJECT MGR. **CM**
DRAWN BY **AD**
PLOT DATE: 11-10-2022

SHEET TITLE
**ELEVATION 'C'
FRONT & LEFT
ELEVATIONS**
SHEET NUMBER
3.13

PLOT TIME: 12:45 PM PATH:\NAME: C:\2023\22059 - WILDWOOD - WILDCORP - WILDCORP\PLAN-1\22059 34 ELEVATION 3.05



ELEVATION NOTES

1. 18" / 3 CONTIGUOUS REFER TO GENERAL NOTES
2. CONTIGUOUS 6:1 STRIGGO SCREED (REFER TO DETAIL)
3. TYPE 'B' VENT WITH CAP BY FIREPLACE MFR.
4. 6:1 SADDLE AND FLASHING
5. DECORATIVE GABLE END VENT BLOCK DETAIL- NON WORKING / T-24
6. 6:1 FLASHING
7. ROOF MATERIAL (REFER TO ROOF NOTES)
8. STRIGGO SOFFIT OF METAL LATH OF BUILDING PAPER
9. NON WORKING ATTIC VENT (REFER TO ATTIC VENT CALC)
10. 3/8 Rafter TALS
11. REB. FASCIA OR BARGE BOARD. SEE ELEVATIONS FOR SIZE
12. HARDIE TRIM. SEE ELEVATIONS FOR SIZE
13. CULTURED STONE- 50 CAL STONE SOLUTIONS.
14. POT SHELF (REFER TO DETAIL)
15. LINE OF CEILING
16. LINE OF SHELF
17. LINE OF ROOF ABOVE
18. DECORATIVE FOAM PIPE
19. TYPICAL EXTERIOR 'HARDIE' SIDING
20. DOWNSPOUT
21. SHUTTERS- PER BUILDERS SPECIFICATIONS
22. WOOD / FOAM CORBEL
23. COLUMN
24. FINISH COAT OVER FOAM TRIM. (REFER TO DETAIL)
25. BRICK VENEER
26. WOOD OUTLOOKER
27. SECTIONAL GARAGE DOOR
28. PAINTED TUBE STEEL RAIL (REFER TO DETAIL)
29. STONE VENEER
30. 14" X 10" 6). SCREENED AND LOVERED CONVECTION AIR VENT



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NO.	DATE	REVISION
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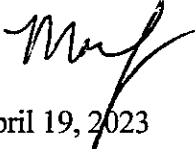
PACIFIC HORIZON HOMES
WILDWOOD CANYON
Yucaipa, California



PROJECT INFO
PLAN 3
JOB NUMBER **22059**
PROJECT MGR. **GM**
DRAWN BY **AD**
PLOT DATE: 11-10-2022

SHEET TITLE
**ELEVATION 'C'
RIGHT & REAR
ELEVATIONS**
SHEET NUMBER
3.14

**CITY OF YUCAIPA
DEVELOPMENT SERVICES DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners
FROM: Madeline Jordan, Associate Planner 
FOR: Planning Commission Meeting of April 19, 2023
SUBJECT: **Marks Architect** (Case No. 22-062/PUP/ARC): A Planning Use Permit to permit the demolition and reconstruction of a new 2,580 square foot Jack-in-the-Box drive-thru restaurant located at 34504 Yucaipa Blvd; APN: 0303-175-45.

RECOMMENDATION:

That the Planning Commission conduct a public hearing; and:

- A) Approve the Planning Use Permit, subject to the Conditions of Approval as contained in the Agenda Report, and if acceptable, approve the Architectural Design and preliminary landscaping; and
- B) Adopt the Findings for the Planning Use Permit as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to Section 15302 (Class 2) and Section 15332 (Class 32) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and,
- D) Direct staff to file a Notice of Exemption.

BACKGROUND:

Surrounding Land Uses:

Area Land Use Designations; Improvement Levels; and existing Land Uses:

Site:	CG (General Commercial)	IL-1	Existing Jack-in-the-Box
North:	CG	IL-1	Auto-repair
South:	CG	IL-1	Pharmacy
East:	CG	IL-1	Restaurant
West:	CG	IL-1	Commercial complex

DISCUSSION:

Location and Setting:

The proposed Project is located on a 0.42-acre parcel at the northeast side of the intersection of Yucaipa Blvd. and 4th Street. The site is currently improved with an existing 2,559 square foot Jack-in-the-Box restaurant and is surrounded by other commercial development, including a restaurant to the east, a commercial complex to the west, and a pharmacy to the south.

Project Design and Description:

The proposed Project consists of a Planning Use Permit (PUP) to permit the demolition and reconstruction of a new 2,580 square foot Jack-in-the-Box drive-thru restaurant at the corner of Yucaipa Blvd. and 4th Street. The proposed use for the Project is considered a Convenience/Support Service under Section 84.0230, Commercial Land Use Types. Pursuant to the Development Code, this is a conditionally permitted use within the CG Land Use District, and would typically be subject to approval through the City's Conditional Use Permit (CUP) process; however, if certain criteria are met, some projects may instead submit a Planning Use Permit (PUP) pursuant to Section 83.030410 of the Yucaipa Development Code. The following Findings for the PUP include: (1) The Project qualifies for a Class 32 Categorical Exemption under the California Environmental Quality Act (CEQA); (2) The proposed Project is adjacent to one (1) or more abutting properties in the same Land Use District (CG) and are developed; (3) There is existing supportive infrastructure (roads, water, sewer or septic, etc.) to accommodate the proposed use that is consistent with the designated improvement level; (4) The proposed Project is not dependent upon the concurrent filing of any other land use application; (5) The Project is planned for immediate development and will not be phased. Furthermore, because the Project proposes a drive-thru restaurant that will be rebuilt within the same commercial drive-thru footprint as an existing building, the Planning Use Permit was the pertinent entitlement application for the current proposal.

The existing building is proposed to be demolished and reconstructed to better accommodate drive-thru vehicular stacking demands. The new design proposes the drive-thru pickup window on the southern elevation (Yucaipa Blvd.) as opposed to the western elevation (4th Street), to maximize queuing capacity and prevent vehicle spillover from impeding parking areas within the site. The Project also presents a more refined "Craftsman" architectural design, which complements the City of Yucaipa Design Guidelines, and will generally improve the building aesthetic from Yucaipa Blvd., which is identified as a scenic corridor in the General Plan.



The existing Jack-in-the Box provides the main entrance on the southern elevation (Yucaipa Blvd.); however, the new design will provide the main entrance as well as a pedestrian pick-up window on the eastern elevation to provide additional drive-thru queuing capacity.

The floor plan identifies a customer ordering area within the restaurant and a seating area which can accommodate up to 50 customers. Additionally, a pedestrian pick-up window is provided on the eastern elevation which faces the parking area within the site. The applicant has identified that during nighttime hours employees will close the lobby to customers and utilize this window to provide service. This is a pragmatic design element that not only provides an additional element of safety to employees during the night shift, but also addresses the market preference design since the Covid-19 Pandemic, where restaurants have seen a continued shift to more “contactless” and quick-service approaches, specifically through food delivery services like UberEATS and Grub Hub.

While there is existing curb, gutter, asphalt, and driveway improvements to support the existing site operations, the Engineering Conditions of Approval identify drive approaches shall be reconstructed to current city standards and are to connect to the new site improvements. A WQMP will also be prepared and reviewed to ensure that historic drainage patterns are maintained on site.

A total of 16 parking spaces are proposed, consistent with the City’s Development Code standards for restaurants that require one (1) parking space for every three (3) fixed seats within the restaurant. One (1) of the spots is ADA accessible and will be provided in front of the main entrance to the building.

Architectural Review:

The applicant has submitted an architectural design package for the proposed drive-thru restaurant and the preliminary landscape plan design for the overall site (attached) and requests Planning Commission approval as required in the Conditions of Approval.

The proposed restaurant reconstruction would provide 2,580 square feet and has been designed to meet the City of Yucaipa’s Design Guidelines. While the existing drive-thru structure features outdated cinderblock elements and plain façades, the current design provides a refined “Craftsman” inspired style. The choice in materials and accent colors also provides a farmhouse influence, intended to support the City of Yucaipa’s agrarian and rural history.

Most of the building is about 22 feet tall with additional variations to the roof line including slightly shorter tower elements. A projecting gabled parapet with a peak height of 18.5 feet is the prominent feature proposed on the front/south elevation which faces Yucaipa Blvd. A similar feature that has a peak height of 27 feet is proposed on the east/side elevation, which is the main entrance to the building, facing the parking area for the site.

The design of the building features a variety of colors and finishes to complement the proposed architectural style. Cement plaster in the color “Sycamore Tan” will be used as the primary base material, and accent features will be provided along the different facades to enhance the overall wall articulation. These accents will include horizontal lap siding in the color “Red Bay” within the gable features on the front/south and east/side elevation and the drive-thru payment window, siding in the color “Sycamore Tan” within the tower elements, building trim and canopies in the color “Bronze,” stone veneer in the color “Yakima” along the base of the building, and lighting fixtures inspired by traditional craftsman wall scones.



East elevation, providing main entrance to the restaurant and pedestrian pick-up window.

As a standard Condition of Approval, all signs will be subject to a separate sign registration and plot plan approval by the Planning Department.

The preliminary landscaping plan has been designed to complement the building design and provide a visual screen along the perimeter of the site, particularly along 4th Street to provide a buffer between the drive-thru lane, property line, and pedestrian sidewalk. All of the landscaping will ultimately be designed to meet the City’s Water Conservation Ordinance and is to be reviewed as a Condition of Approval by the City’s Landscape Architect.

Consistency with the General Plan and Development Code:

The proposed Project is located within the CG Land Use District. The table and discussion below provide an evaluation of the proposed Project’s consistency with adopted development standards with the City’s Development Code and adopted General Plan:

CRITERIA	PROPOSAL	COMPLIANCE WITH GENERAL PLAN AND DEVELOPMENT CODE
Land Use	Convenience/Support Services	Yes. CG standards allow such businesses with approval of a Conditional (or Planning) Use Permit.
Building Height	The tallest portion of the building reaches a height of 26.83 feet.	Yes. CG Development standards allow a building height of 45 feet.
Building and Lot Coverage	<ul style="list-style-type: none"> • <u>Building Coverage:</u> Approximately 15 percent. • <u>Site Coverage:</u> Approximately 84 percent. 	Yes. CG Development standards allow a building coverage of 60 percent and 90 percent coverage for both buildings and paved surfaces.
Landscaping	<u>Site/Parking Lot Landscaping:</u> Approximately 16 percent of the Project site is landscaped. Landscaping is provided within parking lot areas.	Yes. A minimum of 10 percent of the site and 5 percent of the parking area must be landscaped.
Building Setback	<u>Building Setback</u> <ul style="list-style-type: none"> • Front Yard (Yucaipa Boulevard): 15 Feet • Street Side Yard (4th Street): 22.5 feet • Side Yard Setback: 70 feet • Rear Yard: 56 Feet 	Yes. CG Development standards are as follows: <ul style="list-style-type: none"> • Front Yard Setback: 15 feet • Street Side Yard Setback: 15 Feet • Side Yard Setback: 10 feet • Rear Yard Setback: 10 feet
Parking Spaces	16 total parking spaces	Yes. The restaurant provides 50 fixed seats, and the Development Code requires one (1) parking space for every three (3) fixed seats.

The Project meets or exceeds the City's General Plan and Development Code standards for the above referenced items as well as for access and site design.

In addition, the proposed Project supports a number of General Plan policies. These include the following:

- PSF-9.4 Construction/Demolition. Require developers to recycle construction debris for residential, multifamily and commercial construction, and demolition projects that meet certain thresholds.
- CDL-1.7 Centers of Activity. Promote the development of distinct, well-designed focus areas that are served by transit, contain a mix of commercial or civic activities, are supported by adjacent residential areas, and serve as focal points in the community.
- CDL-10.4 Design Variation. Encourage identifiable architectural designs, design variations, and well-planned projects that are visually interesting, neighborhood or district oriented, and well-integrated with the surroundings.
- CDL-10.9 Building Materials. Use high-quality, natural building materials that evoke a sense of quality and permanence, such as stucco, plaster, stone, and wood; natural colors and textures are preferred.
- CDL-10.12 Architectural Detail. While recognizing sensitivity to budget, require publicly visible sides of a building to contain architectural detail and façade articulation, strong patterns of shade and shadow, and integrated architectural detail; blank walls are discouraged.
- ED-2.1 Retail Sales Growth. Invest in the retention, expansion, and attraction of retail businesses (including dining, shopping, and entertainment) in economic sectors that are underrepresented in Yucaipa.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding property owners adjacent to the Project site and no responses were received.

Environmental Review:

The proposed Project consists of the replacement and reconstruction of an existing drive-thru restaurant with negligible change in use, and therefore qualifies for a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines. Additionally, because the Project site is within a developed portion of the City, the Project also qualifies for a Class 32 Categorical Exemption pursuant to Section 15332 of the CEQA Guidelines. This exemption applies to the proposed Project because it is characterized as in-fill development that is considered to be consistent with the general plan policies and zoning regulations for the CG Land Use District, and is located on a site that is less than five acres that is substantially surrounded by urban uses that has no value as habitat for endangered, rare or threatened species. In addition, the approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and the site can be adequately served by all required utilities and public services.

CONCLUSION:

The proposed Planning Use Permit is consistent with the CG Official Land Use District and the General Plan and Development Code standards for the District. The Project meets standards for access, lot size and dimension, setbacks, and site design. The required findings for approval of the Planning Use Permit have been made and are attached.

FISCAL IMPACT:

The Project will receive a Development Impact Fee credit for the existing drive-thru restaurant proposed to be demolished. No additional DIF fees are required for the new proposed Jack-in-the-Box.

Attachments: Planning Use Permit Findings
 Land Use District & Location Map
 Site Photos (Supplemental Attachment)
 Conditions of Approval
 Site Plans
 Building Elevations and Architectural Renderings
 Landscaping Plans

Approved by:

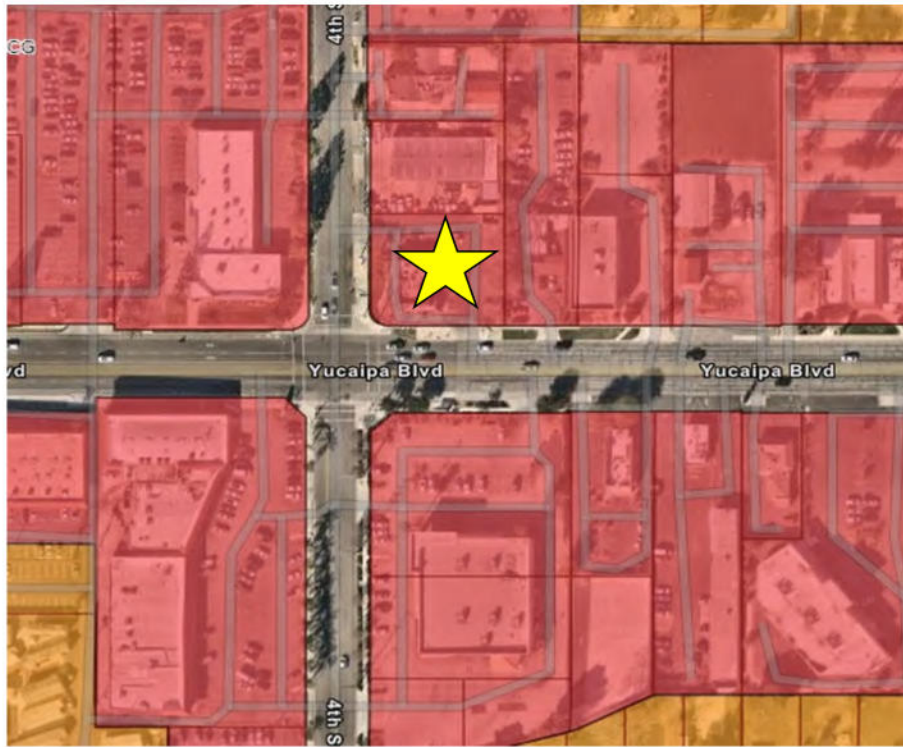


Benjamin Matlock, Planning Manager/City Planner
Development Services Director

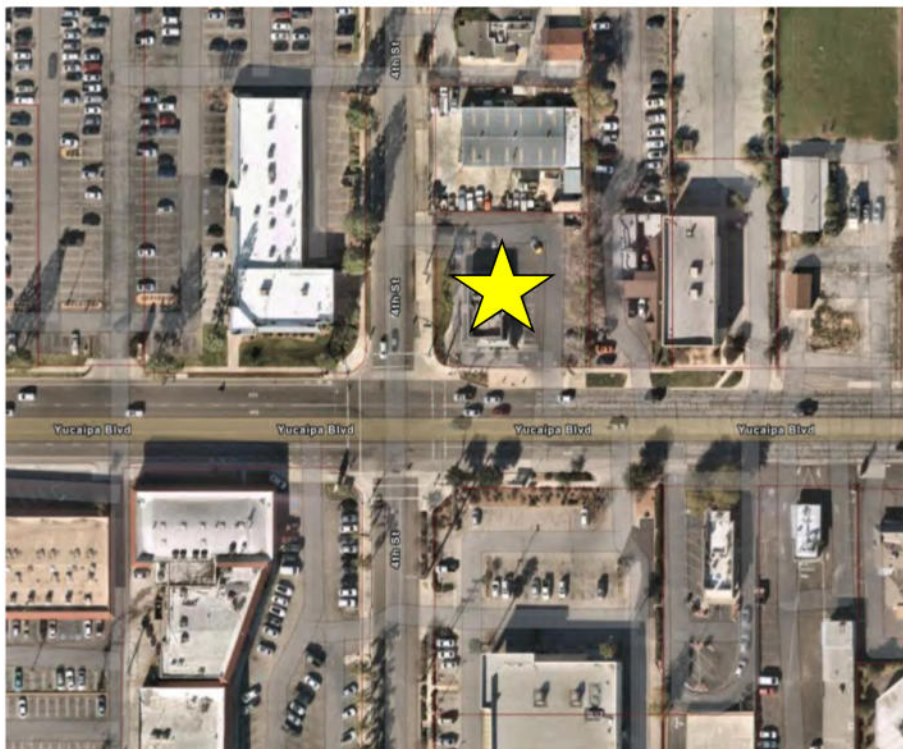
FINDINGS: PLANNING USE PERMIT NO. 22-062

1. The proposed Project will not have a significant impact on the environment because it consists of the replacement and reconstruction of an existing drive-thru restaurant and is characterized as in-fill development that is considered to be consistent with the general plan policies and zoning regulations for the General Commercial (CG) Land Use District, and therefore qualifies under the Class 2 and Class 32 Categorical Exemption pursuant to the California Environmental Quality Act.
2. The site for the proposed use is adequate in size and shape to accommodate the proposed use and all yards, open spaces, setbacks, walls and fences, parking areas, landscaping, and other features pertaining to the application, because the site is large enough and the design is configured to accommodate the proposed Project and accompanying features.
3. The site for the proposed use has adequate access, meaning that the site design incorporates street and highway limitations. The site has existing access via Yucaipa Blvd. and 4th Street and contains appropriate internal driveway circulation, and Conditions of Approval included as a part of the Project reflect that the existing driveway approaches are to be reconstructed to the current city standard.
4. The proposed use will not have a substantial adverse effect on abutting property or the permitted use thereof, meaning that the use will not generate excessive noise, vibration, traffic, or other disturbances, because: 1) The Project design provides for adequate building setbacks, which are greater than those required within the City's standard commercial land use districts; 2) The proposed parking and use complies with City development standards and encourages the use of pedestrian access to the site; 3) Improvements have been conditioned to occur prior to occupancy of the building; 4) Access is currently provided by an existing commercial drive approach off of Yucaipa Blvd. and 4th Street and will be reconstructed to current city standard, and; 5) Adequate on-site landscaping is proposed along the site's street frontages, along all property lines, and on-site. In addition, the use will not substantially interfere with the present or future ability to use solar energy systems because the height of the proposed buildings will not substantially hinder the use of such devices on surrounding properties.
5. The proposed use is consistent with the goals, policies, standards, and maps of the General Plan and any applicable plan, because the proposed use is permitted in the CG Land Use District, subject to the provisions of this Planning Use Permit. The site is located on Yucaipa Boulevard, which provides one of the primary routes for the City and has a secondary access point on 4th Street. Its prominent location is therefore considered appropriate for commercial and service-oriented uses, and is similar to commercial uses that are found along Yucaipa Boulevard.
6. The lawful conditions stated in the approval are deemed necessary to protect the public health, safety, and general welfare, because they ensure adequate circulation, drainage, and compatibility with surrounding land uses.
7. The design of the site has considered the potential for the use of solar energy systems and passive or natural heating and cooling opportunities, because there are no obstructions to the collection of solar energy or the natural movement of wind toward or around surrounding properties.

LAND USE: GENERAL COMMERCIAL (CG)



LOCATION





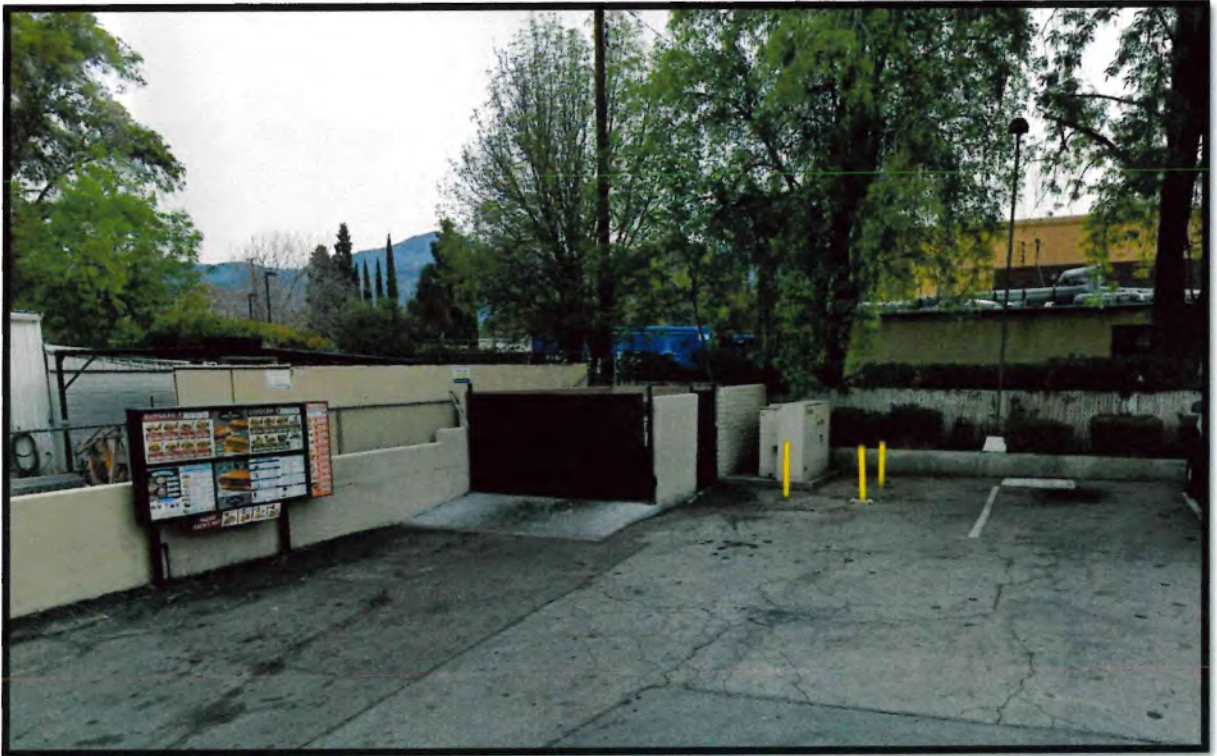
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inc













PLANNING USE PERMIT

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Planning Use Permit is to permit the demolition and reconstruction of a 2,580 square foot Jack-in-the-Box drive-thru restaurant located at 34504 Yucaipa Blvd. **APN:** 0303-175-45. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
3. This Planning Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board"**. The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.

5. All conditions of this Planning Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.
6. The applicant/owner shall maintain in good condition at all times all permanent plantings as identified on the approved landscape plan.
7. All new utility lines shall be placed underground. Existing overhead distribution lines shall be placed underground when four (4) or more utility poles on the same street are located on or adjacent to the project site.
8. Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.
9. All signs proposed by this project may only be lit by steady, stationary, shielded light directed at the sign, by light inside the sign, by direct stationary neon lighting or by an alternating lighting system that changes no more than once per hour. The glare from the luminous source shall not exceed one-half (0.5) foot candle.
10. Parking and on-site circulation requirements shall be maintained at all times.
 - A. Any occupancies which require additional parking that has not been provided for through this Planning Use Permit, such as restaurants or places where food or refreshments are dispensed which have seating, shall not be approved until an application for revision is submitted for review and approval showing the additional parking.
 - B. All markings to include parking spaces, directional designations, "No Parking" designations, and "Fire Lane" designations shall be clearly defined and said markings shall be maintained in good condition at all times.
 - C. Parking and site circulation surfaces (City Road Specification #39) shall be maintained in good condition at all times.
11. Noise levels shall not exceed City Standards as required by Development Code Section 87.0905(b).
12. All refuse generated at the premises shall at all times be stored in approved containers and shall be placed in a manner so that visual and public health nuisances are minimized.
13. All refuse containing garbage shall be removed from the premises at least two times per week in conformance with Municipal Code Section 8.24.030(B).
14. The applicant shall implement the approved "Solid Waste Recycling Plan" for any new commercial, industrial, or institutional uses located on the property. The developer and all occupants of the property shall make a good faith effort to fully

- comply with each component of the approved Plan. Any proposed revision to this Plan shall be subject to the review and approval of Yucaipa Disposal, Inc. (909) 797-9125.
15. Developers of commercial/industrial/institutional projects shall attempt to ensure that at least 20% of the total cost of the project shall be spent with Yucaipa businesses and/or the hiring of Yucaipa residents.
 16. The project site shall remain in full compliance with all City Sign Regulations at all times.
 17. New projects with a landscape area of 500 square feet or more shall comply with Sections 492.6(a)(3)(b) (c), (d) and (g) of the MWELO including the use of renewable organic waste products such as compost and mulch where applicable.
 18. Projects rehabilitating an existing landscape area of 2,500 square feet or more shall comply with Sections 492.6(a)(3)(b) (c), (d) and (g) of the MWELO including the use of renewable organic waste products such as compost and mulch where applicable
 19. Compost and mulch made by the City's franchised hauler, Yucaipa Disposal, Inc. (909) 797-9125, or other designee from recovered organic waste products pursuant to 14 CCR Section 18993.1 shall take precedence over inorganic or virgin forest products when available locally.
 20. The applicant/property owner shall be required to apply an anti-graffiti coating, and/or provide a landscape design of a type and nature that is acceptable to the City Planner, to each of the publicly viewable surfaces deemed by the City Planner to be likely to attract graffiti.
 21. The applicant/property owner, and any and all successors in interest, shall for ten (10) years after the issuance of a Certificate of Occupancy, provide the City with sufficient matching paint and/or anti-graffiti coating on demand for use in the painting over or removal of graffiti from any designated graffiti attracting surfaces.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

22. This project is protected by the Yucaipa Fire Department / CalFire. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted California Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CalFire.
23. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).

24. Required fire flow for this project, as determined by California Fire Code Appendix 'B', is as follows: GPM = 1500 , at 20 psi residual; for 2_ hour duration A reduction in the required fire flow rate may be allowed per the exceptions specified in the California Fire Code. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
25. Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants meeting the required fire flow shall be provided.
26. Fire hydrants shall be installed at locations to be determined by the California Fire Code (2022) Appendix "C". Required fire flow to be determined by the California Fire Code (2022) Appendix "B". Minimum fire flow shall not be less than 1500 gpm.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

27. Submit WQMP Plan for Approval.
28. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.
29. Road sections within and/or bordering the project shall be designed and constructed with curbs, gutters, and sidewalks to City Road Standards, and in accordance with the General Plan Circulation Element.
30. Final improvement plans and profiles shall indicate the location of any existing utility facility which would affect construction. Existing utility poles shall be shown on the improvement plans and relocated as necessary without cost to the City.
31. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:

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32. Applicant shall submit a Notice of Intent and comply with the requirements of the General Construction Activity Storm Water Permit from the State Water Resources Control Board if the project site is 1 acre or greater. In addition, the Storm Water Pollution Prevention Plan (SWPPP) is required to be submitted to the City Engineer for review and approval.
33. Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region and/or as indicated in the "New Development/Redevelopment Guidelines." All provisions of the Water Quality Management Plan (WQMP) consistent with the 2010 MS4 permit and most recent regulatory mandates shall be met.
34. The applicant shall provide documentation indicating that the WQMP, grading plan, erosion control plan and landscape plan are consistent with each other. The documentation shall indicate that each document has been reviewed by the applicant for consistency.
35. The applicant's plans indicate approximately 84% of the site to be improved with impervious surfaces. Design features shall be included to direct storm water run-off flows into landscaped pervious areas before any run-off flows into public rights-of-way.
36. In addition to the drainage, traffic related, or other requirements stated herein, other "on-site" or "off-site" improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.
37. Existing City roads which will require reconstruction shall remain open for traffic at all times, with adequate detours, during actual construction. A cash deposit may be required to cover the cost of grading and paving. Upon completion of the grading and paving to the satisfaction of the Engineering Division, the cash deposit will be refunded.
38. Prior to signing of the improvement plans, any proposed grading within the road right-of-way shall be done under the direction of a Soils Testing Engineer, hired by the applicant. Compaction tests of embankment construction, trench backfill, and all subgrades shall be performed at no cost to the City. Prior to placement of any base materials, and/or paving, a written report shall be submitted by the applicant's engineer to the City Engineer for review and approval.
39. A topographic map shall be provided to facilitate the design and review of necessary drainage facilities at the time the site is developed.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:

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40. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.
41. The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes, California Energy Codes, California Accessibility Codes, and Yucaipa Municipal Codes as adopted by the City of Yucaipa.
42. Site development shall be designed to comply with California Accessibility Codes. Provide access to all entrances and exterior ground floor exits and access to normal paths of travel, and where necessary to provide access. Paths of travel shall incorporate (but not limited to) exterior stairs, landings, walks and sidewalks, pedestrian ramps, curb ramps, warning curbs, detectable warnings, signage, gates, lifts and walking surface material. The accessible route(s) of travel shall be the most practical direct route between accessible building entrances, site facilities, accessible parking, public sidewalks, and the accessible entrance(s) to the site. California Building Code (CBC) 11A and 11B.
 - a. The City of Yucaipa enforces the State of California provisions of the California Building Code disabled access requirements. The Federal ADA standards differ in some cases from the California State requirements. It is the building owner's responsibility to be aware of those differences and comply accordingly.
 - b. Disabled access parking shall be located on the shortest accessible route. Relocate parking spaces accordingly.
43. Separate submittals and permits are required for all structures, accessory structures such as but not limited to, trash enclosures, patios, trellises, gazebos block walls, signage, and storage buildings.
44. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer.
45. The perimeter of the jobsite shall have a properly installed, 6' high, construction fence with privacy cloth attached. The fencing and cloth shall be maintained and kept in good condition until such a time that the project has been completed, or a permanent perimeter wall is in place. All construction entrances/exits shall be approved in advance by city personnel.

46. Government Code Section 65850.2 (AB 3205) requires the City to not issue the final certificate of occupancy unless the applicant has met or is meeting the requirements of the South Coast Air Quality Management District. The applicant shall complete the Air Quality Permit Checklist (available at front counter) to determine whether air quality permits are required for any equipment that may be operated at the site (for non-residential buildings).

South Coast Air Quality Management District
21865 Copely Drive
Diamond Bar, CA 91765-4182
(800) 388-2121

47. Three (3) copies of a landscape and irrigation plan prepared by a Registered Landscape Architect for the planting (drought tolerant landscaping shall be utilized to minimize water consumption) and permanent irrigation system for the development, including setback areas and parkways, shall be submitted to the Building & Safety Division for review and approval. Said plans must be consistent with the City of Yucaipa Landscape Design and Installation Guidelines and include the following details:

- A. Voltage boxes, mailboxes, trash enclosures, maintenance structures, backflow devices, automatic controls, air conditioning/heating units, etc., to be shown on the plan and screened with landscaping and/or decorative fencing/trim.
- B. A permanent automatically-controlled irrigation system.
- C. Landscaping shall consist of drought tolerant vegetation appropriate to the local climate. Trees, shrubs and ground covers in the following quantities shall be required as follows:
1. Tree planting (15 gallon size):
 - a. 1 for each 600 sq. ft. of total landscaped area (one required, minimum);
 - b. 80% of total trees required to be 15 gallon;
 - c. 1 for every 12 parking stalls;
 2. 24 to 96 inch box trees:
 - a. 20% of total trees required (one required, minimum).
 3. Tree Spacing/location:
 - a. small trees: 20 feet O.C. max.;
 - b. large trees: 30 feet O.C. max.;

- c. street trees: 15 gal. min./30 feet O.C. max.;
 - d. min. 6 feet from curbs, paving and sidewalks; trees in parkway between sidewalk and curb shall be provided with a linear root barrier.
 - 4. 5 gallon shrubs:
 - a. 60% of total shrubs required to be 5 gallon;
 - b. 10 for each 300 sq. ft. of landscaped area.
 - 5. 1 gallon shrubs:
 - a. 40% of total shrubs required.
 - 6. Ground Cover:
 - a. Drought tolerant adapted when mature, or native;
 - b. Maximum spacing: 12 inches O.C., or as suitable for planting material;
 - c. Hydroseeding (establish recommended mixture); specify weight or volume per unit area.
- D. Parking/vehicular circulation areas screened with landscaped berms adjacent to streets.
- E. Landscape detail of trash enclosures, to be located within 200 ft. of building pad.
- F. All walls and fences shall be shown, at the top of slope (if applicable), with the style, design, materials, and colors indicated.
- G. Design features to direct storm water run-off into landscaped pervious areas to achieve percolation into the ground before run-off flows reach the public right-of-way of Yucaipa Blvd.
- H. Detector-check valve assembly screening and camouflage, which shall include landscaped berms and/or depressions, shrub screening, and the painting of the equipment to match the landscaping. The height of the equipment shall not exceed the minimum ground clearance established by the applicable code. It is not permitted to be located within the front yard building setback area, unless otherwise approved by City Inspector.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

- 48. Submit engineered road improvement plans to the City Engineer.

49. The WQMP shall be approved and the developer shall provide a financial mechanism for the maintenance of the detention basins which shall be set in place and approved by the City Engineer. The WQMP maintenance agreement shall be executed and recorded by the applicant.

PLANNING DIVISION (909) 797-2489 EXT. 224

50. The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.
51. The applicant/owner shall process a Condition Compliance Review through the City for verification of conditions prior to the issuance of building permits.
52. Water service shall be by Yucaipa Valley Water District. The Yucaipa Valley Water District letter dated 4/18/2022 is included as a Condition of Approval. Submit evidence of service to Building and Safety at time of Condition Compliance review.
53. Sewage disposal shall be by Yucaipa Valley Water District. The Yucaipa Valley Water District letter dated 4/18/2022 is included as a Condition of Approval. Submit evidence of service to Building and Safety at time of Condition Compliance review.
54. Applicant shall procure a verification letter from the sewerage agency. Said letter shall state whether or not sewer connection and service can be made available to the project by the sewerage agency.
55. Plans for food establishments shall be reviewed and approved by the S.B. County Public Health Department, Division of Environmental Health Services (909) 387-4608.
56. Prior to building permit, applicant shall submit a report for risk assessment of potential health hazards from exposure to hazardous materials. For information, contact County Fire Department/Hazardous Materials Division/Local Oversight Program at (909) 386-8401.
57. Verification of application for a sign registration and plot plan approval by the Planning Division must be submitted prior to the issuance of a building permit for the installation, wiring, remodeling or reconstruction of any sign or portion thereof which requires a building permit.
58. The applicant shall submit a "Solid Waste Recycling Plan" for review and approval. This Plan shall address two (2) principal recycling programs: 1) the recycling of construction waste/debris during the demolition and/or development phase of the project, and 2) the recycling of the solid waste that is generated

daily by each proposed use during the operational phase of the project. The construction waste component shall include: complete information on the individual or firm that will be responsible for implementing the recycling plan; complete information on all proposed recycling facilities that will receive waste products; and estimates of the volume or weight of each type of material that will be recycled. The operational waste component shall include: complete information on the location, access, sizes, and numbers of solid waste and recycling bins needed to serve each proposed use that is located within the project. For information on the types of waste disposal services that are available, you may contact Yucaipa Disposal, Inc. at (909) 797-9125 for assistance.

59. Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted.
60. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.
61. Submit a Land Use Compliance Review (LUCR) for freestanding signs for any freestanding sign affiliated with the Project for Planning Commission Review and approval.
62. The applicant/property owner shall grant to the City, in writing, the irrevocable right of entry over, and access to, such property, upon twenty-four (24) hours' posted notice, by authorized City employees or agents, for the purpose of removing or painting over graffiti on any designated graffiti attracting surfaces..

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

63. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

64. The Site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
65. Paths of travel shall incorporate (but not be limited to) exterior stairs, landings, walks and sidewalks, pedestrian ramps, curb ramps, warning curbs, detectable

warnings, signage, gates, lifts and walking surface material. The accessible route(s) of travel shall be the most practical direct route between accessible building entrances, site facilities, accessible parking, public sidewalks, and the accessible entrance(s) to the site. California Building Code (CBC) 11A and 11B.

66. Buildings on the site shall be accessible per California Building Code (CBC) 11B.
67. Separate submittals and permits are required for all accessory structures such as but not limited to trash enclosures, patios, block walls, and storage buildings
68. Any change of occupancy will require submission of plans for approval to Buildings and Safety. It is the applicant's responsibility to contact the local Building and Safety Division for a pre-construction inspection prior to the occupancy of the building(s).

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

69. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.
70. The development and/or project, and each phase thereof, shall have a minimum of two (2) remote points of access, including a secondary access, for fire and other emergency equipment and for routes of escape which will safely handle evacuations.
71. Address numbers shall be placed on all new and existing commercial and multi-family residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Structures shall have numbers of 8" height, 3/8" stroke on contrasting background. Address numbers shall be illuminated so as to be visible and legible from access roadway or street. Industrial occupancies shall have address numbers of 12" height, 1/2" stroke and shall be illuminated so as to be visible and legible from access roadway or street. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers are 6" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.
72. Commercial retail structures with rear access shall place address numbers on rear entry doorways, 4" in height, 3/8" stroke, on contrasting background.
73. Prior to final inspection, there shall be posted at each entrance of the complex an illuminated diagrammatic representation of the complex showing the locations of

- the viewer, the unit designations within the complex, and the locations of fire hydrants. The developer shall submit a drawing detail to the Fire Department for approval.
74. "No Parking - Fire Lane" signs shall be posted at locations designated by Fire Marshall. Fire lane curbs shall be painted red with white letters stating "No Parking – Fire Lane".
 75. On site fire hydrants capable of supplying required fire flow shall be installed at locations identified by the Fire Marshall. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
 76. Approved fire hydrant pavement markers shall be installed.
 77. An automatic fixed fire extinguishing system shall be installed in the hood and duct system of commercial cooking equipment. Three (3) sets of shop plans with material cut sheets and calculations shall be submitted to Fire Department for review and approval prior to installation.
 78. A minimum of one 2A-10BC fire extinguisher shall be installed for each 3,000 sq. ft. of floor area. Travel distance to any one fire extinguisher shall not exceed 75 feet. Additional fire extinguishers, size and class to be determined by Fire Department, may be required. Fire extinguishers shall be serviced annually and shall have a current sfm service tag attached.
 79. A 40BC fire extinguisher shall be installed within 30 feet of commercial food heat-processing equipment. Fire extinguishers shall be serviced annually and shall have a current sfm service tag attached.
 80. Co2 Detection System (Carbon Dioxide) shall be installed per manufacture specifications were Beverage Dispensing application of Insulated liquid carbon dioxide system is with more than 100 pounds of Carbon Dioxide used. A permit shall be required for installation of Detection System by certified Contractor per CFC. Approved placards shall also be in place per NFPA 704.
 81. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.
 82. Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.
 83. Commercial and industrial structures/occupancies and gated complexes shall have a "knox box" system installed on the exterior of the buildings or complex. Location of device to be determined by the Fire Department. The box shall contain keys necessary to gain access and may contain pre-plans and msds information as required by the Fire Department.

84. Commercial exit requirements:
- A. Required exit doors shall be maintained in an operable condition at all times.
 - B. Required exit doors shall swing outward and away in the direction of exit travel.
 - C. Obstructions shall not be placed in the required width of an exit. Exits shall not be blocked or locked shut or obstructed in any manner during business hours.
 - D. Exit paths shall be illuminated when structure is occupied.
 - E. Exit path illumination shall be supplied from two (2) sources of power when occupant load is one hundred (100) persons or more.
 - F. When exit way/exit pathway and/or exit doorway is not easily identified, additional exit signs shall be installed.
 - G. Exit signs shall be internally or externally illuminated by two lamps or shall be of the self-luminous type.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

85. Re-construct driveway approach/entrance. Commercial driveways require radius type approaches.
86. Developer shall be required to place construction traffic control in public right-of-way during the construction of off-site improvements. Traffic control devices shall be maintained 24 hours a day 7 days a week as directed by the City Engineer.
87. The Applicant shall provide written documentation that the WQMP is consistent with the BPMs shown on the as-built grading plans and landscape plans. In case of inconsistency, the Applicant shall revise the WQMP to match the as-built plans.

PLANNING DIVISION (909) 797-2489 EXT. 224

88. Parking and on-site circulation requirements shall be provided for as identified on the approved site plan.
89. All access drives and parking areas shall be surfaced with a minimum of 2 inches of asphalt concrete surfacing, City Road Specification No. 39, which shall be appropriately striped to accommodate safe vehicular circulation.
90. All access drives shall be a minimum of 24 feet wide to facilitate two-way traffic.
91. All parking stalls shall be clearly striped and permanently maintained with double or hairpin lines on the surface of the facility, with the two lines being located an equal nine (9) inches on either side of the stall sidelines; arrows shall be painted on the paving to indicate direction of traffic flow.

92. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.
93. All landscaping and irrigation shown on the approved landscape and irrigation plans and all required walls shall be completed. Trees in the parkway between sidewalk and curb/gutter shall be provided with a linear root barrier. Provide the City with a Certificate of Substantial Completion from the certified professional that prepared the approved landscape and irrigation plans.
94. All roof top mechanical equipment is to be screened from ground vistas.
95. Developers of commercial/industrial/institutional projects shall submit a report detailing the percentage of project costs spent in the City of Yucaipa. At a minimum, this report shall contain a list of local businesses/individuals that have been solicited for bids and/or received contracts for materials or services.
96. Developers of commercial, industrial, or institutional projects shall submit all applicable documentation that is required to verify the volume of weight of each type of construction waste or debris that has been recycled or otherwise disposed of in a lawful manner.
97. Provide a bicycle parking rack in a suitable location.
98. A video surveillance and recording system shall be installed that is capable of covering all exterior portions of the subject property, including parking areas and service alleys.



REMODEL TO EXISTING RESTAURANT

34504 YUCAIPA
YUCAIPA, CA 92399
JIB # 0169 - MK10B



architecture
interior design
retail
restaurants
space planning
master planning
lead accredited
casp

2643 fourth ave.
san diego ca 92103
619-702-9448



marks architects 2023
ALL REPORTS, PLANS AND
DOCUMENTS PREPARED BY MARKS
ARCHITECTS SHALL REMAIN THE
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AND IS INTENDED FOR USE FOR THIS
SPECIFIC PROJECT ONLY.

PLANNING DEPT. SUBMITTAL 03.02.22
PLANNING CORRECTIONS: 02.14.23

MK TYPE: MK10B_MD
JIB #: 0169
ADDRESS: 34504 YUCAIPA BLVD
YUCAIPA, CA 92399



MK10
AS NOTED
TITLE
SHEET

TS1.0

LEGEND & ABBREVIATIONS		BUILDING DATA		GENERAL NOTES		SHEET INDEX	
ALSO REFER TO LEGEND & ABBREVIATIONS ON CIVIL, SITE, PLUMBING, MECHANICAL, ELECTRICAL & KITCHEN DRAWINGS						(TOTAL OF 17 SHEETS)	
<p>INDICATES SHEARWALL LOCATIONS WHERE NO CONDUIT OR PIPING WILL BE PERMITTED TO PENETRATE SILL OR TOP PLATE. SEE PLANS FOR ADDITIONAL NOTES</p> <p>BATT INSULATION</p> <p>RIGID INSULATION</p> <p>GYPSUM BOARD</p> <p>CERAMIC AND QUARRY TILE</p> <p>PLYWOOD</p> <p>CONCRETE</p> <p>MASONRY</p> <p>ASPHALTIC CONCRETE PAVING</p> <p>EARTH GRADE</p> <p>SAND BASE</p> <p>KITCHEN</p> <p>ROOM NAME</p> <p>ROOM NUMBER</p> <p>FINISHES & EQUIPMENT SEE ID DRAWINGS</p> <p>EQUIPMENT, SEE KITCHEN DRAWING</p> <p>EXTERIOR MATERIAL / FINISH</p> <p>EXTERIOR COLOR</p> <p>INTERIOR ELEVATION</p> <p>DOOR SYMBOL</p> <p>KEY NOTES</p> <p>SHEARWALL / ANCHOR BOLT SYMBOL</p> <p>FOOTING SYMBOL</p> <p>DETAIL NUMBER SHEET NUMBER</p> <p>WALL SECTION NUMBER / ELEV. NUMBER SHEET NUMBER</p> <p>BUILDING SECTION NUMBER SHEET NUMBER</p> <p>REVISION SYMBOL</p> <p>ELEVATION/DATUM MARK</p> <p>DIMENSION TO EDGE / FACE OF OBJECT</p> <p>DIMENSION TO CENTER LINE OF OBJECT</p>		<p>OWNER: OC FOOD EXPRESS, INC.</p> <p>JACK IN THE BOX # 169</p> <p>BUILDING ADDRESS 34504 YUCAIPA BLVD, YUCAIPA, CA 92399</p> <p>LEGAL JURISDICTION: YUCAIPA, COUNTY OF SAN BERNARDINO</p> <p>ASSESSOR'S PARCEL ID: 0003-175-45-0003</p> <p>PARCEL AREA: 17,030 SQ.FT.</p> <p>EXISTING BUILDING AREA: 2,559 SQ. FT. (0.059 LOT ACRES)</p> <p>PROPOSED BUILDING AREA: 2,560 SQ. FT.</p> <p>EXISTING BUILDING HEIGHT: 19'-4" V.H.F.</p> <p>PROPOSED SEATING HEIGHT: 28'-6"</p> <p>PROPOSED SEATING: 50 SEATS (INDOOR)</p> <p>OCCUPANCY: A-2</p> <p>TYPE OF CONSTRUCTION: VB - HIGH SPRINKLERED</p> <p>NUMBER OF STORES: 1</p> <p>PARKING PROVIDED: 16 PARKING SPACES</p> <p>OCCUPANT LOAD BREAKDOWN:</p> <p>DINING: 748 S.F. @ 1 PERSON/115 S.F. = 50 OCCUPANTS</p> <p>RESTROOMS: 180 S.F. @ 1 PERSON/10 S.F. = 6 OCCUPANTS</p> <p>KITCHEN: 1,467 S.F. @ 1 PERSON/200 S.F. = 7 OCCUPANTS</p> <p>OFFICE: 185 S.F. @ 1 PERSON/100 S.F. = 2 OCCUPANTS</p> <p>OCCUPANT LOAD: 790 S.F. = 59 OCCUPANTS</p> <p>DEFERRED SUBMITTALS</p> <p>SIGNAGE</p> <p>DRIVE-THRU EQUIPMENT</p> <p>CANOPIES AND AWNINGS</p> <p>SCOPE OF WORK</p> <p>TENANT IMPROVEMENT - FACADE REMODELING WITH APPLICATION OF NEW MATERIALS AND COLORS, RAISING PARAPETS AND UPGRADE OF SITE LIGHTING FIXTURES. ALL INTERIOR IMPROVEMENTS ARE NEW AS DINING DECOR/FURNITURE AND LIGHTING REPLACEMENTS OF EXISTING MECHANICAL UNITS, PLUMBING FIXTURES & LINES AND ELECTRICAL WIRING. STRUCTURAL ALTERATIONS, NO ADDITIONS.</p> <p>OWNERSHIP OF INSTRUMENTS OF SERVICE</p> <p>ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA PREPARED BY MARKS ARCHITECTS INC. AS INSTRUMENTS OF SERVICES SHALL REMAIN THE PROPERTY OF MARKS ARCHITECTS INC. MARKS ARCHITECTS INC. SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT THEREON. © COPYRIGHT 2023</p> <p>VICINITY MAP</p>		<p>A. ALL WORK SHALL CONFORM TO THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF CITY OF LAKE ELSINGRE AND COUNTY OF RIVERSIDE</p> <p>B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED</p> <p>C. DRAWINGS ARE BASED ON A SURVEY</p> <p>D. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK</p> <p>E. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT, IN WRITING, PRIOR TO INSTALLATION</p> <p>F. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION</p> <p>G. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR</p> <p>H. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED</p> <p>J. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION</p> <p>K. "SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL."</p> <p>L. CG SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.</p> <p>2022 CALIFORNIA BUILDING CODE</p> <p>2022 CALIFORNIA ELECTRICAL CODE</p> <p>2022 CALIFORNIA PLUMBING CODE</p> <p>2022 CALIFORNIA MECHANICAL CODE</p> <p>2022 CALIFORNIA FIRE CODE</p> <p>TITLE 24 AND ALL APPLICABLE COUNTY ORDINANCES</p> <p>CITY INFORMATION</p> <p>YUCAIPA, COUNTY OF SAN BERNARDINO</p> <p>COUNTY OF SAN BERNARDINO, CA SAN BERNARDINO COUNTY PLANNING DEPARTMENT 385 N ARROWHEAD AVE, 1ST FLOOR SAN BERNARDINO CA, 92415 (909) 387-4161</p> <p>CITY OF YUCAIPA, PLANNING DEPARTMENT 34272 YUCAIPA BLVD, YUCAIPA, CA 92399 PHONE: (951) 790-9203</p> <p>CONSULTANT INFORMATION</p> <p>ARCHITECT: MARKS ARCHITECTS, INC. 2643 FOURTH AVE SAN DIEGO, CA 92103 TEL: (619) 702-9448 CONTACT: GABRIELA MARKS</p> <p>CIVIL ENGINEER: NAJARS ENGINEERING 14 JARS ENGINEERING, INC. 10759 HOOVER AVE, SUITE 204 SAVITEE, CA 92071 CONTACT: IRAGHAR NAJAR P.E. PHONE: (619) 671-7314</p> <p>LANDSCAPE ARCHITECT: SOTELO LANDSCAPE ARCHITECTS 2643 FOURTH AVE SAN DIEGO, CA 92103 CONTACT: ANGELINA SOTELO PHONE: 619 719 6756</p> <p>OWNER: OC FOOD EXPRESS, INC. 303 E BASELINE ST SAN BERNARDINO, CA 92410 CONTACT: HA ZADULL PHONE: (626) 422-9255</p> <p>UTILITIES INFORMATION</p> <p>WATER / SEWER: YUCAIPA Valley Water District 1270 SECOND STREET POST OFFICE BOX 730 YUCAIPA, CALIFORNIA 92399-0730 PHONE: (951) 797-5117 WWW.VYWD.LG</p> <p>ELECTRIC: EDISON Energy for What's Ahead SOUTHERN CALIFORNIA EDISON PHONE: (800) 655-4555 http://www.sce.com/</p> <p>CABLE TV / TELEPHONE / INTERNET: AT&T CHARTER COMMUNICATIONS THE WARRIOR CABLE FRONTIER COMMUNICATIONS PHONE: (800) 288-2000 PHONE: (661) 456-9330 PHONE: (888) 892-2253 PHONE: (844) 367-8889</p> <p>GAS: SoCalGas SOUTHERN CALIFORNIA GAS PHONE: (800) 427-2000 https://www.socalgas.com/</p>		<p>TS1.0 TITLE SHEET</p> <p>SITE</p> <p>SD0.1 EXISTING SITE PLAN</p> <p>SD1.0 SITE PLAN</p> <p>SD2.0 DETAILS</p> <p>SD2.1 DETAILS</p> <p>GRADING PLANS</p> <p>C1.0 DEMOLITION SHEET</p> <p>C2.0 GRADING SHEET</p> <p>C2.1 DETAIL SHEET</p> <p>C3.0 EROSION CONTROL SHEET</p> <p>LANDSCAPE</p> <p>L1.0 PLANTING PLAN</p> <p>L1.1 PLANTING NOTES AND DETAILS</p> <p>ARCHITECTURAL</p> <p>A1.0 FLOOR PLAN</p> <p>A2.0 ROOF PLAN</p> <p>A4.0 EXTERIOR ELEVATIONS</p> <p>A4.1 EXTERIOR ELEVATIONS</p> <p>INTERIOR DESIGN</p> <p>ID1.0 FURNITURE PLAN</p> <p>KITCHEN</p> <p>K1.0 EQUIPMENT PLAN</p>	



EXISTING SITE PLAN

SCALE: 1" = 10'

NORTH



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MK TYPE: MK10B_MD
JIB #: 0169
ADDRESS: 34504 YUCAIPA BLVD
YUCAIPA, CA 92399



MK10
1" = 10'

EXISTING
SITE PLAN

SD0.1

SITE LEGEND

- PROPERTY LINE
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED SIDEWALK
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- CURB RAMP
- EXISTING STREET LIGHT
- PROPOSED SITE LIGHTING
- BUILDING ENTRANCE
- WHEEL STOP
- ACCESSIBLE PARKING SPACES
- BIKE RACK
- PROPOSED TRANSFORMER LOCATION
- EXISTING WATER METER LOCATION
- PROPOSED GREASE INTERCEPTOR LOCATION
- NUMBER OF PARKING STALLS
- VEHICLE STACKING

GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALLS, ETC., AS INDICATED ON DRAWINGS IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

GENERAL NOTES

- 1 REFER TO THE ACCESSIBILITY AND DIMENSIONING PLAN, SHEET SD1.1, FOR HORIZONTAL CONTROL INFORMATION AND JOINT DETAILING.
- 2 GENERAL CONTRACTOR SHALL PROVIDE AS REQUESTED BY CONSTRUCTION MANAGER COMING SIGN SIGNAGE. SEE DETAIL 9/SD2.1
- 3 ALL SITE CONCRETE PAVING SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.
- 4 GENERAL CONTRACTOR SHALL PROVIDE 12"x12" LANDSCAPE PAVERS AT WINDOWS WHEN LANDSCAPE IS PROVIDED AROUND WINDOW AREAS.

LEGAL DESCRIPTION

APN 0203-175-05-0000 PARCEL NO. 1 OF PARCEL MAP NO 396, P.M. 4/18 CITY OF YUCAIPA, SAN BERNARDINO COUNTY, CA.

LAND USE:

CG (GENERAL COMMERCIAL)

SURROUNDING LAND USES:

N - CG
S - CG
E - CG
W - CG

PARKING REQUIREMENTS

THE PARKING REQUIREMENTS FOR THIS PARCEL ARE AS FOLLOWS:

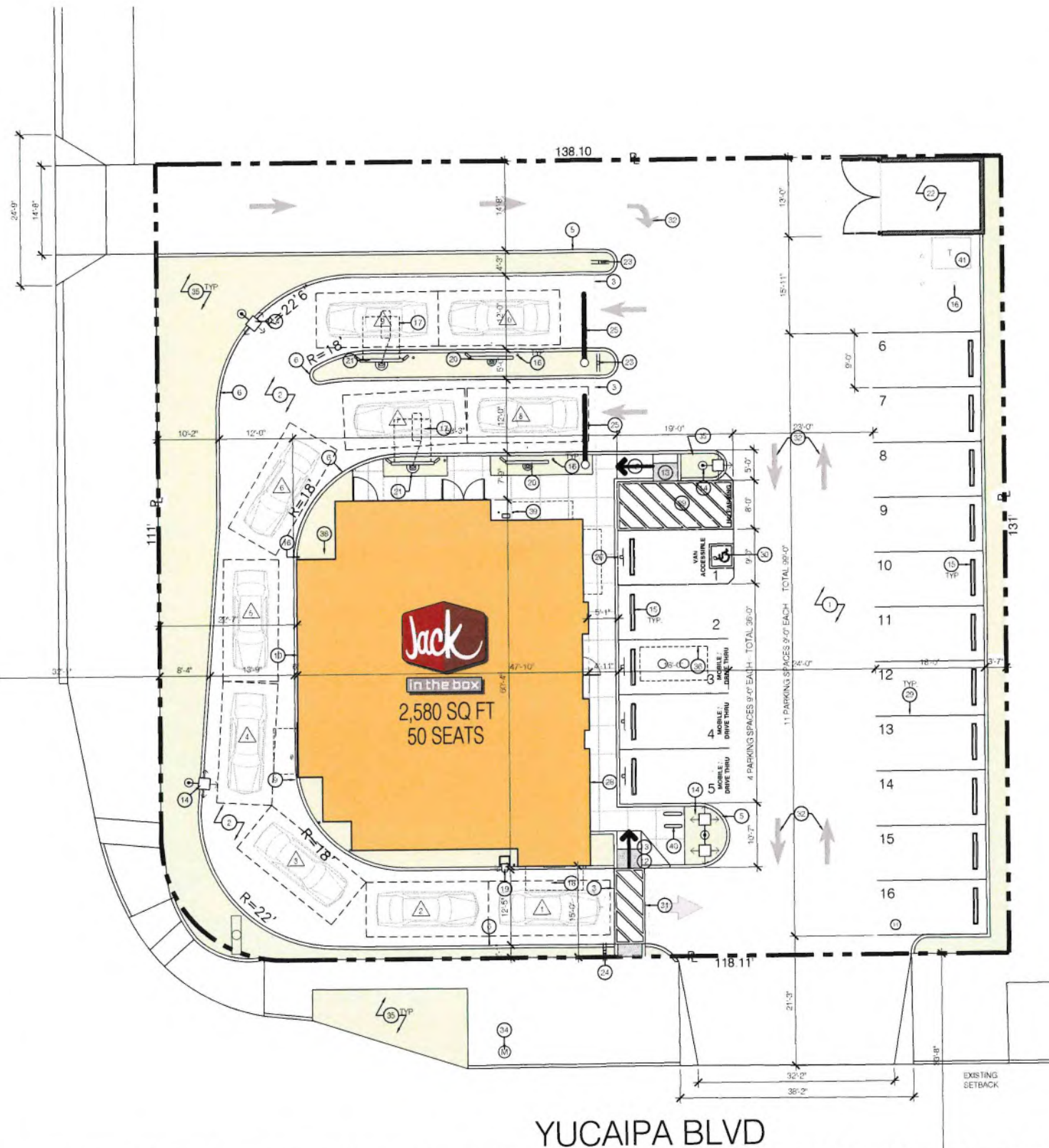
ONE PARKING SPACE FOR EACH THREE SEATS OR FOR EVERY 50 SQUARE FEET OF FLOOR AREA WHERE SEATS MAY BE PLACED; A MINIMUM OF 10 PARKING SPACES SHALL BE PROVIDED.

PARKING ANALYSIS				
USE	SEATS	FORMULA	REQUIRED	PROVIDED
DINING	50	1 PARKING SPACE FOR EACH 3 SEATS	50 SEATS ÷ 3 = 16 SPACES	16 SPACES
Total			16 spaces and 1 loading zone one space ADA accessible	16 SPACES

LOT COVERAGE:

AREA	SF	%
Site	17,030	100%
Building	2,580	15%
Landscape	2,708	16%
Walkways	3,620	21%
Parking	2,789	16%
Trash	219	1%
Paving	5,114	30%
TOTAL	17,030	100%

4TH STREET



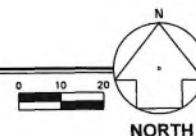
YUCAIPA BLVD

RESTAURANT HOURS

Dinner: This schedule
Monday to Sunday 04:30 AM to 04:00 AM
Public access to include
Monday to Sunday 06:00 AM to 10:00 PM
4 to 8 Employees

SITE PLAN

SCALE: 1" = 10'



Note:
ROOF DRAINS TO NOT BE TIED INTO THE UNDERGROUND STORM SYSTEM UNLESS REQUIRED

CALL STATE UTILITY NOTIFICATION CENTER
1-000-000-0000
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

KEY NOTES

- 1 INSTALL ASPHALT PAVING
- 2 INSTALL CONCRETE PAVING
- 3 PROVIDE THICKENED CONCRETE EDGE AT PAVING INTERFACE. SEE DETAIL 8/SD2.0
- 4 NOT USED
- 5 CONSTRUCT CONCRETE CURB AT ASPHALT PAVING. SEE DETAIL 2/SD2.0
- 6 CONSTRUCT CONCRETE CURB AT CONCRETE PAVING. SEE DETAIL 3/SD2.0
- 7 NOT USED
- 8 NOT USED
- 9 CONSTRUCT CONCRETE CURB AT BUILDING SIDE OF DRIVE-THRU LANE. SEE DETAIL 6/SD2.0
- 10 PROVIDE FOR ROOF DRAINS UNDER THE SIDEWALK AND AT THE CURB FACE. SEE DETAIL 13/SD2.0
- 11 NOT USED
- 12 PROVIDE RAMP AND LANDINGS AT ACCESSIBLE PARKING SPACES. SEE DETAIL 15/SD2.0
- 13 PROVIDE DETECTABLE WARNING. SEE DETAIL 16/SD2.0, 3/SD2.1
- 14 INSTALL LIGHT POLE BASE. SEE DETAIL 16/SD2.1 REFER TO SHEET ES1.1 FOR POLE AND FIXTURE REQUIREMENTS. SEE DETAIL 18/SD2.1 TO SEE ELEVATION
- 15 INSTALL CONCRETE WHEEL STOP TYPICAL AT ACCESSIBLE SPACES AND STANDARD SPACES FRONTING 6-FOOT OR LESSER WIDTH SIDEWALKS. SEE DETAIL 9/SD2.0
- 16 INSTALL BARRIER POSTS AT PREVIEW BOARD, MENU BOARD, AND PERIPHERAL TO BUILDING CORNERS. SEE DETAIL 4/SD2.1. CONTRACTOR TO PROVIDE SLEEVES THROUGH CURB AND GUTTER WHERE APPROPRIATE. SEE ALSO SHEETS SD2.1 AND A1.0 FOR DIMENSIONING CONTROL.
- 17 INSTALL DETECTOR LOOP FOR ORDER BOARD. SEE DETAIL 20/SD2.0
- 18 INSTALL DETECTOR LOOP AT PICK UP WINDOW. SEE DETAIL 10/SD2.1
- 19 PROPOSED DRIVE-UP WASTE CHUTE. SEE DETAIL 1/SD2.1
- 20 INSTALL PREVIEW BOARD. SEE DETAIL 20/SD2.0
- 21 INSTALL ORDER BOARD AND WEATHER PROTECTION CANOPY. SEE DETAIL 19/SD2.1
- 22 EXISTING MASONRY BLOCK TRASH ENCLOSURE
- 23 SITE DRIVE-THRU SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
- 24 SITE THANK YOU/DO NOT ENTER SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
- 25 INSTALL HEIGHT CLEARANCE (8'-0") AND WARNING POLE SIGN. SEE DETAIL 20/SD2.1
- 26 INSTALL ACCESSIBLE PARKING SIGN WITH VAN PLACARD. SEE DETAIL 8/SD2.1
- 27 NOT USED
- 28 APPLY INTERNATIONAL SYMBOL OF ACCESSIBILITY DECAL ON DOOR
- 29 PAINT 4-INCH SOLID WHITE PARKING STRIPES TO MUNICIPALITY STANDARDS
- 30 PAINT ACCESSIBLE PARKING SYMBOLS, TEXT, AND DIAGONALS. SEE DETAIL 6/SD2.1
- 31 PAINT 4-INCH SOLID WHITE STRIPES AT 8-INCHES O.C. AND 45 DEGREES TO TRAFFIC DIRECTION, BORDER WITH 6-INCH SOLID WHITE STRIPE TYPICAL LOADING SPACES AS SHOWN.
- 32 PAINT TRAFFIC DIRECTIONAL ARROWS, SOLID WHITE AND TYPICAL AS SHOWN.
- 33 NOT USED
- 34 EXISTING WATER METER, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET P51.0
- 35 PROVIDE SCHEDULE 40 PVC SLEEVES AT 2X DIAMETER OF PROPOSED IRRIGATION PIPING. TYPICAL OF ALL LANDSCAPE AREAS. REFER TO SHEET I1.1.
- 36 EXISTING GREASE INTERCEPTOR.
- 37 NOT USED
- 38 PROPOSED ELECTRIC METER AND C/T CABINET MOUNTING, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET P51.0
- 39 PROPOSED GAS METER LOCATION, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. BOLLARDS INSTALLED PER PROVIDER STANDARDS. REFER TO SHEETS P51.0 AND P3.0
- 40 INSTALL U-BAR BIKE RACK(S). SEE DETAIL 5/SD2.1
- 41 TRANSFORMER LOCATION

Note:
NO EASEMENTS EXIST.

Note:
NO PROTECTED TREES

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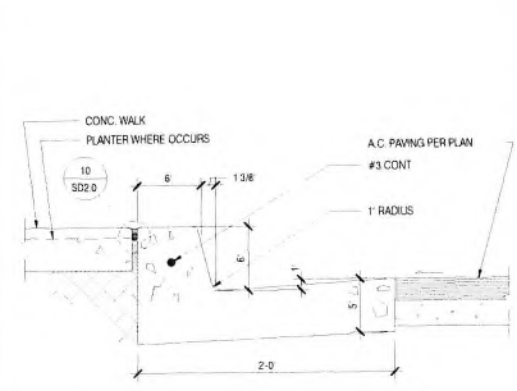
△	PLANNING CORRECTIONS	02/14/23
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MK TYPE: MK10B MD
JIB #: 0169
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YUCAIPA, CA 92399

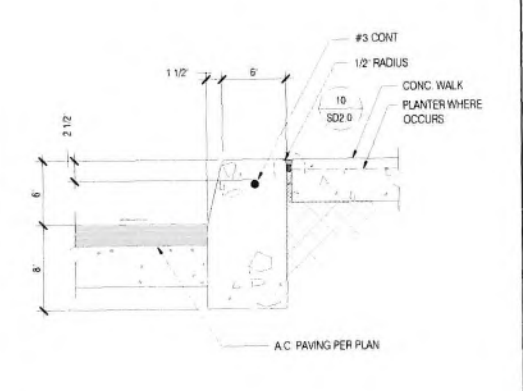
MK10
1" = 10'

SITE PLAN

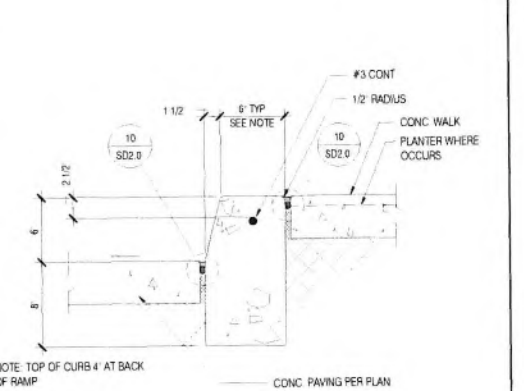
SD1.0



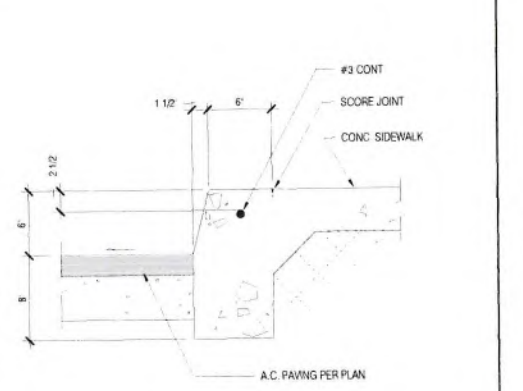
1 CONCRETE CURB AND GUTTER 1 1/2 - 1-0



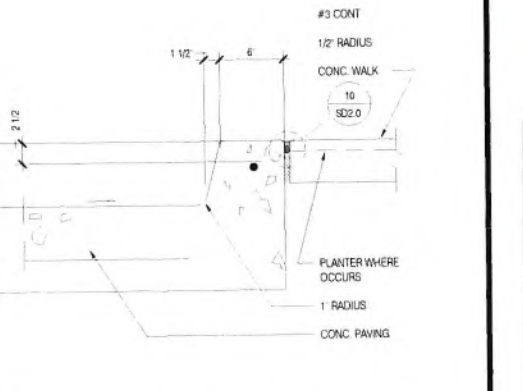
2 CONCRETE CURB AT ASPHALT DRIVE 1 1/2 - 1-0



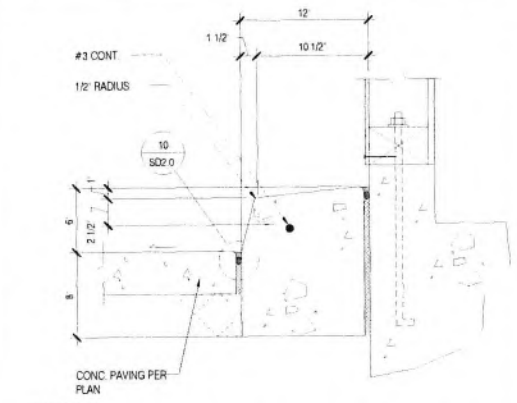
3 CONCRETE CURB AT CONCRETE DRIVE 1 1/2 - 1-0



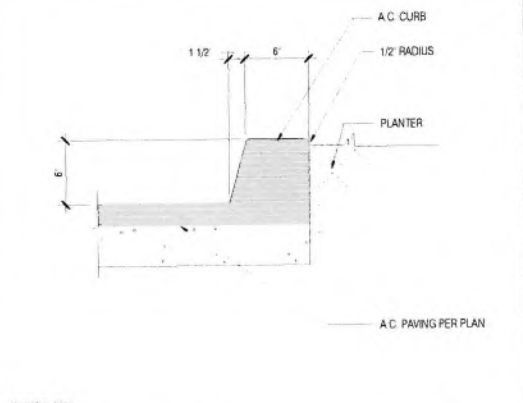
4 MONOLITHIC CONCRETE CURB & WALK 1 1/2 - 1-0



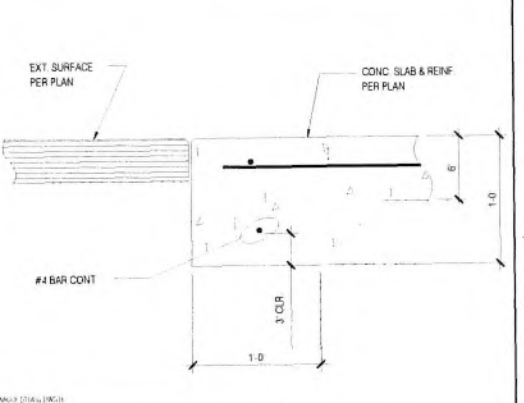
5 MONOLITHIC CONCRETE CURB AND PAVING 1 1/2 - 1-0



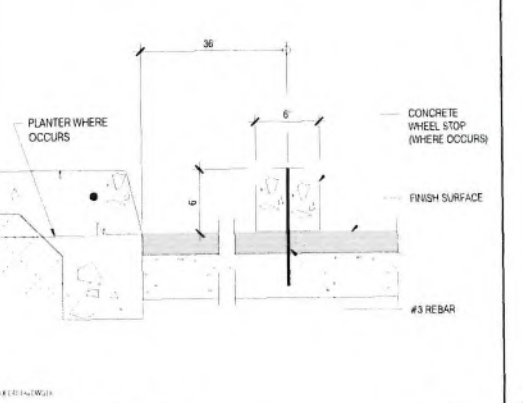
6 CONCRETE CURB AT DRIVE-THRU ALONG BUILDING 1 1/2 - 1-0



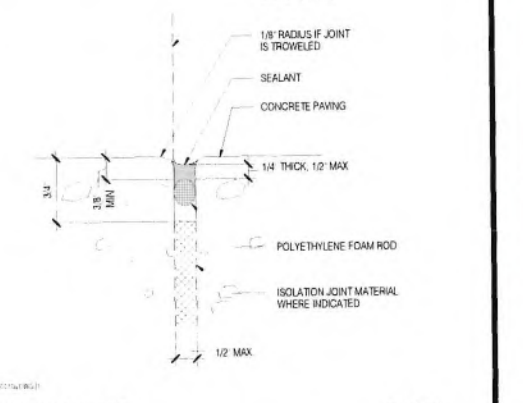
7 TYPICAL ASPHALT CURB 1 1/2 - 1-0



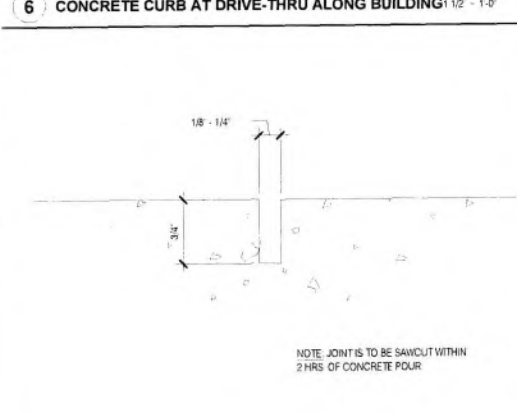
8 TYPICAL THICKENED SLAB DETAIL 1 1/2 - 1-0



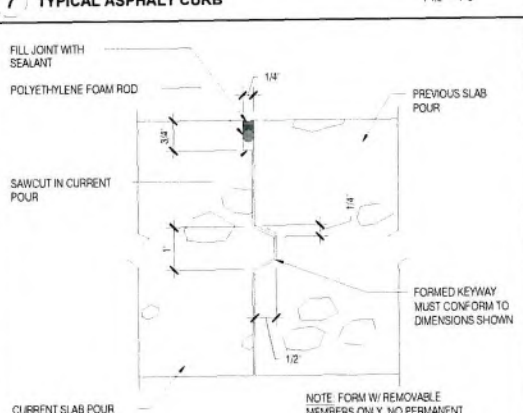
9 CONCRETE WHEEL STOP 1 1/2 - 1-0



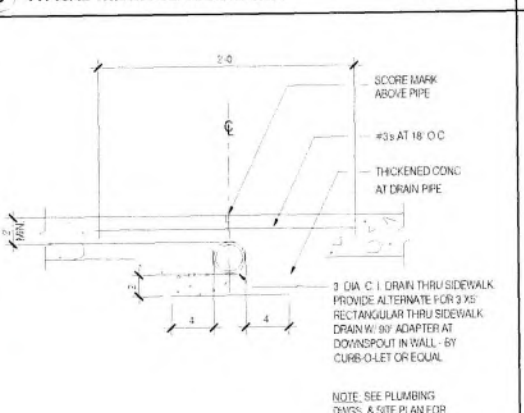
10 ISOLATION JOINT FULL SCALE



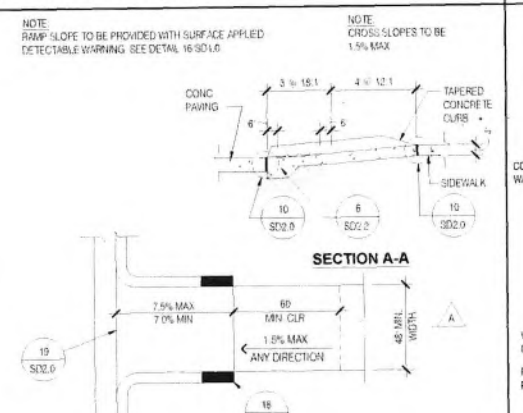
11 TYPICAL CONTROL JOINT (SAWCUT) FULL SCALE



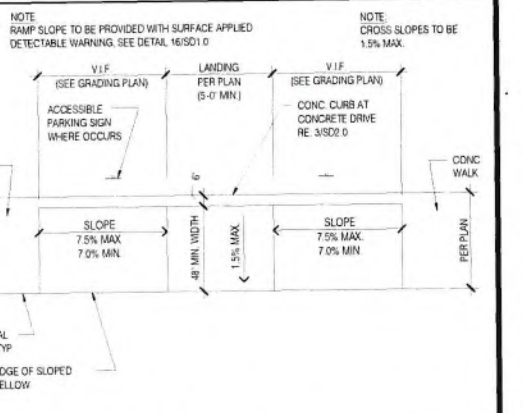
12 CONSTRUCTION JOINT 6 - 1-0



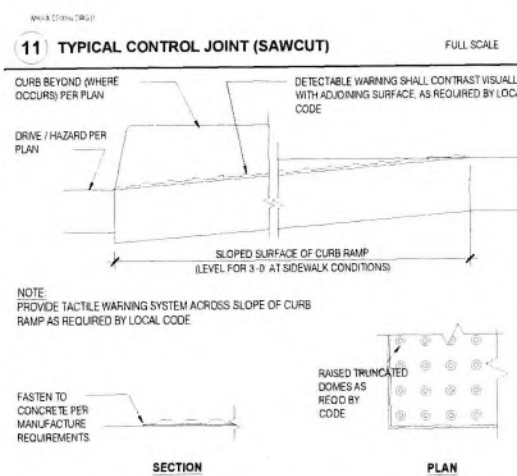
13 DRAIN UNDER CONCRETE WALK 1 1/2 - 1-0



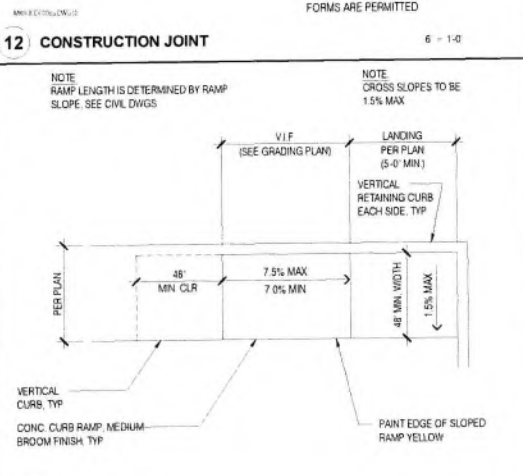
14 IN-LINE CURB RAMP 1 1/2 - 1-0



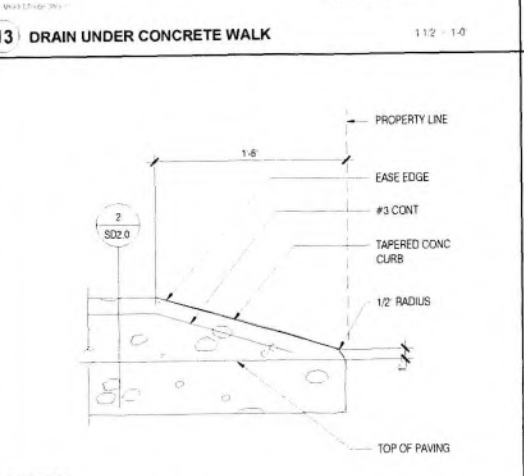
15 IN LINE CURB RAMP AT PARKING ACCESS 1 1/2 - 1-0



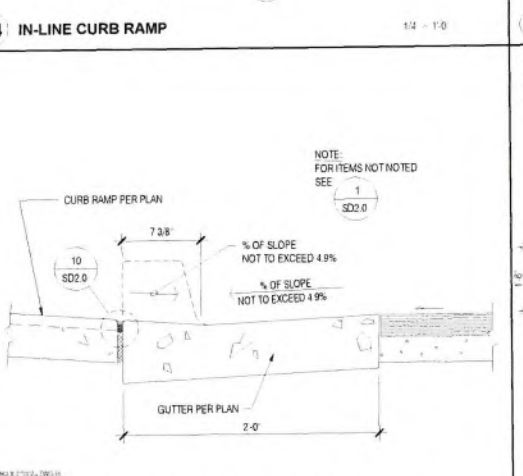
16 SURFACE APPLIED DETECTABLE WARNING 1 1/2 - 1-0



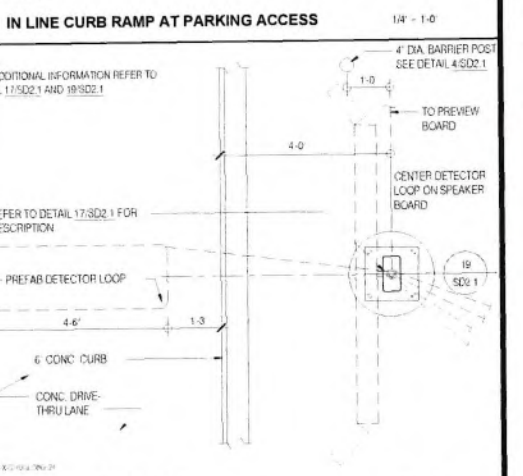
17 DELIVERY RAMP 1 1/2 - 1-0



18 TAPERED CONCRETE CURB 1 1/2 - 1-0



19 CONCRETE CURB & GUTTER AT CURB RAMP N.T.S.



20 SPEAKER BOARD PLAN 1 1/2 - 1-0



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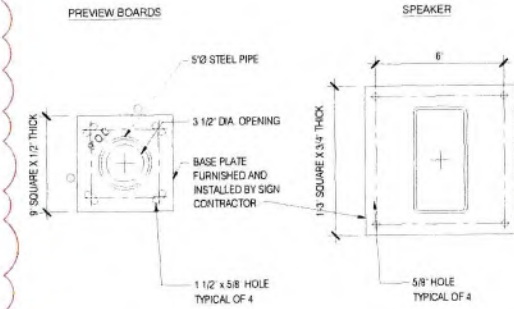
MK10
AS NOTED

DETAILS

SD2.0

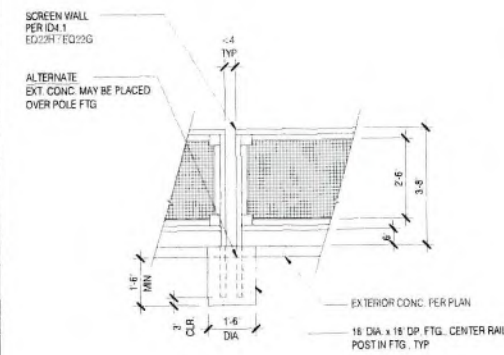


1 DRIVE-UP WASTE CHUTE IMAGE REFERENCE NO SCALE

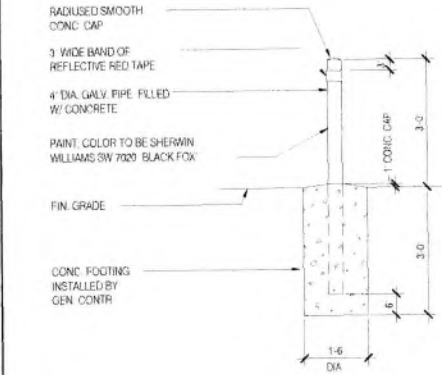


NOTE: COORDINATE ANCHOR BOLT LAYOUT WITH SIGN CONTRACTOR PRIOR TO INSTALLATION

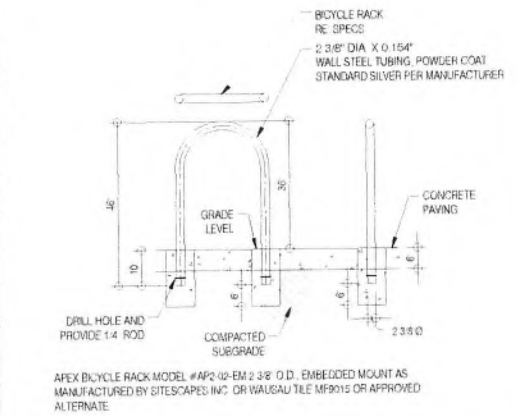
13 BOLTING TEMPLATE AT SPEAKER AND PREVIEW BOARDS 1 1/2\"/>



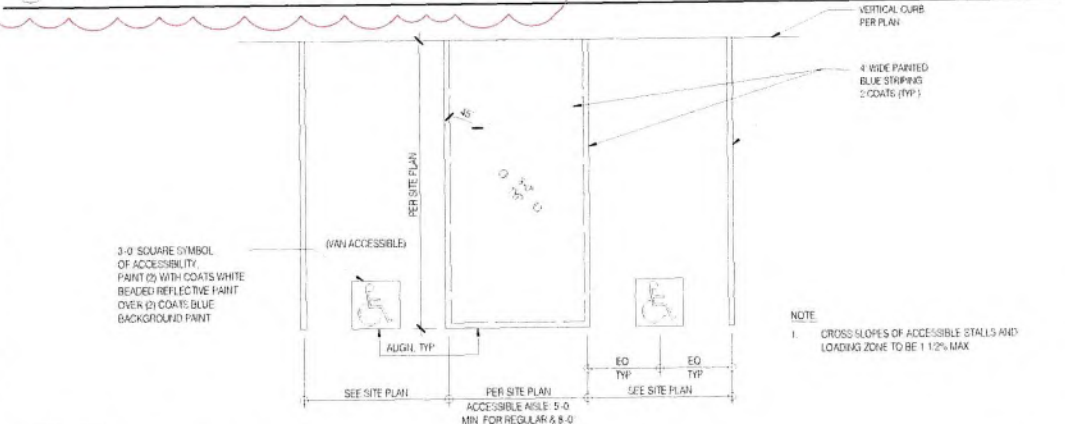
3 FOOTING AT EXTERIOR SCREEN WALL 3/8\"/>



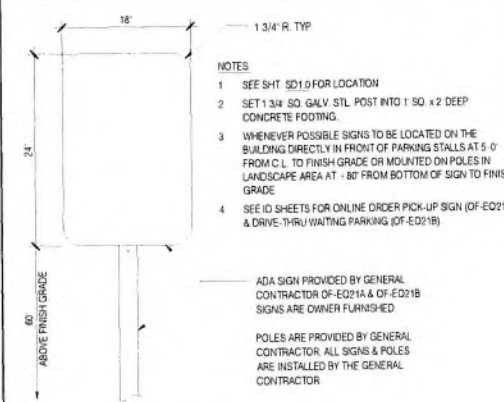
4 BARRIER POST 1/2\"/>



5 BIKE RACK 1/2\"/>



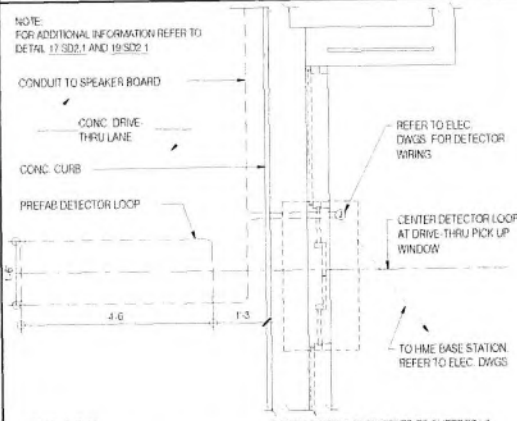
6 ACCESSIBLE PARKING SPACES 3/16\"/>



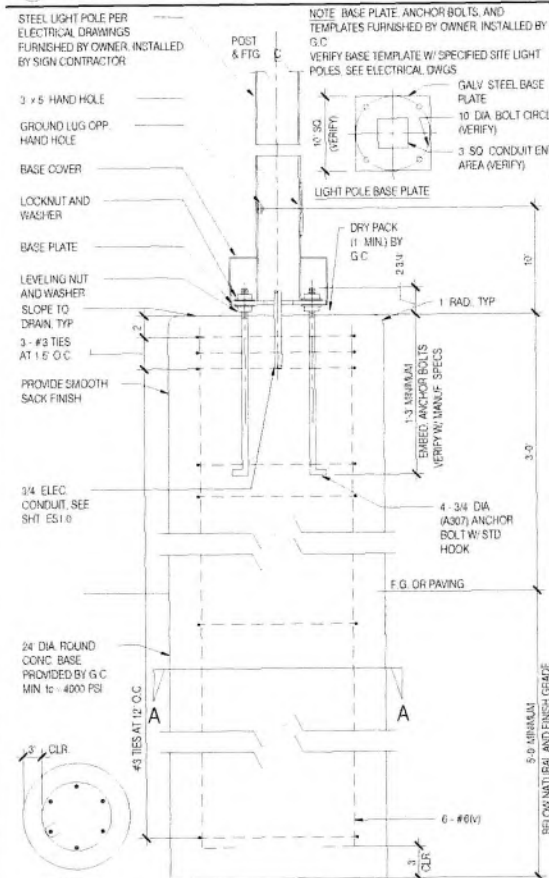
8 METAL PARKING SIGNS NO SCALE



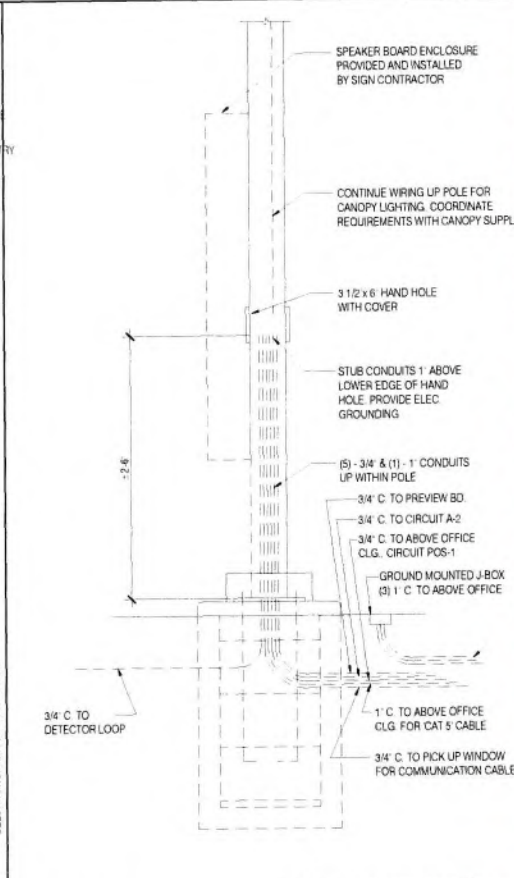
9 COMING SOONISH SIGN NO SCALE



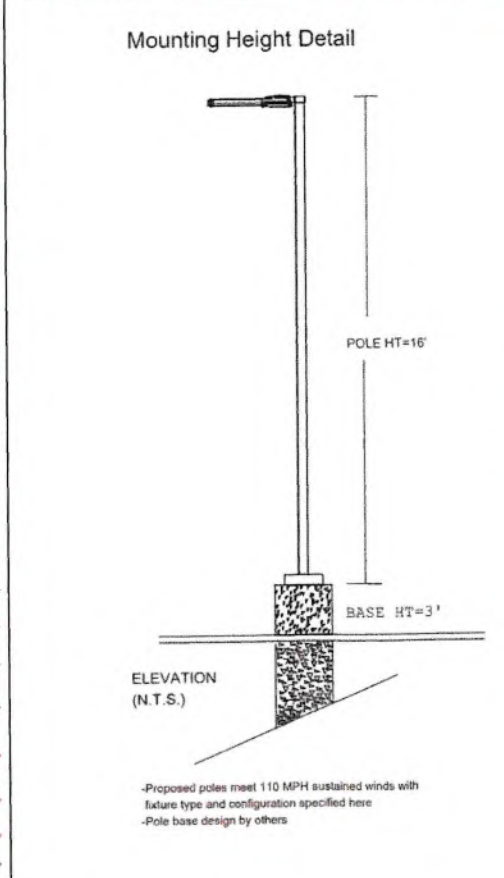
10 DETECTOR LOOP AT DRIVE-THRU PICK UP WINDOW 1/2\"/>



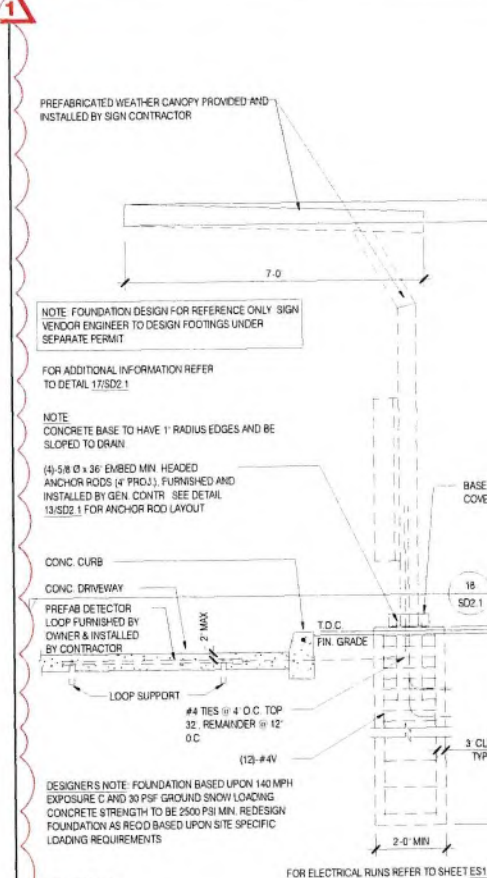
16 LIGHT POLE FOOTING AND BASE 1 1/2\"/>



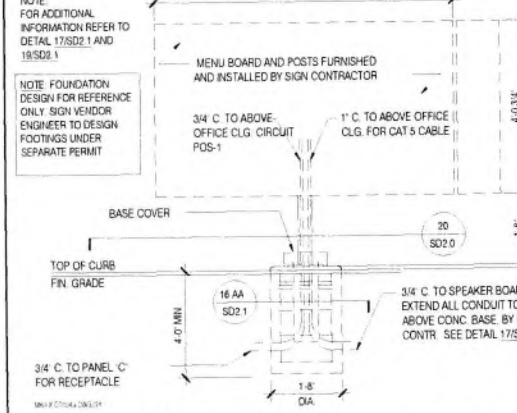
17 SPEAKER BOARD CONDUIT DETAIL NO SCALE



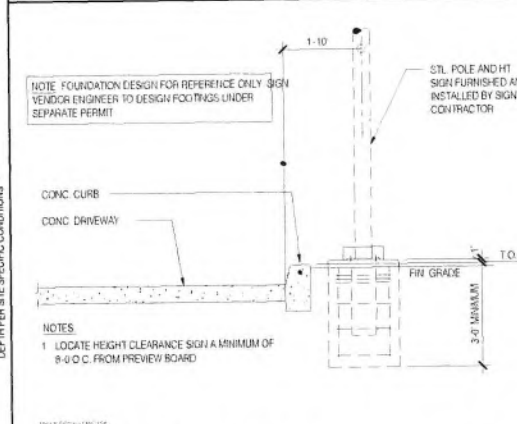
18 LIGHT POLE DETAIL NO SCALE



19 SPEAKER BOARD SECTION 1/2\"/>



15 PREVIEW BOARD ELEVATION 1/2\"/>



20 HEIGHT CLEARANCE POLE SIGN 1/2\"/>



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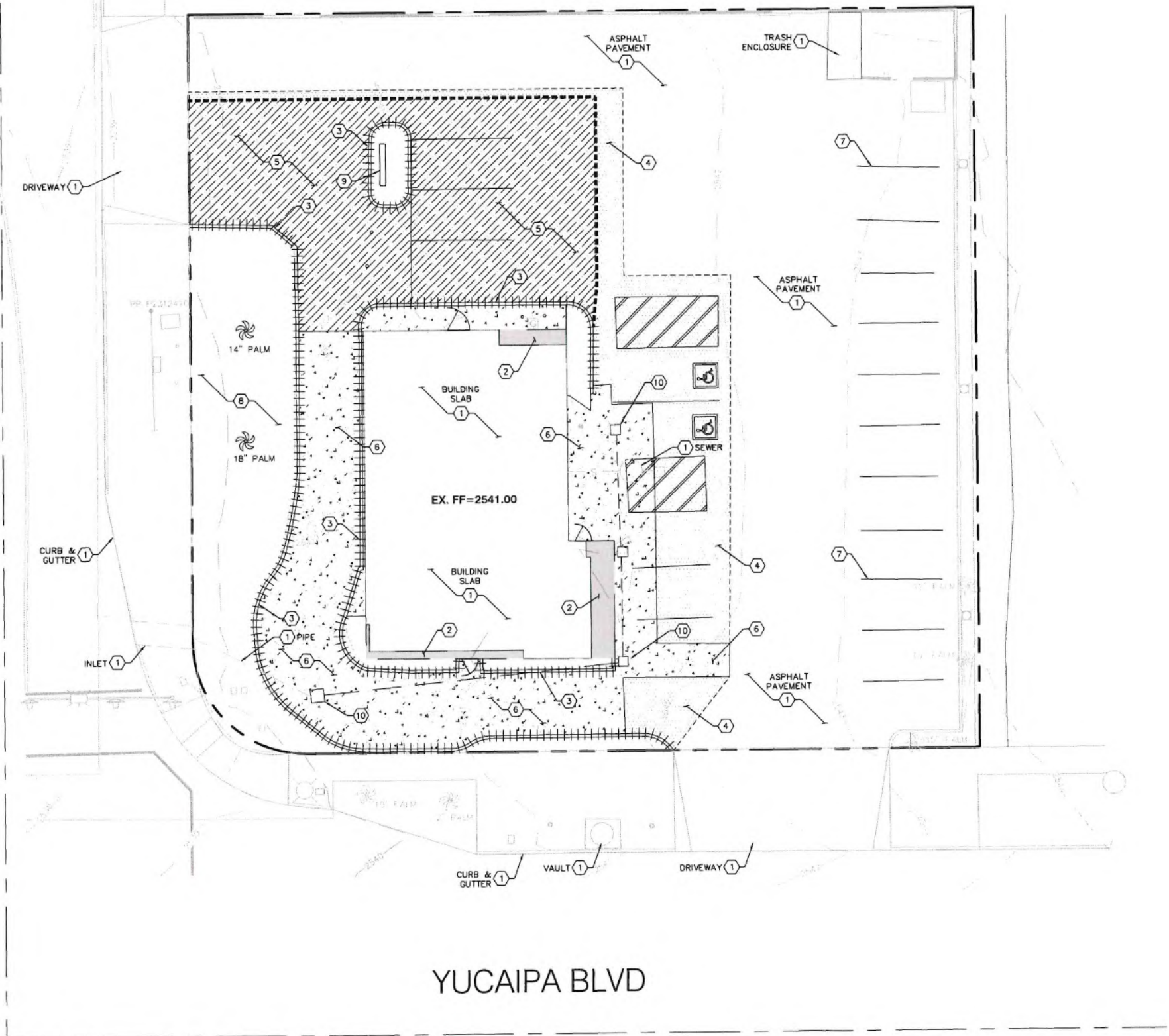


MK10
AS NOTED
DETAILS

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4TH STREET



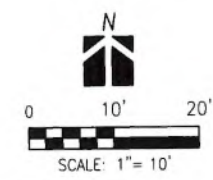
YUCAIPA BLVD

LEGEND

- PROJECT BOUNDARY
- RIGHT OF WAY
- LOT LINE
- SETBACK LIMITS
- EX. CURB
- EX. STRIPING
- EX. COMM
- EX. ELECTRICAL
- EX. BUILDING OUTLINE
- EX. WALL

- EX. PCC PAVEMENT
- EX. AC PAVEMENT
- EX. LIGHT POLE
- DEMO EX. CURB
- SAWCUT LIMITS
- MILL EX. AC PAVEMENT
- FULL DEPTH AC REMOVAL
- FULL DEPTH PCC REMOVAL

DEMOLITION KEYNOTES	
①	PROTECT IN PLACE AS NOTED ON PLANS
②	DEMOLISH EXISTING BUILDING AND SLAB
③	DEMOLISH EXISTING CURB
④	MILL/GRIND 1.5" EXISTING ASPHALT PAVEMENT
⑤	DEMOLISH EXISTING ASPHALT PAVEMENT FULL DEPTH
⑥	DEMOLISH EXISTING CONCRETE PAVEMENT FULL DEPTH
⑦	REMOVE EXISTING STRIPING
⑧	REMOVE EXISTING LANDSCAPING AND TREES
⑨	REMOVE EXISTING SIGNAGE AND ASSOCIATED FOOTING
⑩	REMOVE EXISTING STORM DRAIN INLET AND PIPING



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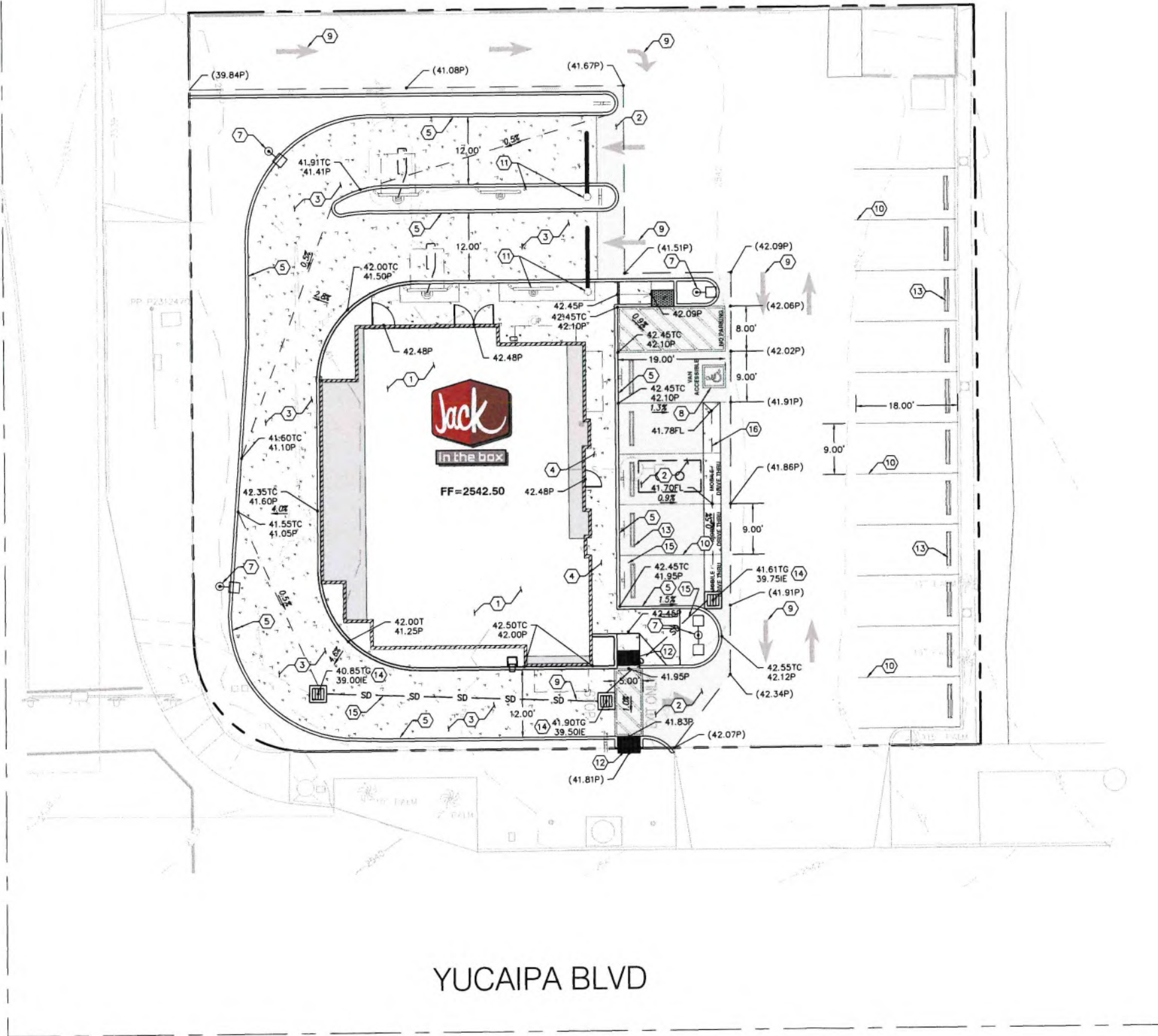


DEMOLITION SHEET

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4TH STREET

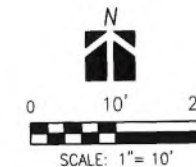


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LEGEND

- PROJECT BOUNDARY
- RIGHT OF WAY
- LOT LINE
- SETBACK LIMITS
- EX. CURB
- EX. STRIPING
- EX. COMM
- EX. ELECTRICAL
- EX. BUILDING OUTLINE
- EX. WALL
- MILL/OVERLAY LIMIT
- PR. CURB
- PR. STRIPING
- PR. SITE LIGHTING
- PR. PCC PAVEMENT
- PR. AC OVERLAY

PROPOSED KEYNOTES	
1	CONSTRUCT JACK IN THE BOX BUILDING PER ARCHITECTURAL DRAWINGS
2	ASPHALT OVERLAY (MINIMUM 1.5" OVERLAY)
3	CONSTRUCT FULL DEPTH AC PER DETAIL 1 SHEET C2.1
4	CONSTRUCT 4" PCC SIDEWALK
5	CONSTRUCT 6" PCC CURB
6	CONSTRUCT 0" HEIGHT PCC CURB PER
7	CONSTRUCT SITE LIGHTING
8	ACCESSIBLE PARKING STALL STRIPING
9	STRIPED DIRECTIONAL ARROW PER DETAIL 2 SHEET C2.1
10	STRIPED PARKING PER DETAIL 3 SHEET C2.1
11	INSTALL MENU BOARD, LOOP AND APPURTENANCES PER ARCHITECTURAL PLANS
12	CONSTRUCT PEDESTRIAN CURB RAMP
13	CONSTRUCT WHEEL STOPS PER DETAIL 4 SHEET C2.1
14	CONSTRUCT 24"x24" GRATE STORM INLET
15	CONSTRUCT 6" PVC STORM DRAIN PIPE
16	CONSTRUCT 3" WIDE RIBBON GUTTER



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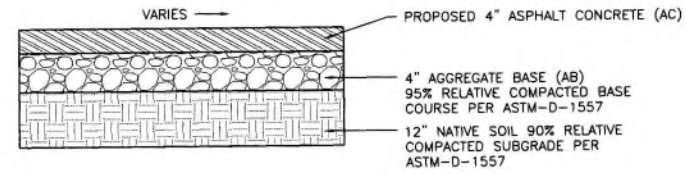
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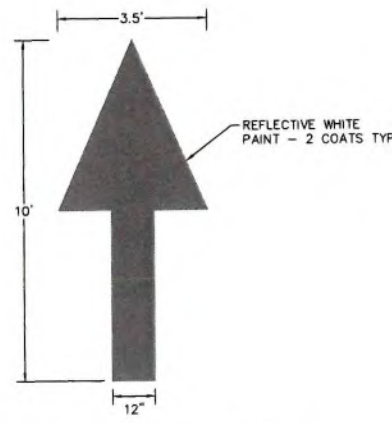


GRADING SHEET

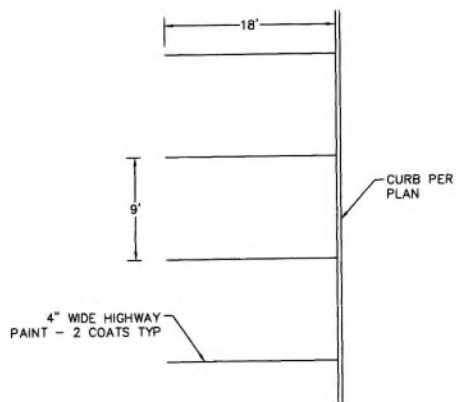
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1 VEHICULAR AC PAVEMENT
SCALE: N.T.S.



2 ARROW PAVEMENT MARKING
SCALE: AS SHOWN



3 PARKING SPACE STRIPING
SCALE: AS SHOWN

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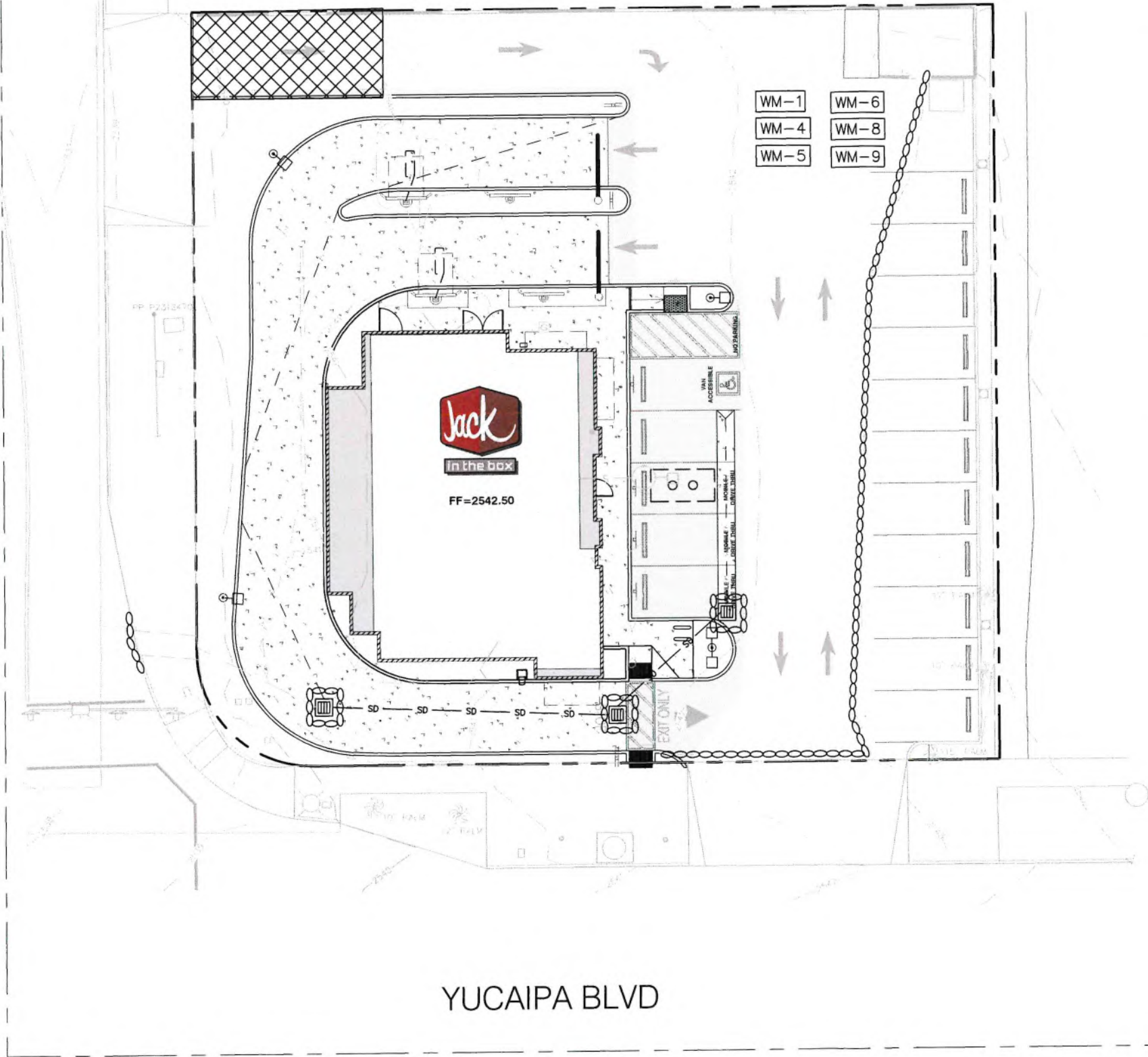
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DETAIL SHEET

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4TH STREET



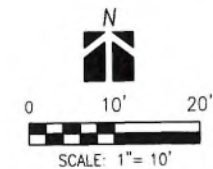
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LEGEND

- WM-1 MATERIAL DELIVERY & STORAGE
- WM-4 SPILL PREVENTION AND CONTROL
- WM-5 SOLID WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
- STABILIZED CONSTRUCTION ENTRANCE TC-1
- GRAVEL BAGS SC-6
- INLET PROTECTION SC-10

EROSION AND SEDIMENT CONTROL NOTES

1. IN CASE EMERGENCY WORK IS REQUIRED, CONTACT BASHAR NAJAR AT 619-971-7514
 2. EROSION CONTROL MEASURES SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
 3. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES IN WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT AND UNTIL PERMANENT GROUND COVER AND LANDSCAPING IS ESTABLISHED.
 4. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED BY THE CITY ENGINEER DUE TO COMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 6. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
 7. ALL GRAVEL BAGS SHALL HAVE 1/4 INCH MINIMUM AGGREGATE (NO SANDBAGS AND NO BURLAP TYPE BAGS ALLOWED).
 8. EXISTING STREETS SHALL BE KEPT FREE OF DIRT AND DEBRIS, AND SHALL BE MAINTAINED IN GOOD CONDITION. DUST SHALL BE CONTROLLED SO THAT IT IS NOT A NUISANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY STREET OR PROPERTY DAMAGED, PUBLIC OR PRIVATE, AS A RESULT OF THE WORK.
 9. THE PLAN SHALL PROVIDE THAT NO SAND, SILT, OR DEBRIS SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM INCLUDING PUBLIC STREETS.
 10. THE OWNER AND/OR THE OWNER'S CONTRACTOR SHALL IMPLEMENT THE PLAN AND TAKE REMEDIAL AND PREVENTIVE ACTION IMMEDIATELY WHEN POLLUTANT DISCHARGE OCCURS AND/OR THE CITY ENGINEER OR THE BUILDING DIVISION DIRECTS.
 11. THE ABOVE SHALL APPLY STARTING THE 1ST DAY OF GRADING AND/OR CONSTRUCTION AND SHALL REMAIN IN EFFECT UNTIL ALL GRADING AND/OR CONSTRUCTION WORK HAS BEEN COMPLETED AND 70% OF THE DISTURBED LAND HAS BEEN STABILIZED BY APPROVED VEGETATION, MULCH, GRAVEL, ETC.
- ALL EROSION AND SEDIMENT CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE CITY OF YUCAIPA'S JURISDICTIONAL RUNOFF MANAGEMENT PROGRAM (JRMP) AND SHALL INCLUDE THE FOLLOWING:
- DRY SEASON (MAY 1 THROUGH SEPTEMBER 30)**
1. ALL EXPOSED DISTURBED AREAS MUST HAVE EROSION PREVENTION CONTROLS PROPERLY INSTALLED INCLUDING BUILDING PADS, UNFINISHED ROADS AND SLOPES. SLOPES LESS THAN 33.3% OR 1:3 (VERTICAL VS. HORIZONTAL) MAY USE PROPERLY DESIGNED AND INSTALLED DE-SILTING BASINS IN LIEU OF THIS REQUIREMENT.
 2. ADEQUATE PERIMETER PROTECTION BMPs MUST BE INSTALLED AND MAINTAINED.
 3. ADEQUATE SEDIMENT CONTROL BMPs MUST BE INSTALLED AND MAINTAINED.
 4. ADEQUATE BMPs DESIGNED TO CONTROL OFF-SITE SEDIMENT TRACKING MUST BE INSTALLED AND MAINTAINED.
 5. AT A MINIMUM, 125% OF THE MATERIALS NEEDED TO INSTALL STANDBY BMPs NECESSARY TO COMPLETELY PROTECT EXPOSED PORTIONS OF THE SITE FROM EROSION AND PREVENT SEDIMENT DISCHARGES MUST BE STORED ON THE SITE.
 6. AN APPROVED "WEATHER TRIGGERED" RESPONSE PLAN IS MANDATED FOR IMPLEMENTATION IN THE EVENT THAT A PREDICTED STORM EVENT HAS AT LEAST A 50% CHANCE OF RAIN. THE PROPONENT MUST HAVE THE CAPACITY TO DEPLOY THE STANDBY BMPs WITHIN 48 HOURS OF THE PREDICTED STORM EVENT.
 7. ALL SLOPES MUST BE EQUIPPED WITH EROSION PREVENTION BMPs AS SOON AS SLOPES ARE COMPLETED FOR ANY PORTION OF THE SITE.
 8. CLEARED OR GRADED AREAS LEFT EXPOSED AT ANY GIVEN TIME ARE LIMITED TO THE AMOUNT OF ACREAGE THAT THE PROJECT PROPONENT CAN ADEQUATELY PROTECT PRIOR TO A PREDICTED STORM EVENT.
- WET SEASON (OCTOBER 1 THROUGH APRIL 30)**
IN ADDITION TO THE DRY SEASON REQUIREMENTS:
1. PERIMETER PROTECTION AND SEDIMENT CONTROL BMPs MUST BE UPGRADED IF NECESSARY TO PROVIDE SUFFICIENT PROTECTION FOR STORMS.
 2. ADEQUATE EROSION PREVENTION BMPs MUST BE INSTALLED AND ESTABLISHED FOR ALL COMPLETED SLOPES PRIOR TO OCTOBER 1 AND MAINTAINED THROUGHOUT THE WET SEASON. IF A BMP FAILS, IT MUST BE REPAIRED, IMPROVED OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO.
 3. THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED STANDBY EROSION AND SEDIMENT CONTROL BMP CAPACITY.
 4. AN INCOMPLETE DISTURBED AREA THAT IS NOT BEING ACTIVELY GRADED MUST BE FULLY PROTECTED FROM EROSION IF LEFT FOR 10 DAYS OR MORE.



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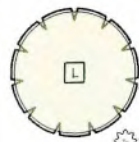


MK10
EROSION CONTROL SHEET

C3.0

PLANT LIST

ABBR	SIZE	QTY	SCIENTIFIC NAME	COMMON NAME
TREES				
LAG. FAU	24" BOX	1	LAGERSTROEMIA FAUREI 'MUSKOGEE' (STANDARD)	LAVENDER CRAPE MYRTLE
SHRUBS				
AGA. B.G.	5 GAL	17	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE
BUL. FRU	1 GAL	10	BULBINE FRUTESCENS	STALKED BULBINE
CAL. L.J.	5 GAL	25	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLE BRUSH
DIA. CAE	1 GAL	38	DIANELLA CAERULEA 'CASSA BLUE'	CASSA BLUE FLAX LILY
DIE. BIC	1 GAL	14	DIETES BICOLOR	BICOLOR AFRICAN IRIS
LAN. N.G.	5 GAL	4	LANTANA 'NEW GOLD'	GOLDEN SPREADING LANTANA
LIG. TEX	5 GAL	23	LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET
LOM. P.P.	5 GAL	18	LOMANDRA CONFERTIFOLIA 'POM POM'	SHORTY MAT RUSH
PHO. ATR	5 GAL	1	PHORMIUM TENAX 'ATROFURPUREUM'	GIANT BRONZE NEW ZEALAND FLAX
RHA. PIN	5 GAL	13	RHAPHOLEPIS INDICA 'PINKIE'	PINKIE INDIAN HAWTHORN
WES. FRU	5 GAL	27	WESTRINGIA FRUTICOSA	COAST ROSEMARY
WES. G.B.	5 GAL	20	WESTRINGIA FRUTICOSA 'GREY BOX'	DWARF COAST ROSEMARY
GROUNDCOVERS				
ROS. O.P.	1 GAL		ROSMARINUS OFFICINALIS PROSTRATUS	PROSTRATE ROSEMARY



LAG. FAU



AGA. B.G.



BUL. FRU



CAL. L.J.



DIA. CAE



DIE. BIC



LAN. N.G.



LIG. TEX



LOM. P.P.



PHO. ATR



RHA. PIN



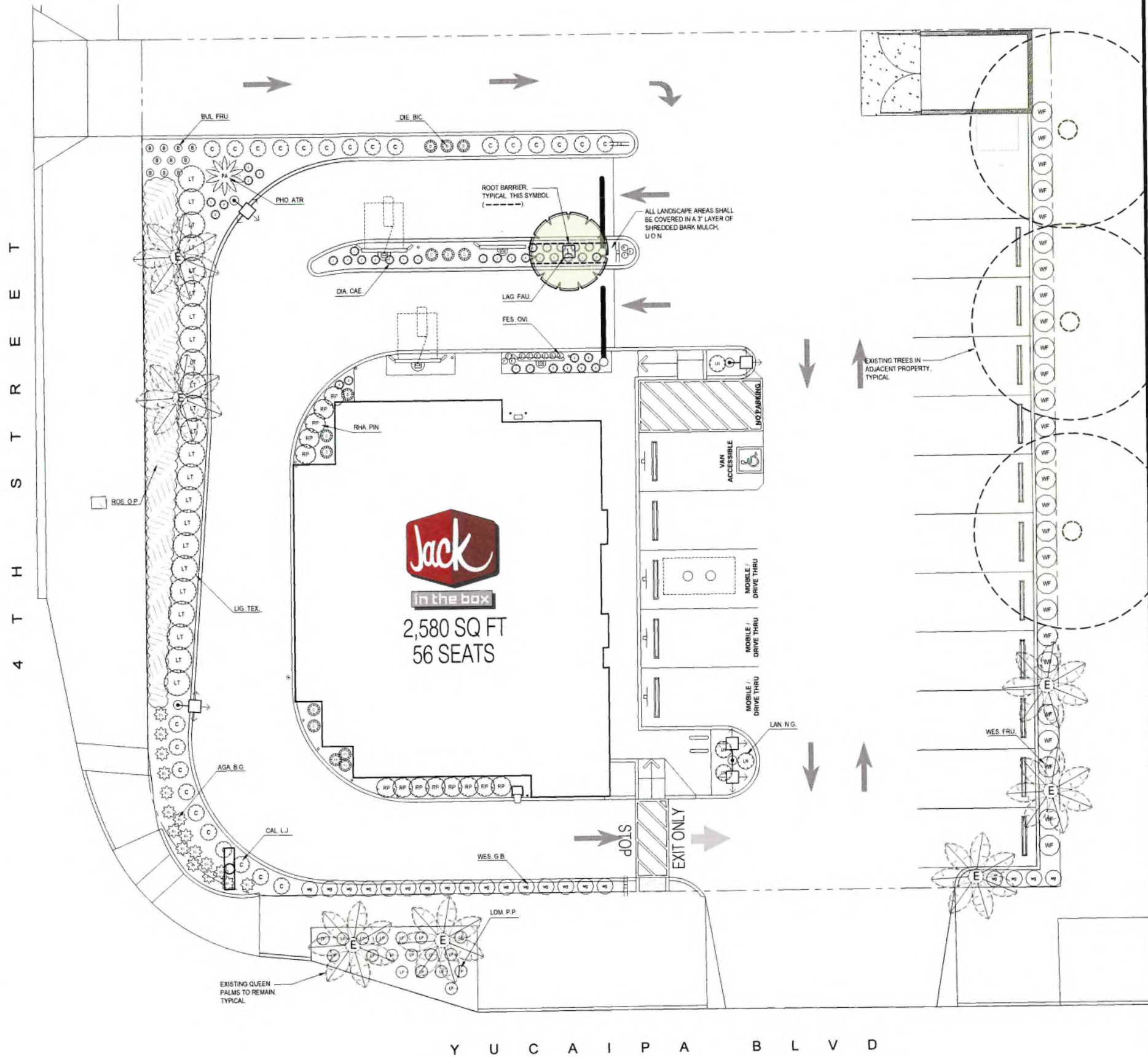
WES. FRU



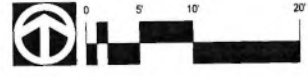
WES. G.B.



ROS. O.P.



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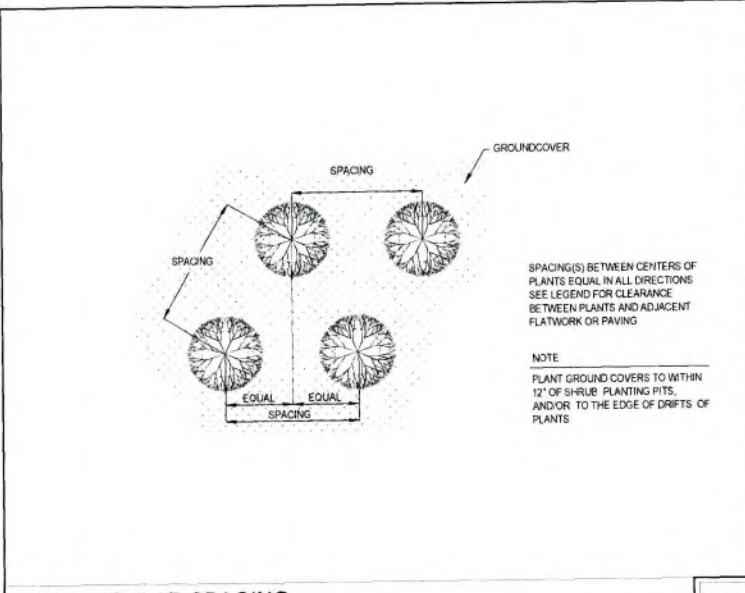
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PLANTING NOTES

A SOIL TEST SHALL BE MADE BY LANDSCAPE CONTRACTOR PRIOR TO THE BEGINNING OF WORK AND THE RECOMMENDATIONS MUST BE USED FOR INSTALLATION. AN IRRIGATION AUDIT REPORT MAY BE REQUIRED BY THE CITY PRIOR TO CERTIFICATE OF OCCUPANCY IF A CERTIFICATE OF COMPLETION IS REQUIRED BY THE CITY. PLEASE NOTIFY LANDSCAPE ARCHITECT 48 HOURS BEFORE INSPECTION.

THE CONTRACTOR SHALL ENSURE THAT ALL PLANTS RECEIVE SUPERTHRIVE VITAMIN SOLUTION AT TIME OF INSTALLATION.

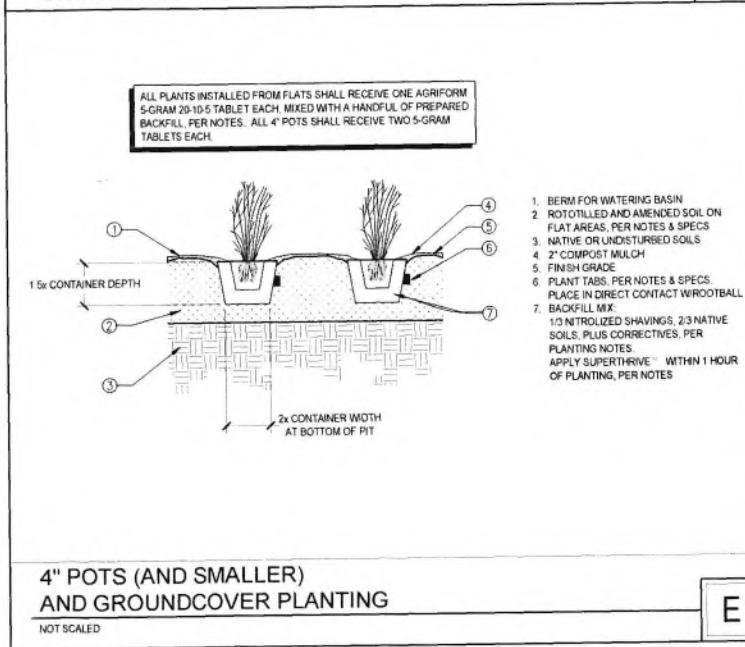
- LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE WITHIN PLUS OR MINUS 10 FEET OF FINISH GRADE.
- THE PLANTING PLANS ARE DIAGRAMMATIC. MINOR ADJUSTMENTS IN PLANT LOCATIONS AND TYPE MAY BE MADE AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO BE ADVISED THAT CERTAIN CULTIVARS OR SPECIES OF PLANTS FOR THIS PROJECT MAY ONLY BE AVAILABLE THROUGH RETAIL SOURCES (IE - PATENTED MONROVIA SELECTIONS). CONTRACTOR IS FURTHER ADVISED THAT ALL PLANT MATERIAL FOR THIS PROJECT SHALL BE "PREMIUM" NURSERY STOCK.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND REPLACED UPON REQUEST BEFORE OR AFTER THE PLANTING.
- THE LANDSCAPE CONTRACTOR WILL COORDINATE HIS WORK WITH THE OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION.
- PLANT QUANTITIES AND AREAS SHOWN ON LEGENDS ARE FOR CONTRACTORS' CONVENIENCE IN ESTIMATING ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIALS TO COVER ALL AREAS AS SHOWN ON PLANS.
- SLOPE ALL PLANTING AREAS AWAY FROM BUILDING AT 2% MINIMUM FOR 5 FEET MINIMUM, WHERE APPLICABLE.
- LANDSCAPE ARCHITECT SHALL APPROVE FINAL PLACEMENT OF ALL TREES, SHRUBS, AND VINES PRIOR TO PLANTING.
- TREE AND SHRUB PITS 5 GALLONS AND SMALLER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1-1/2 TIMES CONTAINER DEPTH.
- TREE AND SHRUB PITS 15 GALLONS AND LARGER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1" LESS THAN CONTAINER DEPTH.
- TREE STAKING SHALL BE DONE ONLY IF ESSENTIAL AND REQUIRED BY THE LANDSCAPE ARCHITECT. TREES THAT CANNOT STAND WITHOUT THE NURSERY STAKE SHALL BE REJECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TREE'S STABILITY DURING THE LENGTH OF THE GUARANTEE PERIOD. ALL STAKING AND GUYING MATERIALS SHALL BE REMOVED AT THE END OF THE 1-YEAR TREE GUARANTEE PERIOD.
- DO NOT DAMAGE PLANT ROOTBALL DURING TRANSPORTATION OR PLANTING.
- CONTRACTOR SHALL USE THE FOLLOWING AMENDMENT SCHEDULE FOR BIDDING PURPOSES ONLY. A SOIL TEST SHALL BE MADE BY LANDSCAPE ARCHITECT, AND RECOMMENDED AMENDMENTS SHALL BE USED FOR ACTUAL INSTALLATION.
 - 100 LBS. OF GYPSUM PER 1000 SQ. FT.
 - 70 LBS. OF TR-C (8-2-4 W/ 5% SULFUR) PER 1000 SQ. FT.
 - 6 LBS. OF IRON SULFATE PER 1000 SQ. FT.
 - 25 LBS. OF SOIL SULFUR PER 1000 SQ. FT.
 - 5 CUBIC YARDS OF NITROLIZED ORGANIC AMENDMENT PER 1000 SQ. FT. (SEE NOTE 18)
- AMENDED SOIL SHALL BE ROTOTILLED TO A DEPTH OF 8".
- NO IRON SULFATE SHALL COME IN CONTACT WITH ANY MASONRY SURFACE.
- NITROLIZED ORGANIC AMENDMENT SHALL BE HUMIC COMPOST FROM AGRI-SERVICE, LOAMEX™, OR APPROVED EQUAL.
- A. PLANTING BACKFILL MIX FOR ALL CONTAINER PLANTS SHALL CONSIST OF 1/3 NITROLIZED ORGANIC AMENDMENT AND 2/3 EXISTING SOIL, PLUS 2-1/2 LBS. OF SOIL SULFUR, 2 LBS. IRON SULFATE PER CU. YD., 4 LBS. GYPSUM, AND 8 LBS. OF TR-C (8-2-4 W/ 5% SULFUR) PER CUBIC YARD.
- B. ALL PLANTED AREAS SHALL BE WATERED IN THOROUGHLY WITH SARVON™, PER MANUFACTURERS SPECIFICATIONS IN ADVANCE OF PLANTING.
- C. ALL PLANTS SHALL BE WATERED THOROUGHLY WITH SUPERTHRIVE™ WITHIN 1 HOUR OF PLANTING.
- ALL PLANTS 1-GALLON SIZE OR LARGER SHALL RECEIVE AGRIFORM 21-GRAM 20-10-5 FERTILIZER TABLETS AT THE FOLLOWING RATES:
 - ONE PER 1-GALLON, TWO PER 5-GALLON, FIVE PER 15-GALLON, 12 PER 24" BOXED TREES, 18 PER 36" BOXED TREES (SEE L.A. FOR RATES FOR LARGER STOCK). PLACE TABLETS AT HALF THE DEPTH OF THE PLANTING PIT AND 1" FROM ROOTBALL (BOXED TREES SHALL BE IN 2 LAYERS GOING UP ALONG SIDES OF THE ROOTBALL).
- ALL PLANTS INSTALLED FROM FLATS SHALL RECEIVE ONE AGRIFORM 5-GRAM 20-10-5 TABLET EACH, AND ALL 4" POTS SHALL RECEIVE TWO 5-GRAM TABLETS EACH, MIXED WITH A HANDFUL OF PREPARED BACKFILL PER NOTE 17.
- BOUGAINVILLEAS SHALL BE PLANTED WITH INTACT ROOTBALLS. NO BROKEN ROOTBALLS WILL BE ACCEPTED.
- ALL PLANTS EXCEPT BOUGAINVILLEAS PLANTED FROM CONTAINERS SHALL HAVE THEIR ROOTBALLS SCORED WITH A SHARP TOOL TO A DEPTH OF 1" IN THREE LONGITUDINAL INCISIONS AT LOCATIONS SPACED AROUND THE ROOTBALL BEFORE PLACING PLANT IN PLANTING HOLE.
- ALL TYING MATERIALS AND MARKING TAPES SHALL BE REMOVED AT THE TIME OF PLANTING.
- STAKES SHALL BE REMOVED FROM VINES AND VINES SHALL BE PROVIDED WITH AN APPROVED MEANS OF SUPPORT.
- ALL SHRUB PLANTING AREAS SHALL BE COVERED WITH A 3" DEEP LAYER OF SHREDDED FIR BARK, OR APPROVED EQUAL. ALL BARK TO BE NITROLIZED WITH 5% NITROGEN. WHEN GRAVEL OR COBBLE GROUNDCOVER IS USED, A LANDSCAPE FILTER FABRIC MUST BE INSTALLED, WITH AN OVERLAP OF 12" MIN. BETWEEN ROLLS AND FASTENED WITH STAPLES FLUSH TO THE FABRIC TO PREVENT MOVEMENT.
- IF THE SOIL TEST PREVIOUSLY MENTIONED SHOWS THAT PERMEABILITY RATES ARE LESS THAN 5" PER HOUR, LANDSCAPE ARCHITECT MAY REQUIRE A TREE DRAIN SYSTEM.
- A LANDSCAPE MAINTENANCE PERIOD OF 90 DAYS SHALL BE CONSIDERED PART OF THIS CONTRACT. REFER TO THE PROJECT SPECIFICATIONS FOR DETAILS.



TRIANGULAR SPACING
GROUNDCOVERS & SHRUBS

NOT TO SCALE

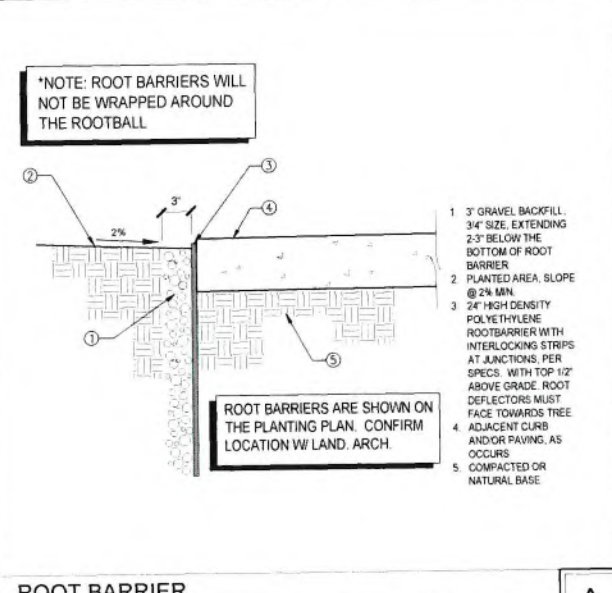
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4" POTS (AND SMALLER)
AND GROUNDCOVER PLANTING

NOT SCALED

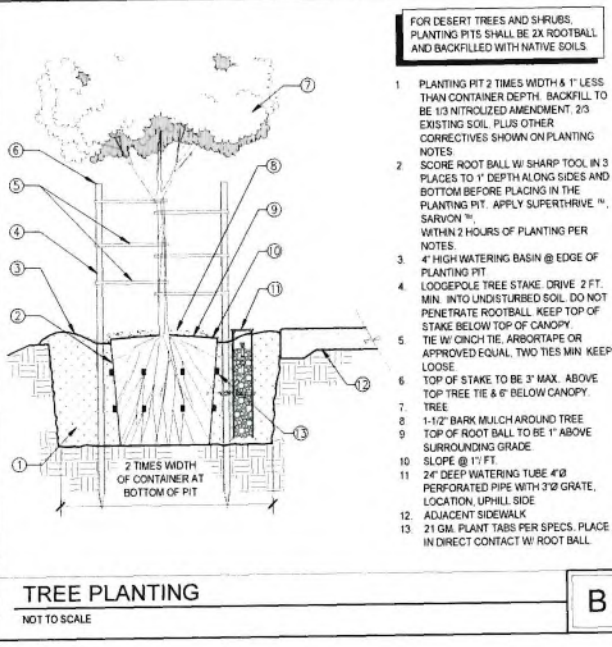
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ROOT BARRIER

NOT TO SCALE

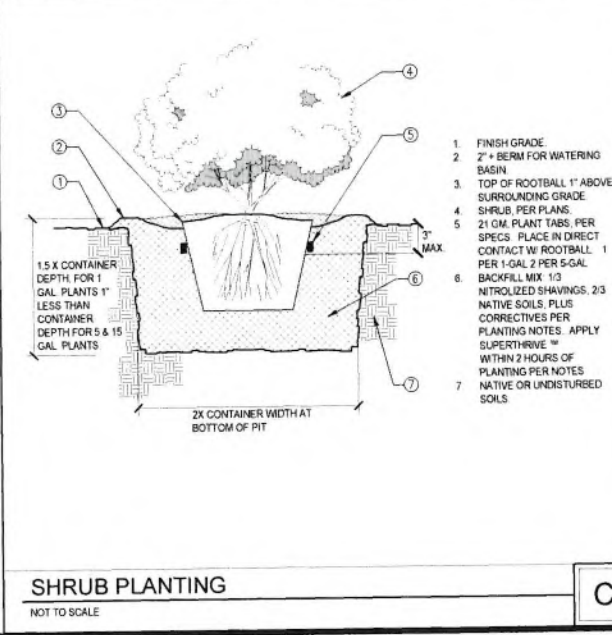
A



TREE PLANTING

NOT TO SCALE

B



SHRUB PLANTING

NOT TO SCALE

C

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

18-02 A
14-01 G
28-01 L
06-01 G
07-01 G
14-01 G
18-02 A

MATERIAL/FINISH

- 01 EXTERIOR CEMENT PLASTER SAND FLOAT FINISH
 - INTEGRAL COLOR
 - SHERWIN WILLIAMS ACRYLIC COATING
 - EXTERIOR INSULATION FINISHING SYSTEM (EIFS) AS ALTERNATE CONTRACTOR TO SUBSTITUTE EIFS IN LIEU OF EXTERIOR CEMENT PLASTER
- 02 AWNING CANOPY & SUPPORTS (O.F.O.I.)
- 03 GREASE TANK / BULK OIL SYSTEM BOX
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
 - 1" CLEAR INSULATED GLASS
 - 1" CLEAR INSULATED GLASS W/ SOLARBAN 70XL COATING
 - 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
 - ANTI-GRAFFITI FILM (SEE SHEET A1.6 & DETAILS ON A9.2)
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I. NOT A PART OF THIS PERMIT)
- 07 WALL MOUNTED LIGHT FIXTURE CRAFTSMAN STYLE
- 08 STONE VENEER
- 09 RECESSED LOCKABLE NON-FREEZE HOSE BIB ENCLOSURE
- 10 ILLUMINATED ADDRESS WITH 12" HIGH LETTERS (AS REQUIRED PER LOCAL JURISDICTION) (CF-108)
- 11 MAIN ELECTRICAL SERVICE
- 12 LOCKABLE IRRIGATION CONTROL PANEL
- 13 HOLLOW METAL DOORS AND FRAMES MISCELLANEOUS TRIM
- 14 ALUMINUM COPING COLOR TO BE FACTORY APPLIED TO BE COLOR LISTED OR BE EQUIVALENT MATCH
- 15 CO2 FILL BOX METAL COVER
- 17 DRIVE THRU/ CASHIER WINDOW
- 18 MOUNT LIGHTING FIXTURE WITHIN CANOPY
- 19 FEATURE WINDOW POP OUT W/ ALUMINUM BREAK METAL PANELS
- 20 3/4" ALUMINUM PLASTER REVEAL
- 21 DISPLAY POSTER PANEL & SURROUND. SEE DETAIL 2/A9.3.
- 22 EXTERIOR WALL PACK LIGHT FIXTURE
- 23 PLASTER CONTROL JOINT
- 24 WALL MOUNTED LIGHT FIXTURE
- 25 FIBER CEMENT SIDING PANEL
- 26 SMOOTH FINISH CONCRETE BASE
- 27 DOOR PULL. SEE DOOR SCHEDULE
- 28 HARDIE BOARD

COLOR:

- A SHERWIN WILLIAMS SW 'BRONZE'
- B SHERWIN WILLIAMS SW 6321 'REDEAY'
- C STANDARD STOREFRONT CLEAR ANODIZED
- D WHITE TEXT ON RED BACKGROUND
- E CLEAR ANODIZED
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G SHERWIN WILLIAMS SW 6153 'PROTEGE BRONZE'
- H EL DORADO RIVER ROCK 'YAKIMAX'
- J SHERWIN WILLIAMS SW 6147 'PANDA WHITE'
- K NATURAL CONCRETE GRAY
- L SHERWIN WILLIAMS SW 2885 'SYCAMORE TAN'
- M RAL-7022 UMBRA GREY

GENERAL NOTES:

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.)
2. C.J. = PLASTER CONTROL JOINT
3. ALL PLASTER ACCESSORIES, FLASHING ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (J.O.N.)
4. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES
5. R.J. = 3/4" PLASTER REVEAL JOINT
6. SEE FINISH SCHEDULE ON SHEET AB 0, ID4 0, & ID4 2 FINISHES. INTERIOR FINISHES ARE DESIGNATED BY ##
7. ALL OUTSIDE CORNERS WITH CROSSVILLE SPEAKEASY TO GET (GC-108)

NOTES:
 * ALL FACADES CHANGED TO CRAFTSMAN STYLE
 LIGHTS FIXTURES CHANGED TO CRAFTSMAN STYLE



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



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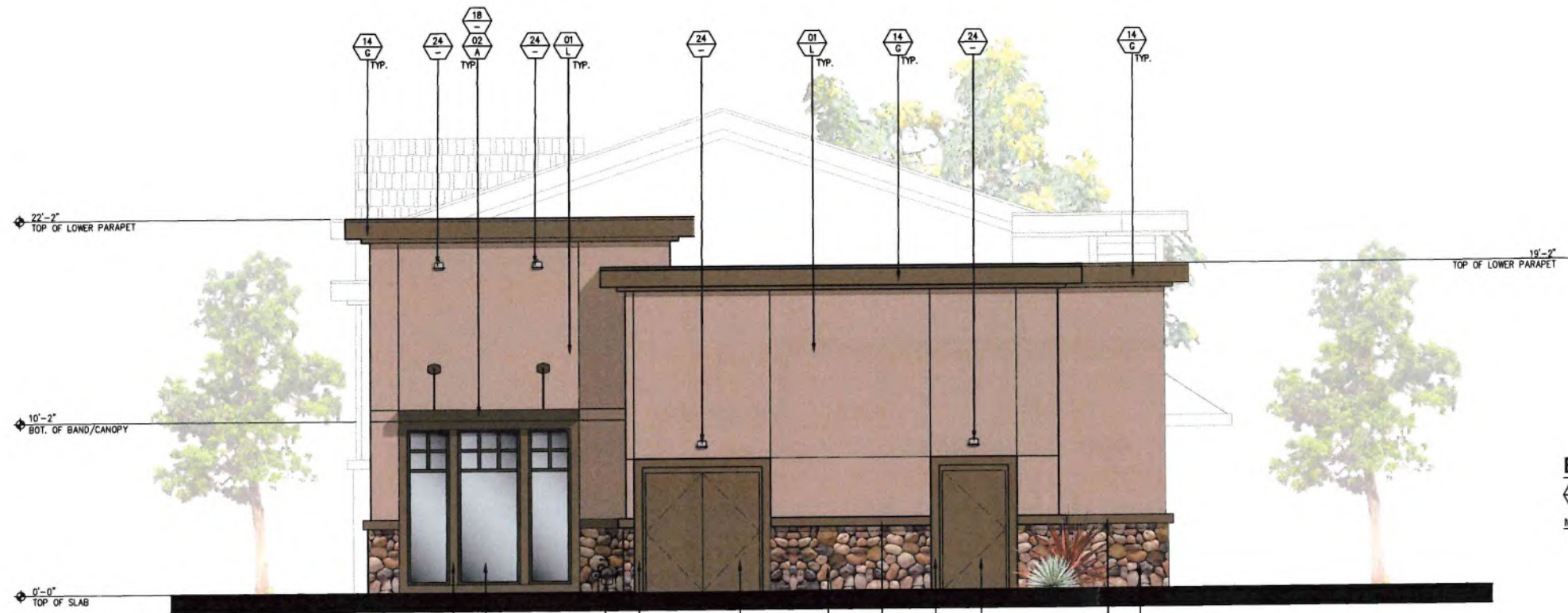
PLANNING DEPT. SUBMITTAL 03/02/22	
PLANNING CORRECTIONS 12/14/23	

MK TYPE: MK10B_MD
 JIB #: 0169
 ADDRESS: 34504 YUCAIPA BLVD
 YUCAIPA, CA 92399



EXTERIOR
ELEVATIONS

A4.0



NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

01	EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH	<input checked="" type="checkbox"/>	INTEGRAL COLOR
		<input checked="" type="checkbox"/>	SHERWIN WILLIAMS ACRYLIC COATING
		<input type="checkbox"/>	EXTERIOR INSULATION FINISHING SYSTEM (EIFS) AS ALTERNATE. CONTRACTOR TO SUBSTITUTE EIFS IN LIEU OF EXTERIOR CEMENT PLASTER
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03	GREASE TANK / BULK OIL SYSTEM BOX		
04	ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)	<input checked="" type="checkbox"/>	1" CLEAR INSULATED GLASS
		<input type="checkbox"/>	1" CLEAR INSULATED GLASS W/ SOLARBAN 70XL COATING
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05	EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURBS		
06	INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I. NOT A PART OF THIS PERMIT)		
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08	STONE VENEER		
09	RECESSED, LOCKABLE, NON-FREEZE HOSE-BIB ENCLOSURE		
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11	MAIN ELECTRICAL SERVICE		
12	LOCKABLE, IRRIGATION CONTROL PANEL		
13	HOLLOW METAL DOORS AND FRAMES. MISCELLANEOUS TRIM		
14	ALUMINUM COPING. COLOR TO BE FACTORY APPLIED TO BE COLOR LISTED OR BE EQUIVALENT MATCH		
15	CO2 FILL BOX METAL COVER		
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L	SHERWIN WILLIAMS SW 2885 'SYCAMORE TAY'
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 - R.J = 3/4" PLASTER REVEAL JOINT
 - SEE FINISH SCHEDULE ON SHEET A8.0, ID4.0, & ID4.2 FINISHES. INTERIOR FINISHES ARE DESIGNATED BY ##
 - ALL OUTSIDE CORNERS WITH CROSSVILLE SPEAKEASY TO GET (GC-178)

NOTES:
 * ALL FACADES CHANGED TO CRAFTSMAN STYLE
 LIGHTS FIXTURES CHANGED TO CRAFTSMAN STYLE



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PLANNING DEPT. SUBMITTAL 03 02 22

△	PLANNING CORRECTIONS	02/14/23
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MK TYPE: MK10B_MD
 JIB #: 0169
 ADDRESS: 34504 YUCAIPA BLVD
 YUCAIPA, CA 92399



MK10
 AS NOTED

EXTERIOR ELEVATIONS

A4.1



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PLANNING DEPT. SUBMITTAL 03.02.22

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MK TYPE: MK10B MD

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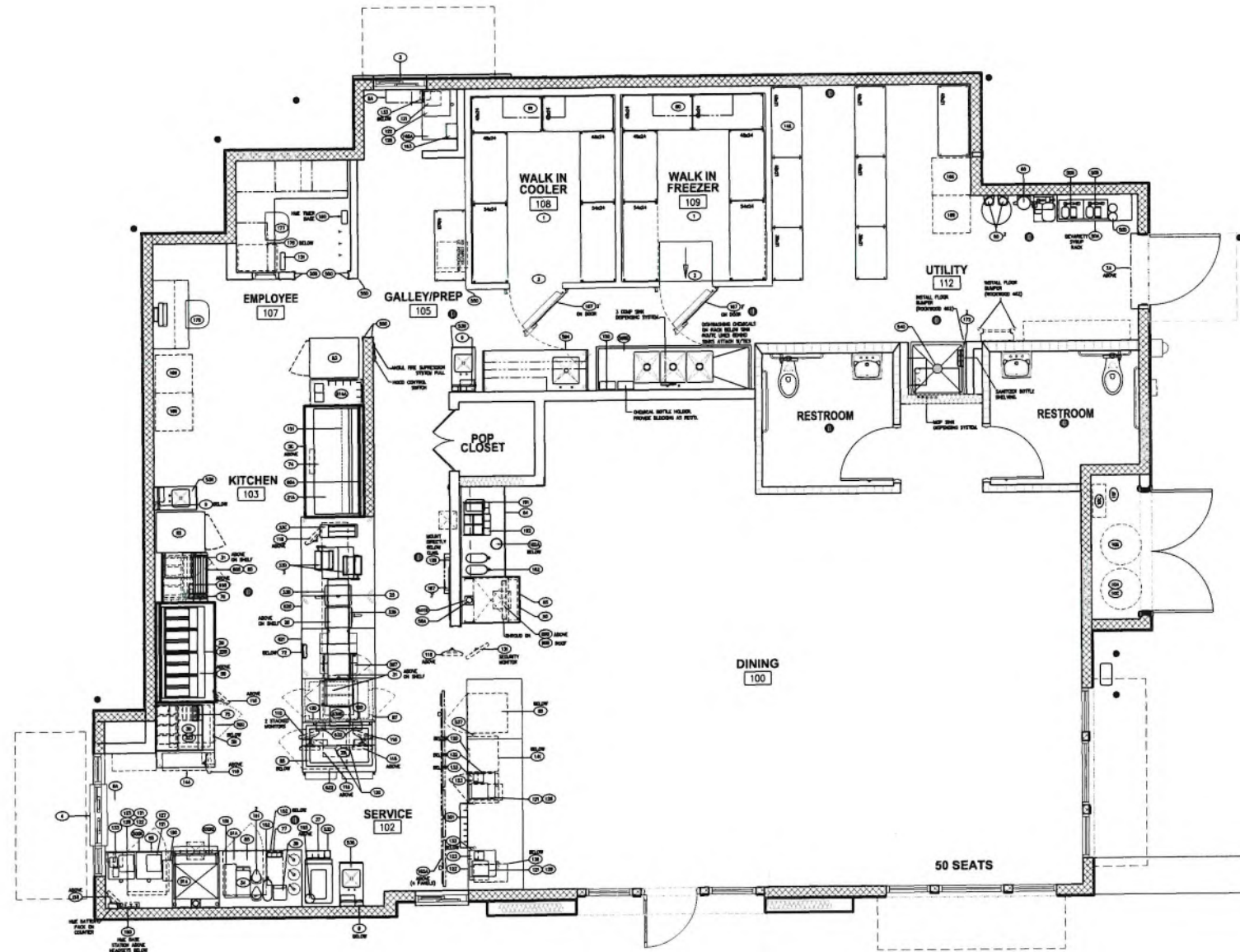


in the box

MK10
N.T.S.

EQUIPMENT
PLAN

K1.0



EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



NORTH

**CITY OF YUCAIPA
DEVELOPMENT SERVICES DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners

FROM: Christian Farmer, Assistant Planner *CF*

FOR: Planning Commission Meeting of April 19, 2023

SUBJECT: **David Harrison** (Case No. 22-135/SUP/ARC): A Special Use Permit for the Architectural Review of a 1,200 square foot and 13-foot-tall, detached metal garage and a 750 square foot, 14-foot-tall metal RV carport that have been designed to match the existing home on a single-residential property 35404 Douglas Lane; APN: 0322-102-45.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed metal structures, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

BACKGROUND:

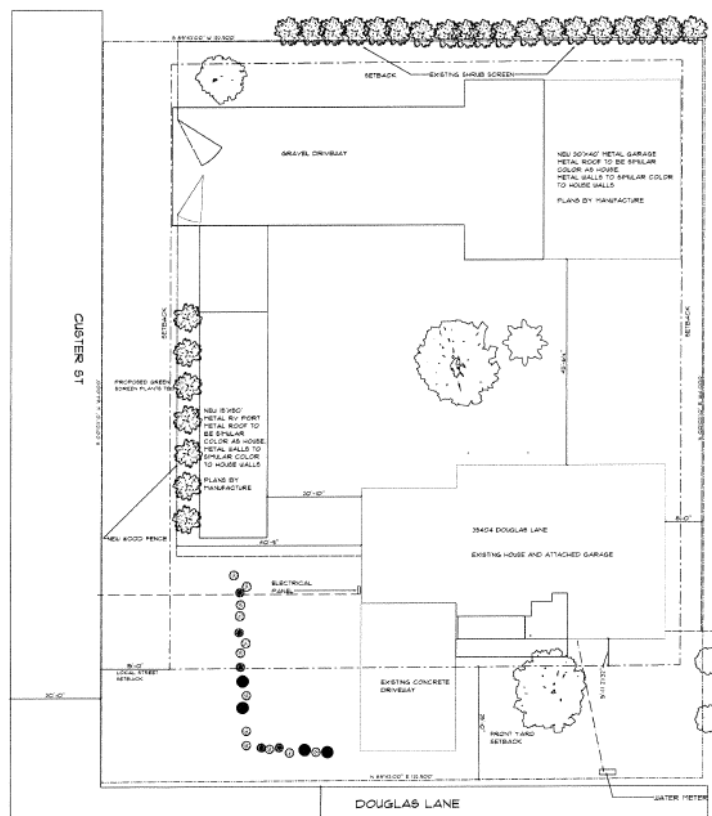
Area Land Use Designations; Improvement Levels; and Existing Land Uses:

Site:	RS-20M (Single-Residential, 20,000 square foot minimum lot size)	IL-2	Single-family residence
North:	RS-20M	IL-2	Single-family residence
South:	RS-20M	IL-2	Single-family residence
East:	RS-20M	IL-2	Single-family residence
West:	RS-20M	IL-2	Church

Special Use Permit for Architectural Review:

The applicant has submitted a Special Use Permit Application for the Architectural Review of two proposed accessory structures consisting of a 1,200 square foot and 13-foot-tall detached metal garage and a 750 square foot, 14-foot-tall metal RV carport to be located on a Single Residential property. Pursuant to Development Code Section 84.0645(a), any detached structure larger than 1,200 sq. ft., more than 20 feet in height, or of an unconventional design, such as a metal garage, would first be required to obtain a Special Use Permit for approval of the architectural design from the Planning Commission.

The proposed metal structure is to be constructed on a 0.5-acre, corner lot located on Douglas Lane and Custer Street, located at 35404 Douglas Lane in the RS-20M (Single Residential, 20,000 square foot minimum lot size) Land Use District. The site is currently improved with a 2,321 square foot residence. The proposed metal garage will be for personal storage for the applicant’s vehicles, tools, and equipment. It is proposed to be located approximately 45 feet behind the home and will have a smaller footprint and a lower peak height than the home. The proposed RV cover is proposed to store the applicant’s RV. The RV cover is located parallel to the street outside of the setback behind a fence and a proposed “green screen”.



Proposed Site Plan

The metal garage will feature a gabled roof with three roll-up doors on the west/front elevation. The structure generally has nine (9) feet of vertical clearance, but pitches toward the center with

a peak height of fourteen (13) feet. The RV carport will also feature a gabled roof, and generally is fourteen (14) feet tall, up to 15.4 feet at the peak. Because of the high visibility of the structure along the street, the applicant has worked with staff to provide a more articulated elevation with 1 foot roof overhangs along the sides, and a “green screen” of shrubs. The siding of the structures will consist of horizontal-ribbed steel panels that will be painted in an effort to match the home and are proposed to be a light tan color on the sides, the doors and trim are to be white, and the roof is proposed to be painted brown.



Conceptual Site Design

The garage structure is proposed to be located on the northeastern portion of the property 9 feet from the northern property line, 63 feet from the western property line, 5 feet from the eastern property line and 115 feet from the southern property line. The RV carport will be located parallel to Custer Street, 60 feet from the northern property line, 17 feet away from the western property line, 98 feet from the eastern property line and 47 feet from the southern property line. Additionally, because of the proximity to Custer Street, the applicant is proposing to include landscaping to help “soften” the structure. Ingress and egress will be provided with a new drive approach proposed along Custer Street, and a driveway will be extended to the structures behind a new gate. The location of the proposed structure meets all setback requirements for Single Residential Land Use District, and the attached plans include a site plan, floor plan, elevations, and site photos.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding contiguous property owners, and no comments were received; however, one notice of decision was requested.

Staff is recommending that the Project is Categorically Exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303 of the CEQA Guidelines (Class

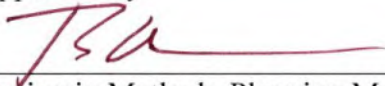
3 – Small Structures), as the Project consists of a metal garage and a metal RV carport to be used as accessory structures.

CONCLUSION:

The Project meets the standards for access and site design. The required findings for approval of the Special Use Permit for Architectural Review have been provided and are attached, as well as the Conditions of Approval.

Attachments: Findings for Special Use Permit
 Land Use & Location Map
 Site Photos
 Conditions of Approval
 Site Plan and Building Elevations

Approved by:

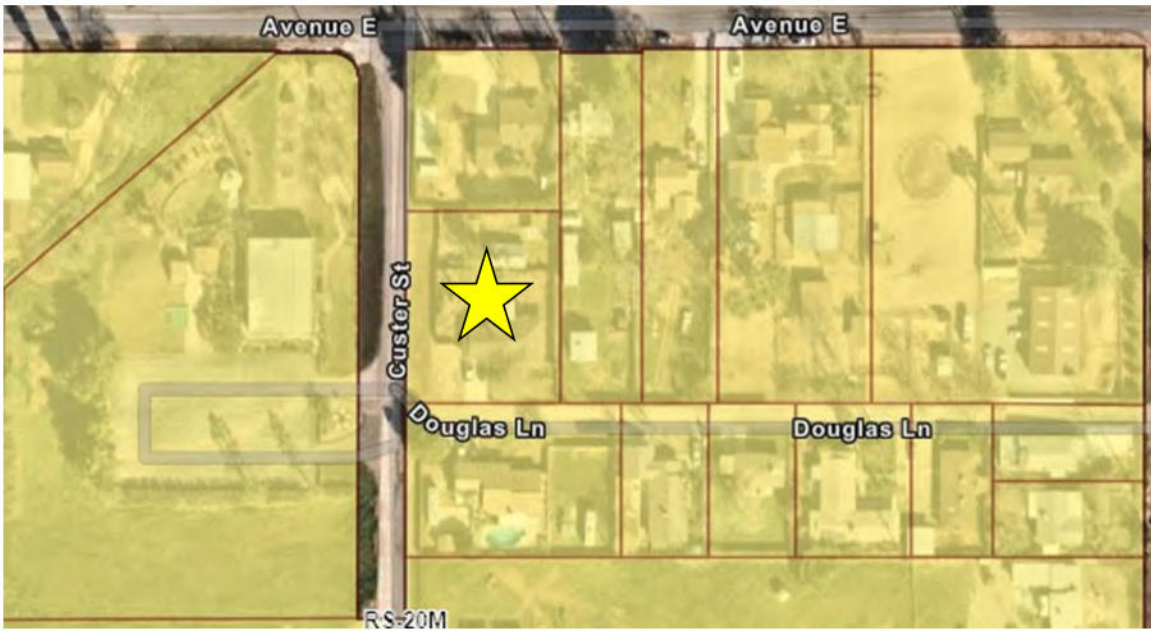


Benjamin Matlock, Planning Manager/City Planner
Development Services Department

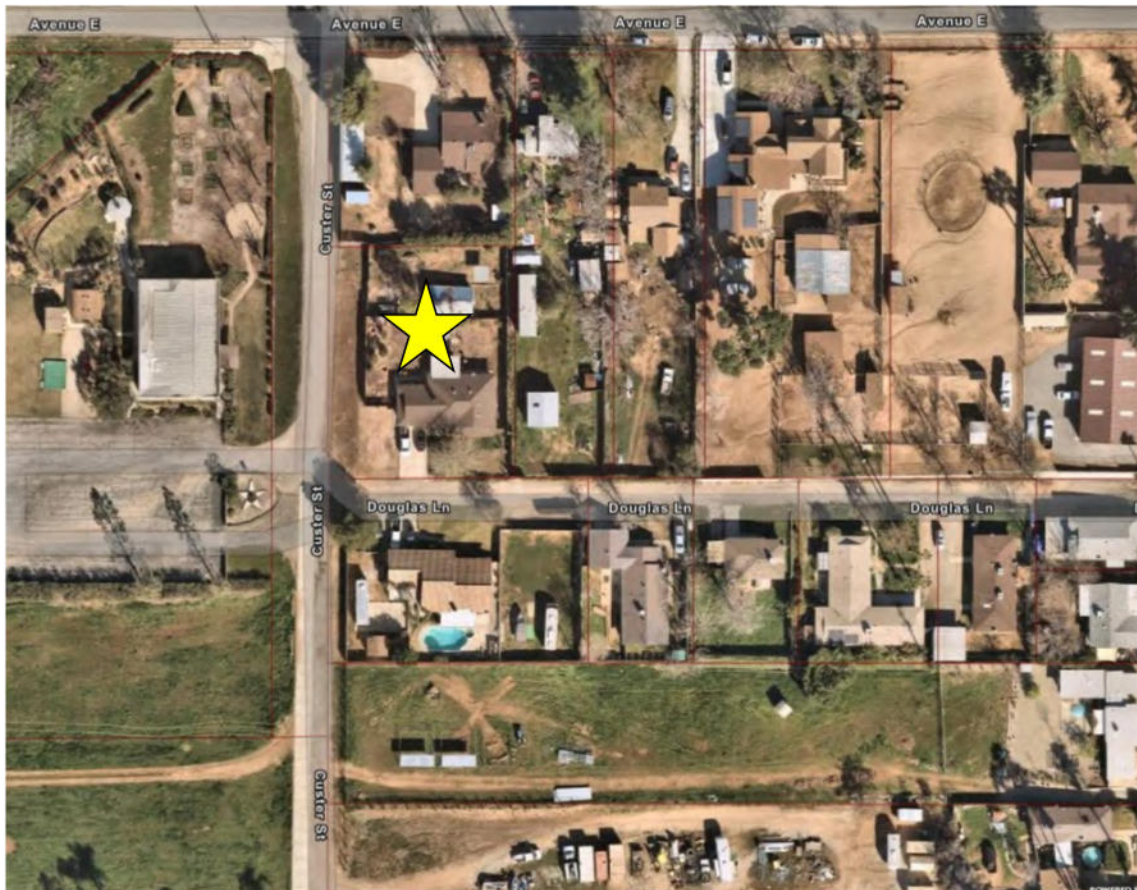
FINDINGS: SPECIAL USE PERMIT NO. 22-135/SUP/ARC

1. The site for the proposed use is adequate in size and shape to accommodate said use and all yards, building coverage, parking area, and other requirements of the Code, because the subject property is 0.5 acres in size and is adequate in area to accommodate the proposed metal garage.
2. The proposed 1,200 and 750 square foot metal structures will be subordinate in size to the existing single-family residence. The location and appearance will be minimized as it is in the rear of the property behind the 2,321 square foot home and is 115 feet away from Douglas Lane and 63 feet from Custer Street with another metal structure which will be 47 feet from Douglas Lane and 17 feet from Custer Street and will include the planting green scape shrubs.
3. Issuance of the permit shall not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and district in which the use is located, because the lawful conditions and building code requirements required for this structure to be built will ensure adequate circulation, drainage, and fire protection.
4. The appearance of the detached accessory structures and the method of construction are compatible with the surrounding built environment, because the building is compatible in size and height with surrounding houses and accessory structures, will be required to obtain a building permit, ensuring that it is built consistent with conceptual plans, and all colors will be compatible with the existing single-family residence on-site.

LAND USE: MULTIPLE-RESIDENTIAL (RS-20M)



SITE LOCATION:



SITE PHOTOS:





CONDITIONS OF APPROVAL

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Special Use Permit is for the Architectural Review of a 1,200 square foot metal shop and a 750 square foot metal RV carport at 35404 Douglas Avenue APN: 0322-102-45. Any alteration or expansion of these facilities or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
3. This Special Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board"**. The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.
5. All conditions of this Special Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.

6. Commercial uses within the Single Residential Land Use District are strictly prohibited. The detached garage shall not be used for commercial purposes.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

7. This project is protected by the Yucaipa Fire Department / CalFire. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted Uniform Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CalFire.
8. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.
9. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).
10. Required fire flow for this project, as determined by California Fire Code Appendix 'B', is as follows: GPM = 1,000 at 20 psi residual; for 2 hour duration A reduction in the required fire flow rate may be allowed per the exceptions specified in the California Fire Code. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 1/2" outlet and one 4" outlet.
11. Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants meeting the required fire flow shall be provided.
12. Fire hydrants shall be installed at locations to be determined by the California Fire Code (2019) Appendix "C". Required fire flow to be determined by the California Fire Code (2019) Appendix "B". Minimum fire flow shall not be less than 1000 gpm.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

13. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated of sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.

14. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263

15. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.
16. The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes, California Energy Codes, California Accessibility Codes, and Yucaipa Municipal Codes as adopted by the City of Yucaipa.
17. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed engineer.
18. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls, and storage buildings.

PLANNING DIVISION (909) 797-2489 EXT. 224

19. Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted.
20. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

21. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.
22. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.
23. A water storage and delivery system for temporary use during construction and meeting Fire Department fire flow requirements shall be installed prior to framing, construction or delivery of combustible materials to project site.
24. An alternative type of construction providing a higher level of fire resistance is required. Contact the Fire Department or City Building Official for more information.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

PLANNING DIVISION (909) 797-2489 EXT. 224

25. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.
26. The proposed structure shall be painted to match colors of the existing residence per the approved color palette.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

27. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.
28. Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).
29. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.
30. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated ("Knox" type) locks. For automatic gates, a "Knox" keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "Knox box" request forms are available from the Fire Department.
31. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single family dwellings shall have numbers of 4" height, 3/8" stroke on contrasting background. Address numbers shall be low voltage, automatically electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.

32. A minimum of one 2A-10BC fire extinguisher shall be installed for each 3,000 sq. ft. of floor area. Travel distance to any one fire extinguisher shall not exceed 75 feet. Additional fire extinguishers, size and class to be determined by Fire Department, may be required. Fire extinguishers shall be serviced annually and shall have a current sfm service tag attached.
33. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.
34. Carbon Monoxide detectors shall be installed pursuant to manufacture specifications.
35. High Fire Hazard Areas FR-1 & FR-2: one-hour fire resistive construction is required for exterior walls. Contact Fire Marshall or City Building Official for more information.
36. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.
37. Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.
38. Commercial and industrial structures/occupancies and gated complexes shall have a "knox box" system installed on the exterior of the buildings or complex. Location of device to be determined by the Fire Department. The box shall contain keys necessary to gain access and may contain pre-plans and msds information as required by the Fire Department.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

39. Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region and/or as indicated in the "New Development/Redevelopment Guidelines."
40. The applicant's plans indicate approximately 31% of the site to be improved with impervious surfaces. Design features shall be included to direct storm water run-off flows into landscaped pervious areas before any run-off flows into public rights-of-way.
41. In addition to the drainage, traffic related, or other requirements stated herein, other "on-site" or "off-site" improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.

Google Maps



Imagery ©2022 County of San Bernardino, Maxar Technologies, Map data ©2022 50 ft

Utilities

Electric: Southern California Edison 800-655-4555

Gas: SoCalGas 877-238-0092

Trash: Burrtec, Pick up on Wednesday 909-889-1969

Water: Yucaipa Valley Water District 909-797-5117

Phone: Verizon 800-837-4966

Cable: Spectrum 855-366-7132

Fiber: Frontier 800-921-8101

DAVID HARRISON AND TRANG TRUONG
35404 DOUGLAS LANE
YUCAIPA CA 92399
APN: 0322-102-45
ZONING: SINGLE RESIDENTIAL - RS-20M

PROPOSED METAL GARAGE
AND RV PORT ADDITIONS

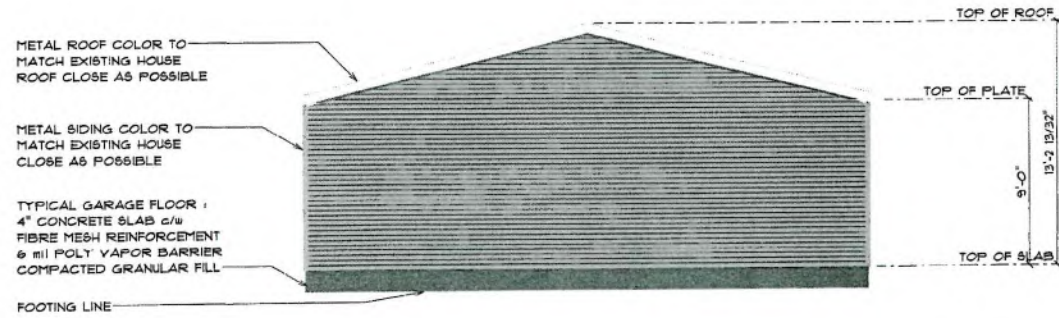
LOT SIZE 21,795 SQFT

NEW NON-PERMEABLE AREA
METAL GARAGE 30'X40' 1,200 SQFT
METAL RV PORT 15'X50' 750 SQFT

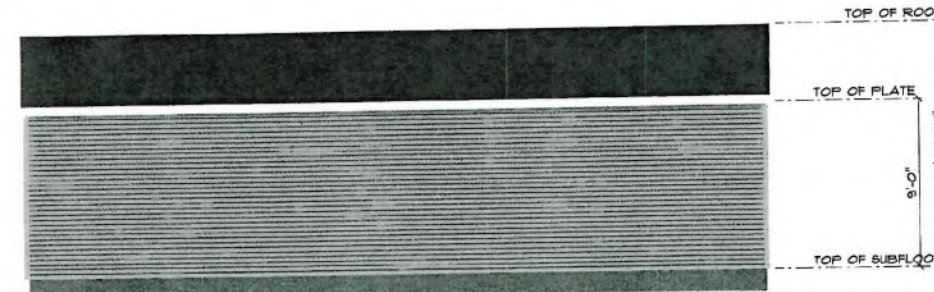
EXISTING NON-PERMEABLE AREA
SINGLE FAMILY HOUSE 1,595 SQFT
ATTACHED GARAGE 505 SQFT
BACK PATIO 142 SQFT
FRONT SIDEWALK 99 SQFT
FRONT PORCH 79 SQFT
CONCRETE DRIVEWAY 686 SQFT

TOTAL NON-PERMEABLE 5,056 SQFT
NON-PERMEABLE AREA 23.2% OF LOT

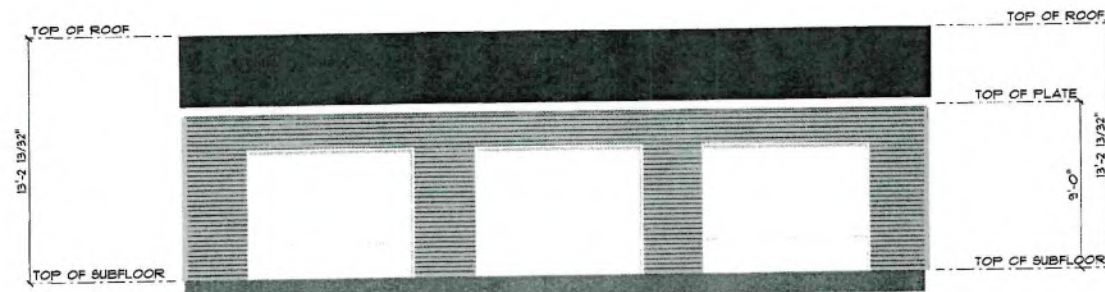
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CHECKED BY:		TITLE	
SECTION LETTER		PAGE NUMBERS	
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DATE: Saturday, November 26, 2022		DATE: Saturday, November 26, 2022	
RCM Services LLC 2260 Rose Hill Church Ln Chico, CA 95926 PHONE: 530-894-1782 FAX: 530-894-1782 MOBILE: 530-246-8375 rcm@rcmservices.com		SOFTPIAN ARCHITECTURAL DESIGN SOFTWARE	
Trang Truong/David Harrison 35404 Douglas Lane Yucaipa, CA 92399		PHONE: 909-246-8375 FAX: 909-246-8375 MOBILE: 909-246-8375	



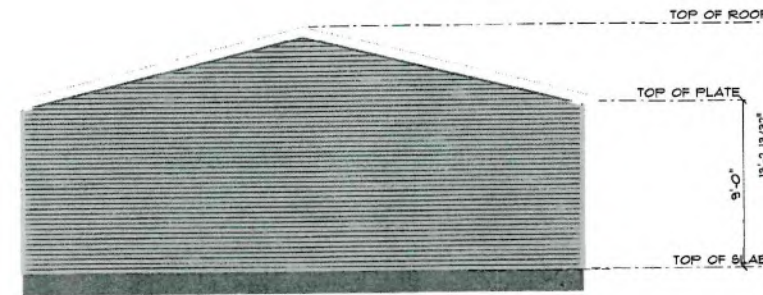
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EAST ELEVATION
SCALE: 1/4" = 1'-0"

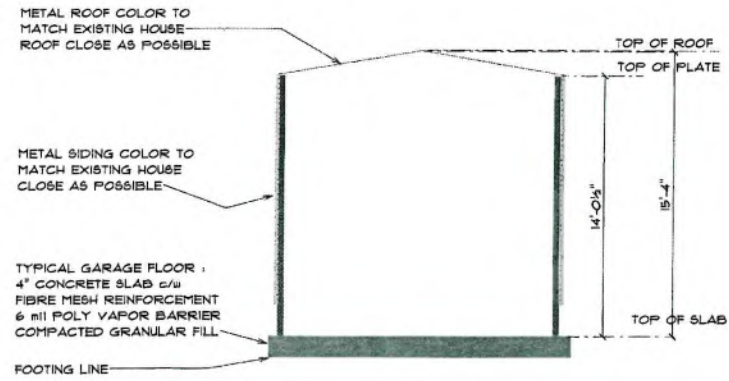


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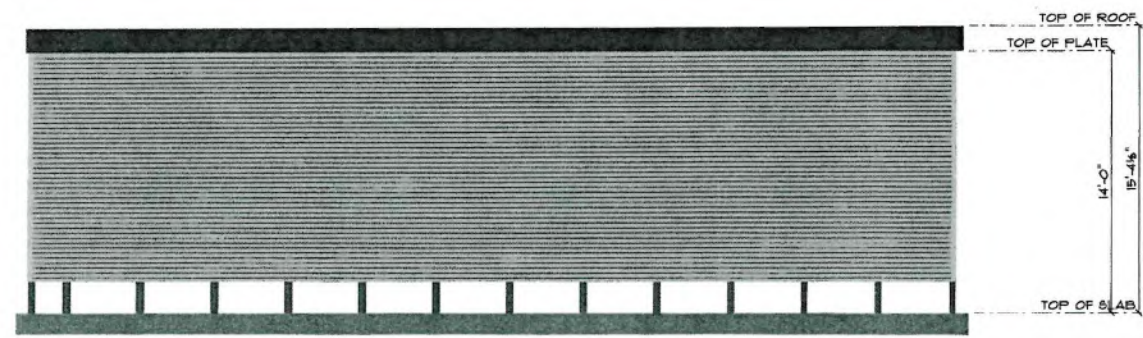


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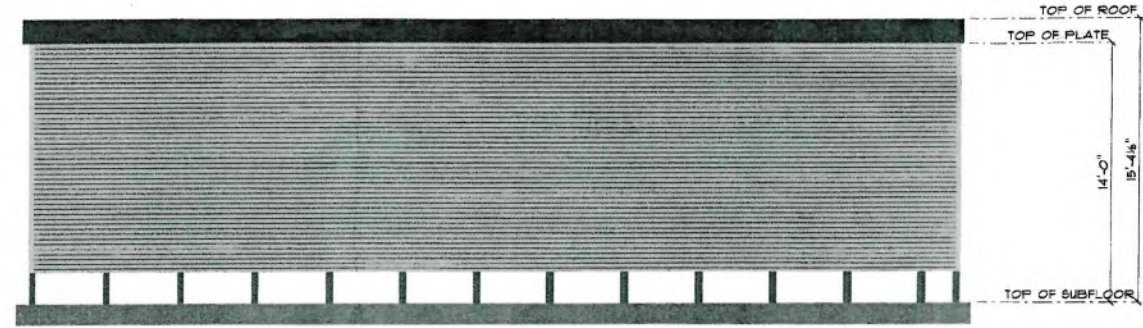
<p>Trang Truong/David Harrison 35404 Douglas Lane Yucaipa California 91099</p>		<p>RCM Services LLC 2280 Rose Hill Church Ln Charlottesville Virginia 22905</p>		<p>SCALE: 1/4" = 1'-0"</p>	<p>APPROVED: [Signature]</p>	<p>PAGE: 5/6</p>
<p>PHONE: 954-964-7982 FAX: 954-964-7983 MOBILE: 954-964-8375 rcm@rcmservices.com</p>		<p>SECTION LETTER: A</p>		<p>DRAWN BY: [Signature]</p>	<p>CHECKED BY: [Signature]</p>	<p>METAL GARAGE ELEVATIONS</p>
<p>SOFTPLAN ARCHITECTURAL DESIGN SOFTWARE</p>		<p>DATE: Sunday, November 20, 2022</p>				



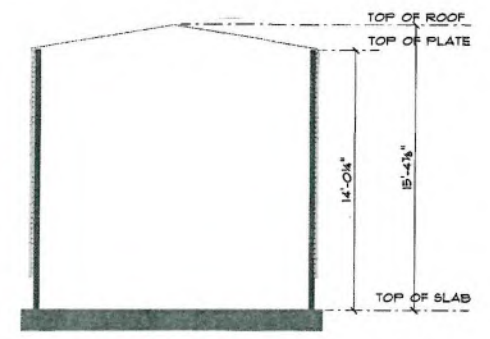
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EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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CHECKED BY: _____



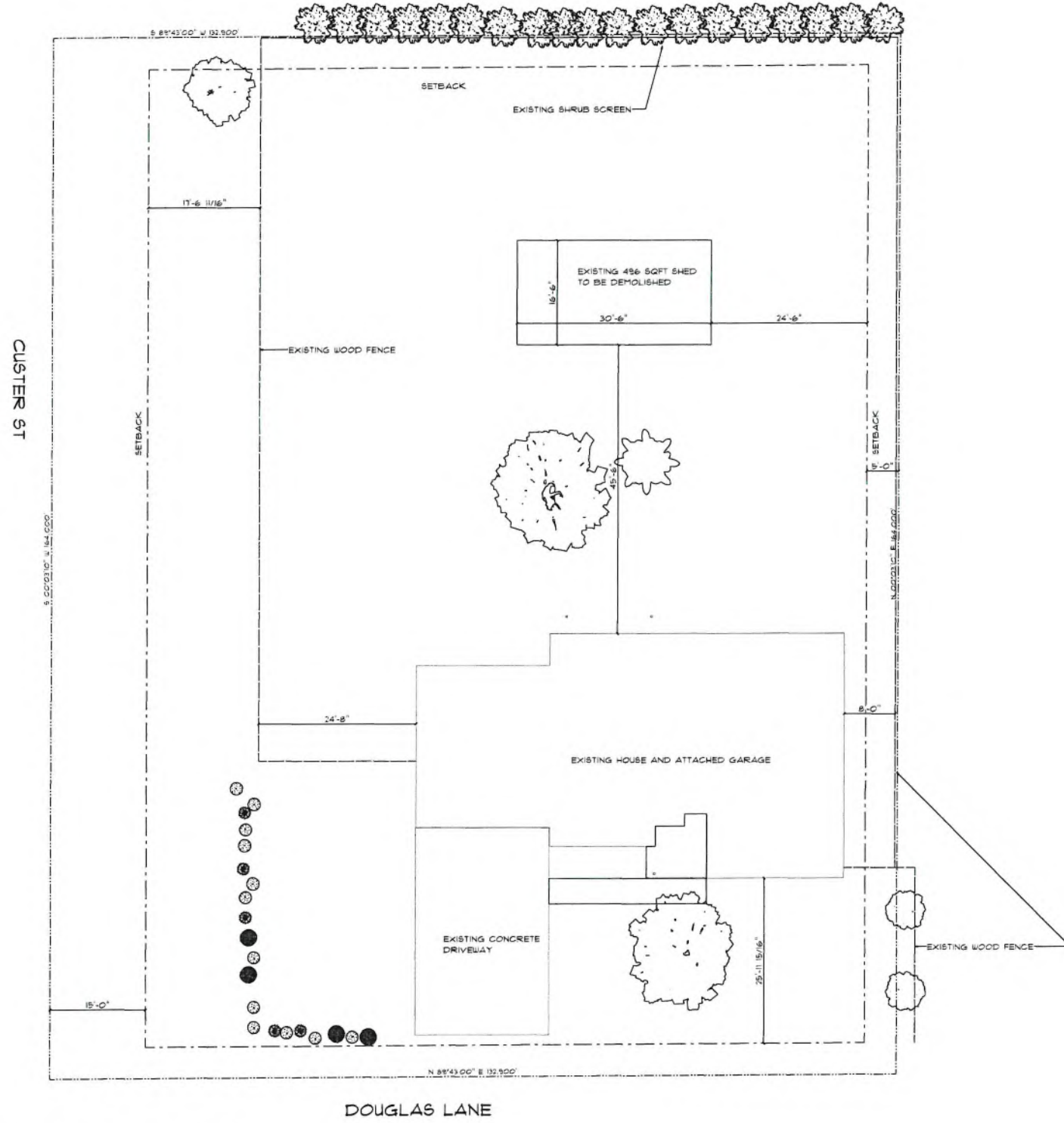
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DATE: Sunday, November 20, 2022

RCM Services LLC
2200 Rose Hill Church Ln
Chattanooga, TN 37414
PHONE: 615-994-7982
FAX: 615-994-8376
MOBILE: 615-994-8376
rcm@rcmservices.com

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

Trang Truong/David Harrison
3504 Douglas Lane
Lawrenceville, GA 30046
PHONE: 770-962-8299
MOBILE: 770-962-8299

SITE PLAN EXISTING
SCALE: 1" = 10'-0"



Trang Truong/David Harrison
35404 Douglas Lane
Tuckapa
California
92379

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

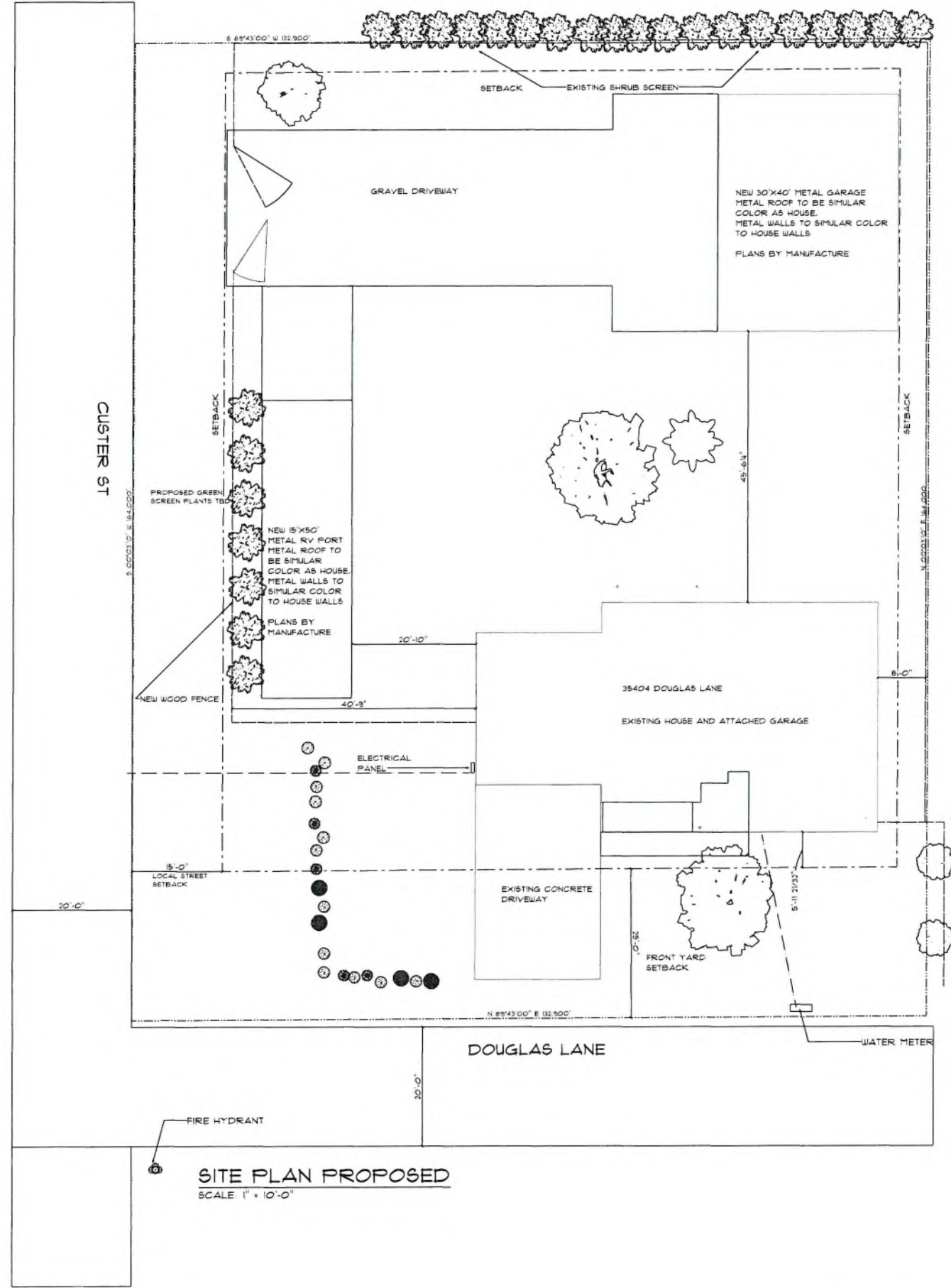
RCM Services LLC
2260 Rose Hill Church Ln
Charlottesville
Virginia
22902
PHONE: 434.964.7592
FAX:
MOBILE: 909.246.8375
richard@rcm-services.com

SCALE: 1" = 10'-0"
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DATE: Sunday, November 20, 2022

SECTION LETTER: A
PAGE NUMBERS: 1/1

APPROVED:
CHECKED BY:

PAGE: 3/6
SITE PLAN EXISTING



SITE PLAN PROPOSED
 SCALE 1" = 10'-0"

Trang Trung/David Harrison
 35404 Douglas Lane
 Yucaipa
 California
 92399
 PHONE: 951-850-7839
 FAX: 951-850-7839
 MOBILE: 951-850-7839

SOFTPLAN
 ARCHITECTURAL DESIGN SOFTWARE

RCM Services LLC
 2260 Rose Hill Church Ln
 Charlottesville
 Virginia
 22902
 PHONE: 434-364-7982
 FAX: 434-364-7982
 MOBILE: 951-850-7839
 richard@rcm-services.com

SCALE: 1" = 10'-0"
 DRAWN BY: [Signature]
 DATE: Sunday, November 20, 2022

SECTION LETTER
A
 11
 PAGE NUMBERS

APPROVED: [Signature]
 CHECKED BY: [Signature]

PAGE: 4/6
 SITE PLAN PROPOSED

Untitled Map

Write a description for your map.

Legend

Untitled Path



Google Earth

300 ft

**CITY OF YUCAIPA
DEVELOPMENT SERVICES DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners

FROM: Christian Farmer, Assistant Planner *CF*

FOR: Planning Commission Meeting of April 19, 2023

SUBJECT: **Jean and Kendall Taylor** (Case No. 23-005/LUCR/SUP/ARC): A Land Use Compliance Review to construct a 1,200 square foot Additional Dwelling Unit (ADU), and a Special Use Permit for the Architectural Review of a 2,927 square foot detached structure, consisting of the 1,200 square foot ADU with an attached 792 square foot garage and 935 feet of attached patios located at 9714 Topaz Street; APN: 0302-301-13

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed structure that includes an ADU and attached garage, and if acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and,
- D) Direct staff to file a Notice of Exemption.

BACKGROUND:

Surrounding Land Uses:

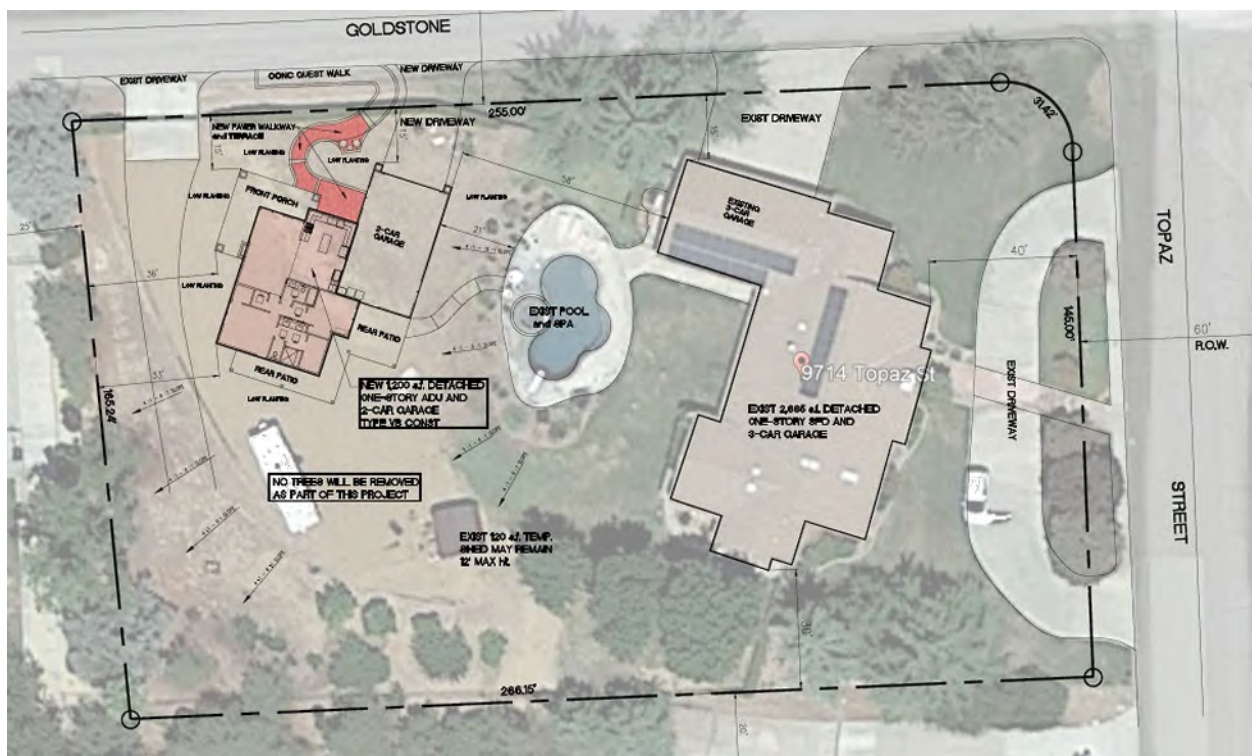
Area Land Use Designations; Improvement Levels; and existing Land Uses:

Site:	RL-1 & CHO (Rural Living, minimum 1-acre and Custom Home Overlay)	IL-3	Single family residence
North:	RL (San Bernardino County)	-	Vacant Parcel
South:	RL-1 & CHO	IL-3	Single family residences
East:	RL-1 & CHO	IL-3	Single family residence
West:	RM-72C	IL-3	Mobile home park

DISCUSSION:

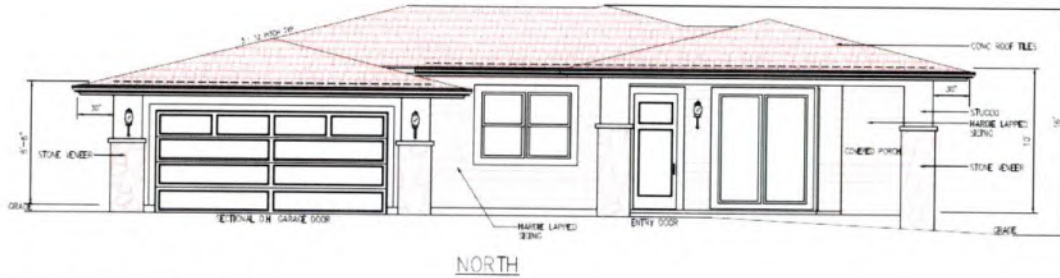
Special Use Permit for Architectural Review:

The applicant has submitted a Land Use Compliance Review and Special Use Permit with Architectural Review to construct a detached 1,200 square foot Accessory Dwelling Unit (ADU) with an attached 792 square foot garage and 935 feet of attached patios. Pursuant to Development Code Section 84.0645(a), any detached structure larger than 1,200 sq. ft., more than 20 feet in height, or of an unconventional design, such as a metal garage, would first be required to obtain a Special Use Permit for approval of the architectural design from the Planning Commission.



Proposed Site Plan

The detached structure is proposed to be developed on a 1.02-acre parcel located at 9714 Topaz Street. This property is zoned RL-1 (Rural Living, 1-acre minimum lot size). The site is currently improved with a single-family residence that is 3,265 square feet. The proposed ADU is located on the northwestern portion of the property, 58 feet west of the primary residence. The proposed structure will feature a gable roof with a peak height of sixteen (16) feet and the attached garage area will feature a standard two-car roll-up door. The entire detached structure will utilize Hardie lap siding with stone veneer and concrete roofing tiles to match the main house. These architectural features and color choices are consistent with the primary single-family residence.



Proposed North Elevation

The ADU component of this application is not subject to Planning Commission review and approval, and it will be ministerially approved by the Planning Department pursuant to State Law. In January 2020, AB-68 went into effect which amended the legislation for Accessory Dwelling Units (ADUs) in the State of California. Per this law and the City of Yucaipa’s ADU Ordinance, all single-family residentially zoned properties are allowed to have a standard ADU (up to 1,200 square feet) and a Junior ADU (less than 500 square feet); the additional square footage is part of Planning Commission review.

Finally, the location of the structure meets all setback requirements for the RL Land Use District and Custom Home Overlay. The attached plans include a site plan, floor plan, elevations, and site photos.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding contiguous property owners, and one response was received asking for clarification of the location of the structure.


Staff is recommending that the Project is Categorically Exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303 of the CEQA Guidelines (Class 3 – Small Structures), as the Project consists of a detached ADU with an attached garage.

CONCLUSION:

The Project meets the standards for access and has a height which is consistent with the main residence. The required findings for approval of the Special Use Permit for Architectural Review have been provided and are attached, as well as the Conditions of Approval.

- Attachments:
- Findings for Special Use Permit
 - Land Use & Location Map
 - Site Photos
 - Conditions of Approval
 - Site Plan & Building Elevations & Photos

Approved by:


Benjamin Matlock, Planning Manager/City Planner
Development Services Department

FINDINGS: SPECIAL USE PERMIT NO. 23-005/LUCR/SUP/ARC

1. The site for the proposed use is adequate in size and shape to accommodate said use and all yards, building coverage, parking area, and other requirements of the Code, because the subject property is 1.02 acres in size and is adequate in area to accommodate the proposed detached ADU and detached garage.
2. The detached structure will be subordinate in size, location, and appearance to the primary use because the proposed ADU is 1,200 square feet with attached 792 square foot garage and 935 feet of attached patios will be smaller than the existing 3,265 square foot single family residence and is compatible in height with the one-story home.
3. Issuance of the permit shall not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and district in which the use is located, because the lawful conditions and building code requirements required for this structure to be built will ensure adequate circulation, drainage, and fire protection.
4. The appearance of the detached accessory structures and the method of construction are compatible with the surrounding built environment, because the building is compatible in size and height with surrounding houses and accessory structures, and will be required to obtain a building permit, ensuring that it is built consistent with conceptual plans.

LAND USE: RURAL LIVING AND CUSTOM HOME OVERLAY (RL-1 & CHO)



SITE LOCATION:



SITE PHOTOS:





CONDITIONS OF APPROVAL

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Land Use Compliance Review permits to construct a 2,927 square foot detached structure consisting of a 1,200 square foot Additional Dwelling Unit, and the Special Use Permit with Architectural Review is to construct a 792 square foot garage attached to the ADU with 935 feet of attached patios at 9714 Topaz St. (APN: 0302-301-13). Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
3. This Land Use Compliance Review and Special Use Permit with Architectural Review shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board"**. The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.

5. All conditions of this Land Use Compliance Review and Special Use Permit with Architectural Review are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.
6. All new utility lines shall be placed underground.
7. Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.
8. Parking requirements shall be maintained at all times.
9. New projects with a landscape area of 500 square feet or more shall comply with Sections 492.6(a)(3)(b) (c), (d) and (g) of the MWEL0 including the use of renewable organic waste products such as compost and mulch where applicable.
10. Compost and mulch made by the City's franchised hauler, Yucaipa Disposal, Inc. (909) 797-9125, or other designee from recovered organic waste products pursuant to 14 CCR Section 18993.1 shall take precedence over inorganic or virgin forest products when available locally.
11. Noise levels shall not exceed City Standards as required by Development Code Section 87.0905(b).
12. The ADU may be rented, subject to the limitations on short term rentals, but shall not be sold, transferred or assigned separately from the primary dwelling unit. The ADU shall not be used for short term rentals for less than thirty days.
13. Exterior colors and materials of the ADU and garage structure shall match the colors of the existing residence.
14. Commercial uses within the Rural Living Land Use District are strictly prohibited. The detached garage shall not be used for commercial purposes.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

15. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.
16. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

17. This project is protected by the Yucaipa Fire Department / CalFire. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted California Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CalFire.
18. This project is in a Fire Safety Review Area 2. This is a high fire hazard brush area. This project shall comply with the construction and development standards for a FR-2 Area. Contact the City Building & Safety Division for FR-2 Area construction and development standards.
19. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.
20. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).
21. Required fire flow for this project, as determined by California Fire Code Appendix 'B', is as follows: GPM = 1500, at 20 psi residual; for 2 hour duration A reduction in the required fire flow rate may be allowed per the exceptions specified in the California Fire Code. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
22. Fire hydrants shall be installed at locations to be determined by the California Fire Code (2022) Appendix "C". Required fire flow to be determined by the California Fire Code (2022) Appendix "B". Minimum fire flow shall not be less than 1500 gpm.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:

PLANNING DIVISION (909) 797-2489 EXT. 224

23. The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.
24. The City of Yucaipa has implemented development impact fees for various infrastructure and capital facilities needs generated by new development. These

fees will provide for various capital facilities including, but not limited to, roads, parks, flood control and drainage, public facilities, and fire fighting facilities. This project shall be subject to all such development impact fees which are in effect at the time building permits are issued.

25. Water service shall be by Yucaipa Valley Water District. The Yucaipa Valley Water District letter dated December 7, 2022, is included as a Condition of Approval. Submit evidence of service to Building and Safety at time of Condition Compliance review.
26. In lieu of sewers, if connection and service is unavailable, then septic system(s) may be allowed pursuant to the following conditions:
 - A. Soil percolation reports for private sewage disposal systems shall be approved by San Bernardino County Public Health Department, Environmental Health Services Division (909) 387-4666. An approved report shall be submitted to the City of Yucaipa Building and Safety Division at time of Plan Check.
 - B. Written clearance for waste discharge shall be obtained from the designated California Regional Water Quality Control Board (listed below) and a copy forwarded to the Building and Safety Division.

Santa Ana Region, 3737 Main St., Ste. 500,
Riverside, CA 92501-3339 (909) 782-4130.
 - C. Dry sewers shall be installed at time of septic system installation. Within 3 months of sewer line availability, the project shall hook-up to sewer and abandon the use of the septic system.
27. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.

ENGINEERING DEPARTMENT (909) 797-2489 EXT. 246

28. The applicants plans indicate approximately 13.9% of the site to be improved with impervious surfaces. Design features shall be included to direct storm water run-off flows into landscaped pervious areas before any run-off flows into public rights-of-way.
29. A topographic map shall be provided to facilitate the design and review of necessary drainage facilities at the time the site is developed.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

30. Two sets of water delivery system plans, designed to meet the required fire flow for this project and/or development shall be submitted to the Fire Department for approval.
31. Applicant-developer shall provide the Fire Department with a letter from the water company serving the project-development, verifying that financial arrangements have been made and bonds posted for the required Fire Department approved water improvements.
32. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.
33. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.
34. A water storage and delivery system for temporary use during construction and meeting Fire Department fire flow requirements shall be installed prior to framing, construction, or delivery of combustible materials to project site.

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263

35. The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
36. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.
37. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed engineer.
38. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls, and storage buildings.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

PLANNING DIVISION (909) 797-2489 EXT. 224

39. Parking requirements shall be provided for as identified on the approved site plan.
40. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.

41. The proposed structure shall be painted to match colors of the existing residence per the approved color palette and shall be materially consistent with the approved Building Elevations.

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263

42. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.
43. The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes, California Energy Codes, California Accessibility Codes, and Yucaipa Municipal Codes as adopted by the City of Yucaipa.
44. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
45. Per YVWD regulations, no waste line cleanouts or back water valves shall be installed inside the garage.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

46. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.
47. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.
48. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated ("Knox" type) locks. For automatic gates, a "Knox" keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "Knox box" request forms are available from the Fire Department.
49. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single family dwellings shall have numbers of 4" height, 3/8" stroke on contrasting background. Address numbers shall be low voltage, automatically

- electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.
50. Residential automatic fire sprinklers shall be installed according to NFPA 13D, or Section R313 of the California Residential Code, and Fire Department requirements. Submit three (3) sets of shop plans with material cut sheets and hydraulic calculations for Fire Department review and approval prior to an installation. Submit copy of California C-16 license. Minimum water meter supplying a 13D system shall be 1" steel pipe, or 3/4" if other than steel pipe. Minimum pipe size for interior use shall be 1" steel pipe, or 3/4" if other than steel pipe (actual pipe size to be hydraulically calculated). Residential sprinkler heads of proper temperature rating shall be installed in attic and built-up storage spaces where mechanical equipment (fau, water heater, etc.) is installed.
 51. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.
 52. Carbon Monoxide detectors shall be installed pursuant to manufacture specifications.
 53. For each chimney used in conjunction with any fireplace or heating appliance in which solid or liquid fuel is used, an approved spark arrester shall be installed and visible from the ground. Spark arrester shall be of stainless steel, copper or brass, woven galvanized wire mesh, twelve (12) gauge, and minimum of 3/8" to 1/2" maximum openings.
 54. A class "A" roof covering structure with "bird stops" shall be installed.
 55. High Fire Hazard Areas FR-1 & FR-2: one-hour fire resistive construction is required for exterior walls. Contact Fire Marshall or City Building Official for more information.
 56. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.
 57. Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.
 58. A one-hour fire rated, solid core, self-closing door shall be installed between an attached garage and living space.

STORM WATER QUALITY NOTES (NPDES & BMP'S)

- NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S
- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORKDAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
 - ALL STOCKPILES OF UNCOMPACTED SOIL AND/ OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
 - A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
 - ALL EROSION/ SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
 - ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
 - THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SITE DRAINAGE AND GRADING NOTES

Contractor is responsible for maintaining grading and drainage as required by the California Building Code in appendix J. The issuance of this permit is based on the City's review of the applicant provided plans depicting existing and proposed landscape and hardscape conditions along with other facilities which could impact site drainage and grading. In the event a site visit for the permitted work clearly reveals yard features noted above but not shown on the applicant's site plan for the permitted work, the City may issue a Stop Work Notice and require a revised site plan showing the grading and drainage pattern for the property as it applies to the revised site plan. The revised plan will be reviewed by the Engineering Division for compliance with individual lot grading and drainage requirements.

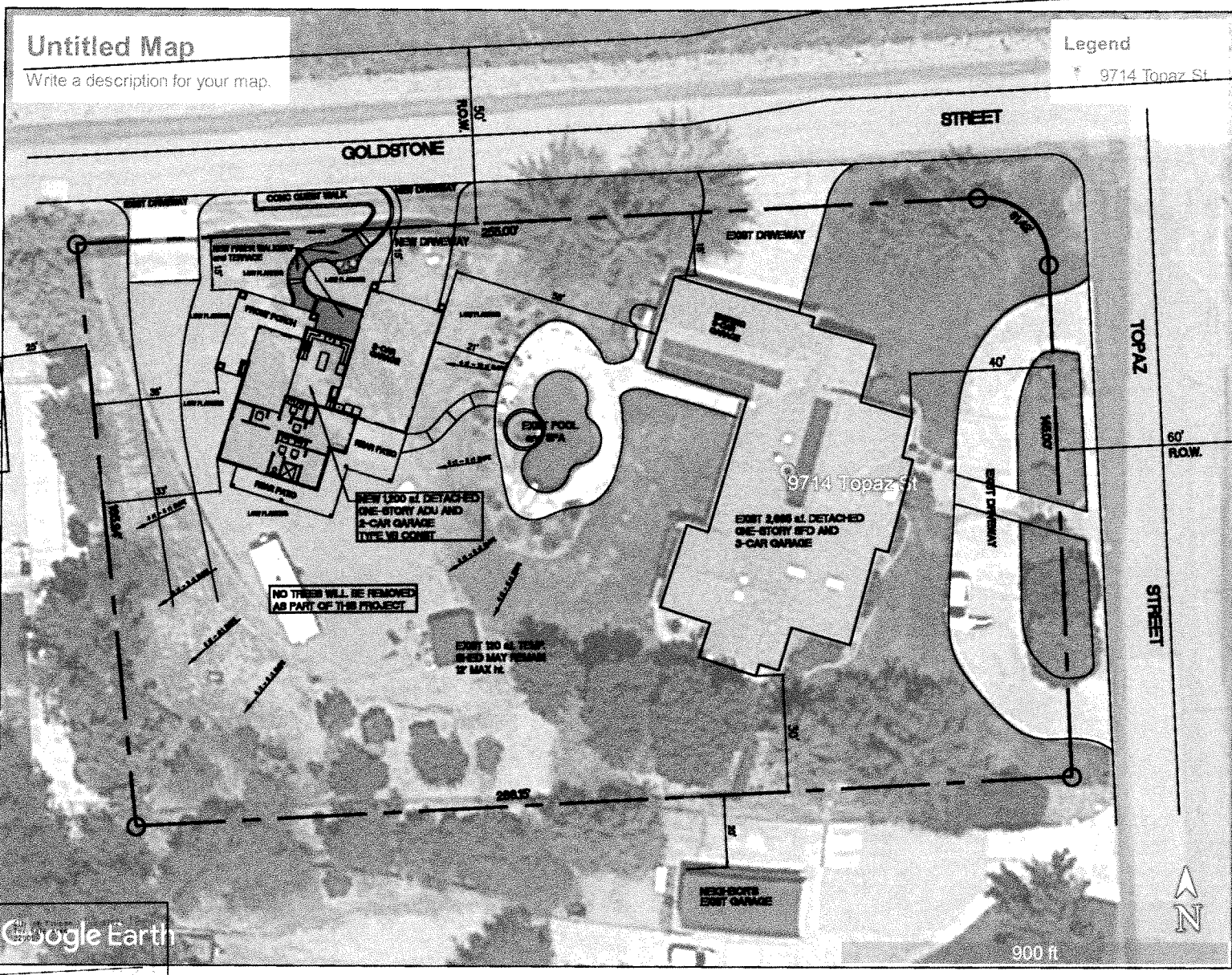


SHEET INDEX

1	SITE PLAN
2	PROPOSED FLOOR PLAN
3	EXTERIOR ELEVATIONS
4	
SD1	
N1	
N2	
N3	
N4	

REVISIONS	BY

Prime Line
 DESIGN & DRAFTING
 1838 HUBBARD ST.
 LOS ANGELES, CA 90042
 TOM ROBINETTE
 PH: (909) 754-9923



CURRENT ON-SITE UTILITIES

- WATER:**
 YUCAIPA VALLEY WATER
 12779 2nd ST. YUCAIPA, CA 92399
 PH. 909 797-5117
- GAS:**
 SO CAL GAS COMPANY
 1981 W. LUGONIA AVE. REDLANDS, CA 92374
 PH. 213 244-1200
- ELECTRIC:**
 SOUTHERN CALIFORNIA EDISON
 287 TENNESSEE ST. REDLANDS, CA 92373
 PH. 800 655-4555

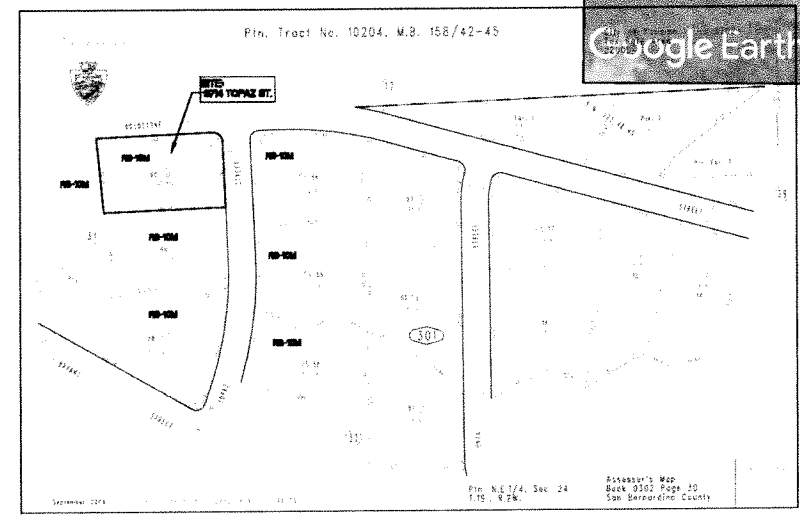
PROJECT DESCRIPTION:
 CONSTRUCT PROPOSED 1,200 s.f. ONE-STORY DETACHED A.D.U. AND 792 s.f. 2-CAR GARAGE

APN: 0302-301-13-0000
LEGAL DESCRIPTION:
 CITY OF YUCAIPA LOT 60, TRACT NO. 10204, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 158 OF MAPS, PAGES 42-45, INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, RIGHTS, RIGHTS OF WAY AND EASEMENTS OF RECORD.

THIS SHEET:
 SITE PLAN

PROPOSED DETACHED ADU
TAYLOR RESIDENCE
 9714 TOPAZ ST.
 YUCAIPA, CA 92399
 OWNER AND APPLICANT
 KENDALL AND JEANIE TAYLOR
 PH: (909) 810-6965

DRAWN	CHECKED	DATE	SCALE	JOB NO.	SHEET
		12/20/2022			1



VICINITY MAP
 SCALE: NONE

PROJECT PARTICULARS

OWNER: TAYLOR
 ADDRESS: 9714 TOPAZ ST. YUCAIPA, CA 92399

ZONE: RS-10M
 OCCUPANCY: R3/ U
 CONSTRUCTION TYPE: VB/ UNSPRINKLERED

LOT COVERAGE: LOT AREA: IRREGULAR = 44,430 s.f. 1.02 ac

EXIST HOUSE:	2,665 s.f.
PROP A.D.U.:	1,200 s.f.
TOTAL PROP LIVING AREA:	3,865 s.f.
PROP COVERED PATIOS & PORCH:	935 s.f.
EXIST 3-CAR ATTACHED GARAGE:	600 s.f.
PROP 2-CAR ATTACHED GARAGE:	792 s.f.
TOTAL COVERAGE OF STRUCTURES:	6,192 s.f.

TOTAL % LOT COVERAGE = 6,192 / 44,430 = 13.9%

SITE PLAN
 SCALE: 1/20" = 1'-0"

BUILDING CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:

- GENERAL BUILDING PER 2022 CBC (California Building Code)
- 2022 CRC (California Residential Code)
- MECHANICAL/ PLUMBING EQUIPMENT PER 2022 CPC (California Plumbing Code)
- HEATING PER 2022 CMC (California Mechanical Code)
- ELECTRICAL PER 2022 CEC (California Electrical Code)
- 2022 CALGREEN MANDATORY MEASURES CHECKLIST
- ENERGY 2022 TITLE 24-6 MINIMUM STANDARDS (California Energy Code)

PLAN PREPARED BY PRIME LINE DESIGN & DRAFTING
from M. T. [Signature]

2019 ENERGY STANDARDS FOR LIGHTING	
KITCHEN	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
BATHROOM	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
GARAGE	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
LAUNDRY ROOM	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
UTILITY ROOM	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR
ALL OTHER INTERIOR ROOMS (E.G. LIVING ROOM, DINING ROOM, BEDROOMS, HALLWAYS) EXCEPT CLOSETS LESS THAN 70 s.f.	HIGH-EFFICACY AND MANUAL-ON VACANCY SENSOR OR DIMMER
OUTDOOR LIGHTING ATTACHED TO BUILDINGS	HIGH-EFFICACY AND MANUAL ON/OFF AND CONTROLLED BY MOTION SENSOR & PHOTOCONTROL
COMMON AREAS OF LOW-RISE RESIDENTIAL BUILDINGS WITH 4 OR MORE UNITS	HIGH-EFFICACY AND VACANCY SENSOR
RESIDENTIAL PARKING LOTS AND GARAGES FOR 6 OR MORE VEHICLES	MUST MEET NON-RESIDENTIAL LIGHTING STANDARDS

ALL NEW LUMINARIES SHALL BE PIN BASED HIGH-EFFICACY

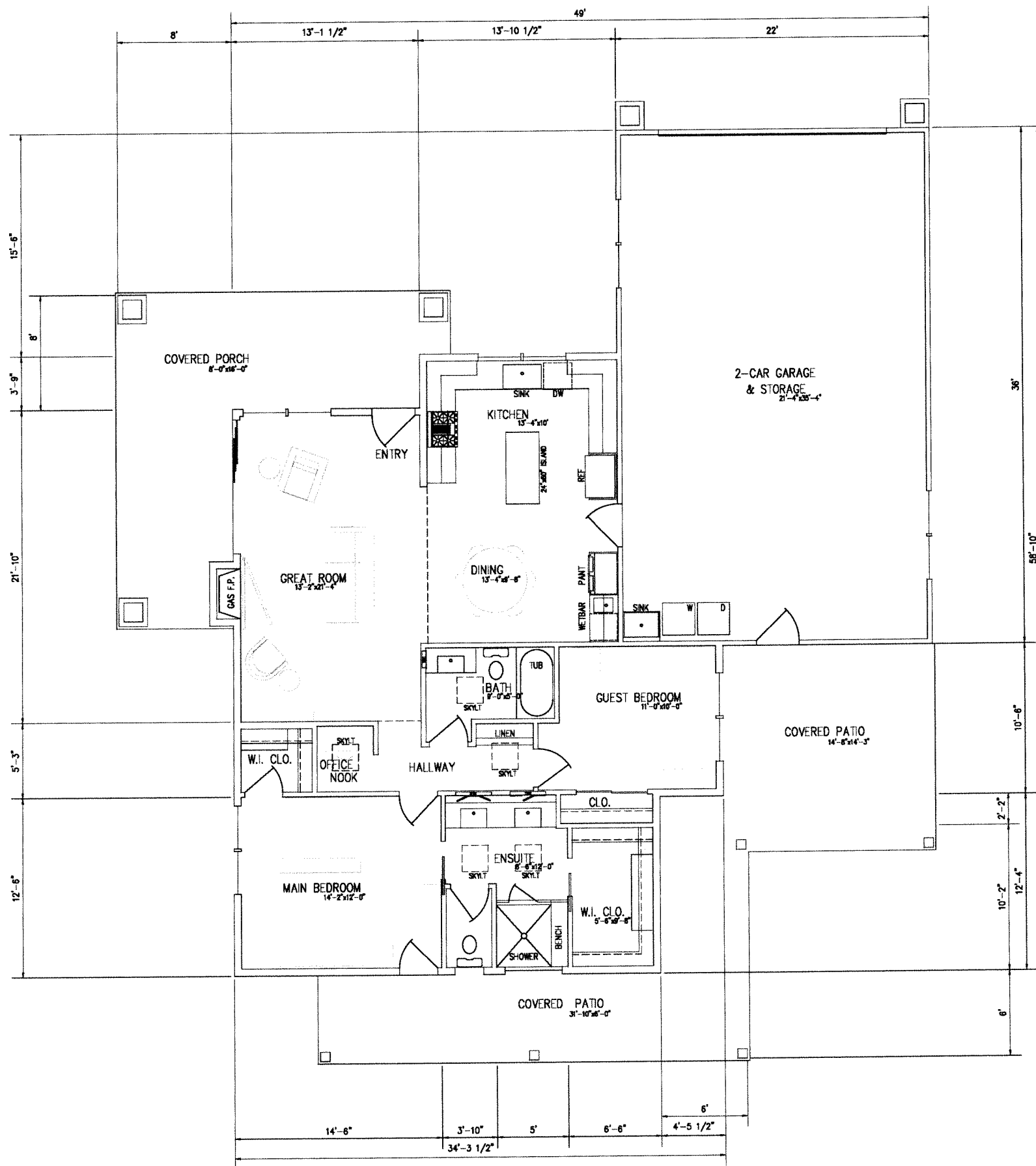
ELECTRICAL NOTES

ALL NEW PERMANENT LIGHTING SHALL COMPLY WITH THE MANDATORY MEASURES LISTED ON FORMS MF-1R.
 ADD CARBON MONOXIDE DETECTOR IN CEILING OF ALL HALLWAYS LEADING TO SLEEPING ROOMS
 All outlets & circuits shall be protected by an Arc-fault circuit interrupter (AFCI) listed to provide protection of the entire branch circuit.
 RECEPTACLE FACEPLATES SHALL BE INSTALLED SO AS TO COMPLETELY COVER THE OPENING AND SEAT AGAINST THE MOUNTING SURFACE.
 NEW ELECTRICAL OUTLETS SHALL BE TAMPER RESISTANT.
 A hard-wired and interconnected smoke detector (with battery back up) shall be installed in each bedroom and shall be centrally located in the corridor or area giving access to each sleeping area. A detector shall be located at each story and basement, on the upper level of split stories and both levels if sleeping area is on the the lower level; a detector shall be located in close proximity to the stairway when sleeping rooms are on the upper level. Where the ceiling height of a room open to the hallway serving the bedrooms exceeds that of the hallway by 24" or more, detectors shall be installed in the hallway and near the high point of the adjoining room. Battery operated smoke detectors are permitted in existing construction.
 Smoke detectors shall sound an alarm in all areas of building or be interconnected.
 Carbon monoxide alarms shall be provided in existing dwellings or sleeping units that have attached garages or fuel-burning appliances. Such alarms shall be located outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s).
 Carbon monoxide alarms shall be hard-wired and interconnected (with battery back up) Battery alarms are permitted in existing dwelling units where no construction is taking place.

ALL 120V BRANCH CIRCUITS SUPPLYING OUTLETS IN LAUNDRY ROOM, CLOSETS, HALLWAYS, KITCHEN, BEDROOMS AND OTHER HABITABLE ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI)
 BATHROOM RECEPTACLES SHALL BE SERVED BY A DEDICATED 20 AMP CIRCUIT.

ELECTRICAL SYMBOLS

	SINGLE POLE SWITCH		115V WALL RECEPTACLE (TAMPER RESISTANT)
	DIMMER SWITCH		115V WALL RECEPTACLE (UNDER COUNTER)
	AIR SWITCH		115V GROUND FAULT CIRCUIT INTERRUPTOR
	SURFACE MTD. INCANDESCENT LIGHT		WEATHER PROOF 115V GROUND FAULT CIRCUIT INTERRUPTOR
	SURFACE MTD. HIGH EFFICACY FLUORESCENT/ LED LIGHT		115V ARC FAULT CIRCUIT INTERRUPTOR (TAMPER RESISTANT)
	SURFACE MTD. PENDANT LIGHT		220V DISCONNECT FOR A/C COND. WEATHERPROOF HOUSING
	SURFACE MTD. CEILING FAN		CABLE TV
	RECESS MTD. HIGH EFFICACY FLUORESCENT/ LED LIGHT		PHONE JACK
	RECESS MTD. MOISTURE PROOF LIGHT		2-ZONE SETBACK THERMOSTAT PER SYSTEM MANUFACTURER
	COMB. 80 C.F.M. EXHAUST FAN w/ HUMIDISTAT AND HIGH EFFICACY FLUORESCENT LIGHT (FAN AND LIGHT SWITCHED SEPARATELY)		S.D. SMOKE DETECTOR HARD WIRED, INTERCONNECTED W/ BATTERY BACKUP, BATTERY OP. IN EXIST. AREAS
	50 C.F.M. (HUMID CONT.) EXHAUST FAN (MAX 1-SONE) DELTA BREEZE SLM50		C.M. CARBON MONOXIDE DETECTOR HARD WIRED, INTERCONNECTED W/ BATTERY BACKUP, BATTERY OP. IN EXIST. AREAS
	UNDER COUNTER LED STRIP LIGHTING		



PROPOSED FLOOR PLAN
 1,200 s.f. LIVING SCALE: 1/4"=1'-0"

PLAN PREPARED BY PRIME LINE DESIGN & DRAFTING

Thomas W. Robinette
 Thomas W. Robinette

REVISIONS	BY

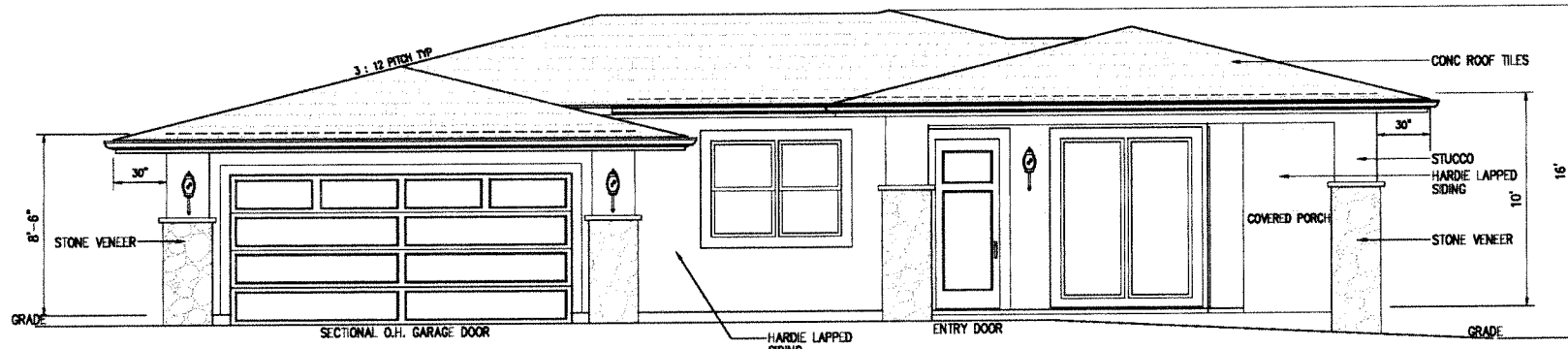
Prime Line
 DESIGN & DRAFTING
 1858 THIRTEENTH ST.
 LOS OSOS, CA 93402
 PH: (805) 754-9923

THIS SHEET:
 PROPOSED FLOOR PLAN

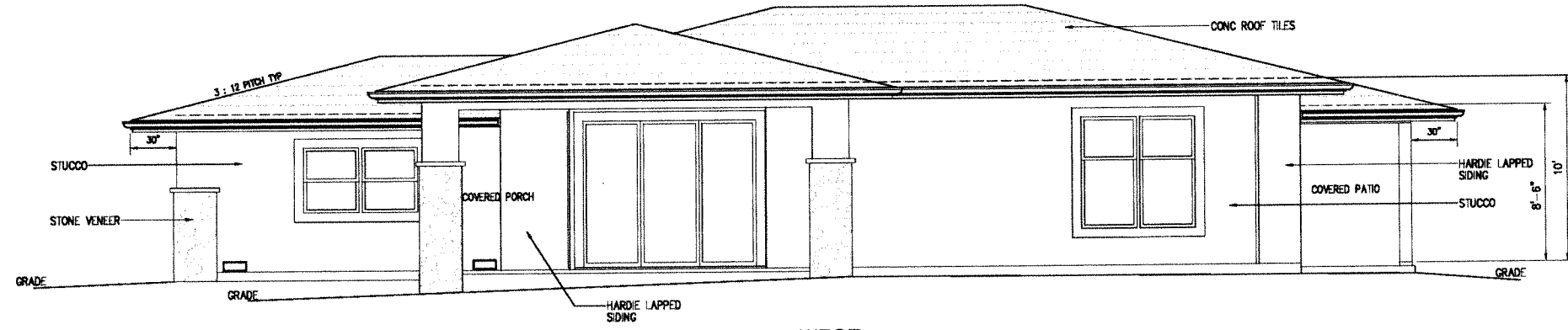
PROPOSED DETACHED ADU
TAYLOR RESIDENCE
 9714 TOPAZ ST.
 YUCAIPA, CA 92399
 PH. (909) 810-6965

DESIGN	
CHECKED	
DATE	12/30/2022
SCALE	
JOB NO.	
SHEET	2
OF SHEETS	2

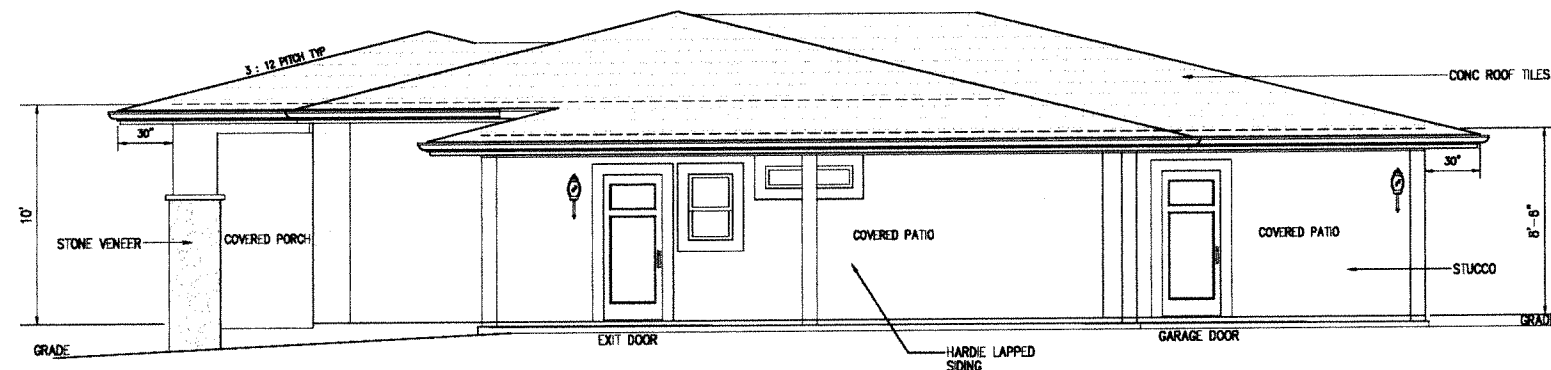
REVISIONS	BY



NORTH

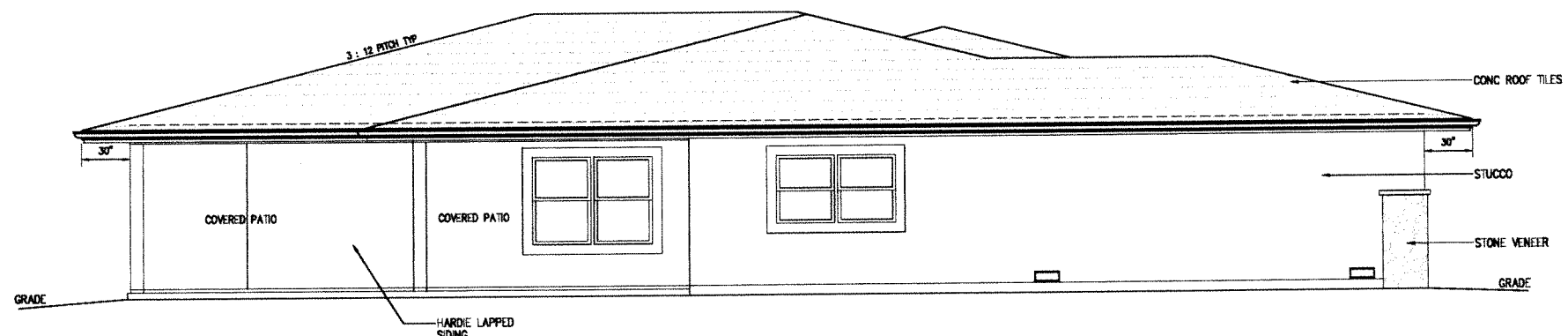


WEST



SOUTH

EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"



EAST

PLAN PREPARED BY PRIME LINE DESIGN & DRAFTING
Thomas W. Robinette
Thomas W. Robinette

Prime Line
DESIGN & DRAFTING
1858 THIRTEENTH ST.
LOS OSOS, CA 93402
PH: (805) 754-9923

THIS SHEET:
PROPOSED ROOF PLAN

PROPOSED DETACHED ADU
TAYLOR RESIDENCE
9714 TOPAZ ST.
YUCAIPA, CA 92399
PH. (909) 810-6965

DRAWN
CHECKED
DATE 12/30/2022
SCALE
JOB NO.
SHEET 3
SHEETS

**CITY OF YUCAIPA
DEVELOPMENT SERVICES DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners

FROM: Christian Farmer, Assistant Planner *CF*

FOR: Planning Commission Meeting of April 19, 2023

SUBJECT: **Century Communities.** (Case No. 23-048/CUP/ARC): A Conditional Use Permit to allow for the continued development of a 57-unit residential detached condominium project, previously approved as Case No. 21-075/REV/TTM 18167 located southwest of the intersection of Avenue H and 4th Street and occupying approximately 7.5 acres with entrances along Avenue H and 4th Street within the City of Yucaipa; Assessor's Parcel Numbers 0319-233-93.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and:

- A) Approve Conditional Use Permit No. 23-048, with the previously approved Architectural Design and Landscaping, subject to the Conditions of Approval as contained in this Agenda Report; and
- B) Adopt the Findings as contained in this Agenda Report; and
- C) Determine that the Project does not require any additional environmental review pursuant Section 15162(a) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and
- D) Direct Staff to file a Notice of Exemption.

BACKGROUND:

Area Land Use Designations; Improvement Levels; and Land Uses:

Site:	RM-10M (Multi-family Residential – 10,000 sq. ft. minimum lot size)	IL-1	Detached Condominiums
North:	RS-10M	IL-1	Single Family Residential
South:	RM-10M	IL-1	Single Family Residential
East:	RM-10M	IL-1	Single and Multi-Family Residential
West:	RM-10M	IL-1	Single Family Residential

DISCUSSION:

Previous Action

The Tentative Tract Map 18167, which was originally approved by the Planning Commission on August 2, 2006, was for a one lot subdivision associated with a Conditional Use Permit to permit 57 detached condominiums on 7.48 acres. After 36 months, no activity occurred on the proposed project and therefore, the approval for the Conditional Use Permit expired. However, the tentative map remained valid due to a series of automatic extensions granted by the State. The actions of the State resulted in adding a cumulative total of seven years to the expiration date of an active map. The TTM then received a 36-month extension from the Planning Division and a 24-month extension from City Council before ultimately being recorded for Final Map on May 9th, 2022.

A new Conditional Use Permit was initiated and granted in 2015 and extended for 36 months in 2018. The Project was further extended by 18 months after the State Legislature passed AB-1561 in response to the COVID-19 Pandemic, creating an effective expiration date of May 11, 2023 for the Conditional Use Permit. Because this Project consists of a one lot subdivision with condominium style development, there is an underlying CUP that provides the authorization for the development. A CUP is required to be active until the construction has been completed and as such, the applicant is seeking to “refresh” their prior approval to complete the construction of the site.

Location and Setting

The proposed project is located along Avenue H & 4th Street, which is generally near the southwest corner of said streets. The project area is comprised of a one-lot subdivision on an irregular shaped boundary located within the RM-10M (Multiple Residential – 10,000 sq. ft. minimum lot size) land use designation. Properties on the north, south, east, and west boundaries consist of single-family residences. Parcels adjacent to the project site, south of Avenue H are within the RM-10M (Multiple Residential – 10,000 sq. ft. minimum lot size) land use designation. North of Avenue H, all properties are within the RS-10M (Single-family Residential – 10,000 sq. ft. minimum lot size). The project has approximately 165 feet of frontage on Avenue H and 212 feet on 4th Street. The site is generally flat but slopes slightly to the south. There are no natural features found on the property, but this site has been improved with internal infrastructure improvements as well as two phases of condominium development associated with the previous approvals.

Project Design and Description

The proposed Conditional Use Permit consists of a detached condominium project which combines the multi-family development standards with single-family detached unit design principles to create a fifty-seven (57) unit residential project with a density of 7.62 dwelling units per acre. The Conditional Use Permit application implements the multi-family residential development component of the project, while the Tract Map establishes the project site as a single lot subdivision in order to implement a condominium ownership pattern. The Project has been designed as a gated condominium community with common open space for play areas, clubhouse, and private streets.

The main entrance on 4th Street provides access to the development, with a second access located on Avenue H. The primary interior street is proposed to be 36 feet wide with parking allowed on both sides of the street. The required private open space is provided through fenced rear and side yards for each unit. The balance of the open space is considered common and includes the front yards, parkways, and the recreation and detention areas.

Architectural Review:

The previously approved architectural review of the site features detached condominiums which provide three (3) plans of 1,995 square feet, 2,224 square feet and 2,491 square feet of habitable living space, respectively, with an additional attached garage of 410 or 444 square feet. No changes have been proposed since the August 8, 2021, Planning Commission Approval. Aside from the condominium style ownership, the design is similar to a conventional single-family subdivision. However, as required by the City's Development Code, each of the floor plans abides by the City of Yucaipa's multi-family residential development standards and each unit also be required to provide the appropriate amenities.

The design provides for a total of three (3) different elevation types, Option "A," "B," or "C" for three (3) different two-story floor plans. In addition, the site utilizes a reverse option to provide for greater variation. Option "A" is inspired by Farmhouse architectural features with the use of gabled roofs as well as white shiplap along the sides. Option "B" has an Italian influence with tile roofing and stucco walls. Option "C" provides a Spanish Architectural style, with a tile roof with a low gable, clay pipes for the vents on the gables and an arched entry way help present a Spanish elevation style. The Site Plan provided indicates the plotting layout for the different units for approval. With the utilization of the three (3) unique elevation types, three (3) plans for each unit, and reversed footprints, repetition should be minimal throughout this condominium community.

The landscaping and amenity plans have also been provided for Planning Commission review and approval. The landscaping plan identifies the approximate location and types of shrubs, groundcover, and trees to be planted onsite. The landscape palette includes a mixture of trees, drought tolerant shrubs and ground cover, which have been reviewed by the City's Contract Landscape Architect to verify consistency with the City administrative design guidelines and to ensure that the palette will best perform in Yucaipa's climate zone and is consistent with the City's Water Conservation requirements.

Consistency with Development Code and General Plan

The proposed project consists of fifty-seven (57) single-family detached units on 7.48 net acres. The proposed project has the following characteristics:

Criteria	Requirement	Compliance With General Plan and Development Code
Density	8.7 dwelling units per acre.	Yes. Overall density is 7.6 dwelling units per acre
Parking	2 enclosed spaces per unit, plus 1 guest space per 2 units. In addition, 1 open space per three-bedroom unit and 2 spaces per four-bedroom unit.	Yes. 114 enclosed spaces are required, 114 garaged spaces have been provided. 96 guest/additional parking spaces are required (guest spaces- 28, additional spaces-68). 95 spaces are identified, but adequate space is available to achieve 96 parking spaces.
Open space	40% of project area to be landscaped.	Yes. Project provides 49% of total site area as private and public open space.
Dwelling Unit Size	3+ bedroom units to have 1,050 sq. ft. minimum living area.	Yes. All 3 and 4-bedroom units are a minimum of 1,567 sq. ft. in size. No 2-bedroom units proposed.
Amenities*	Required site amenities include entry treatment. Each dwelling is required to provide 3 interior amenities from approved list.	Yes. Project provides monument sign at main entrance. Recreation area includes clubhouse and play area. Preliminary interior designs provide a fireplace, washer/dryer/refrigerator, over-sized/walk-in closets, and other features.

The Project meets or exceeds the City’s General Plan and Development Code standards for the above referenced items as well as for access and site design.

The Project has been conditioned to maintain historical storm water run-off flow rate as drainage exits the site, which is proposed to be accomplished through the use of a retention basin in the southwest corner of the site. A storm drain pipe is proposed for off-site installation from the retention basin to 5th Street to accommodate any drainage overflow from the basin. Overall drainage design includes utilizing the private streets as well as a series of collection basins connected to underground drain piping, which transmits drainage to the basin.

4th Street and Avenue H are designated as collector roadways in the General Plan with a right-of-way width of sixty-six (66) feet, with forty-four (44) feet of pavement. Curb and gutter and sidewalk are required to be installed along the project frontage on both streets.

Processing and Procedural Actions

Notices of the Project were sent the surrounding property owners within a 300-foot radius of the project site and one (1) written comment one phone call were received. The written comment requested clarification on the reason for the CUP, with the site already under construction and the phone response indicated concerns for traffic in the area.

Environmental Review

An Initial Study had been previously prepared and adopted by the Planning Agency of the City of Yucaipa, which had determined that revisions in the Project had been made by (or agreed to by) the project proponent, or that appropriate mitigation measures had been provided, and therefore, the Project would not have a significant effect on the environment. No significant or substantial changes in existing conditions have occurred, and therefore the project requires no further environmental analysis based on the findings contained in Section 15162 of the CEQA Guidelines. The Project remains within the scope of the Mitigated Negative Declaration originally adopted for the project.

CONCLUSION:

The proposed Project is consistent with the Multiple Residential Land Use District and the General Plan and Development Code standards. The Project is an allowable use and meets standards for access and site design, and it exceeds standards for front setback and landscaping. Appropriate conditions of approval have been applied to the project to ensure compliance with City, state, and federal regulations, and to mitigate any potentially significant environmental impacts.

Attachments: Findings
Land Use & Location Map
Site Photos
Comment Letter
Conditions of Approval
Site Plan and Building Elevations

Approved by:



Benjamin Matlock, Planning Manager/City Planner
Development Services Department

FINDINGS: CONDITIONAL USE PERMIT NO. 23-048

1. The proposed project will not have a significant impact on the environment because the previously adopted mitigation measures contained in the adopted mitigated negative declaration will reduce the potential level of impact to less than significant.
2. The site for the proposed use is adequate in size and shape to accommodate the proposed use and all yards, open spaces, setbacks, walls and fences, parking areas, landscaping, and other features pertaining to the application, because the site is large enough and the design is configured to accommodate the proposed project and accompanying features.
3. The site for the proposed use has adequate access, meaning that the site design incorporates existing lot width and depth dimensions, because the site has an internal driveway designed to meet applicable City standards, the property has access from 4th Street and Avenue H.
4. The proposed use will not have a substantial adverse effect on abutting property or the permitted use thereof, meaning that the use will not generate excessive noise, vibration, traffic, or other disturbances, because: 1) The project design and conditions of approval have addressed these concerns; 2) Improvements will be conditioned to occur prior to completion of the site development; 3) The buildings are proposed to be setback from the property line a minimum of 15-feet; 4) A six (6) foot high concrete block wall is proposed around the perimeter 5) Adequate internal circulation is available and/or required for Fire Department access and adequate parking for residences and visitors is available; 6) Adequate on-site retention of storm water run-off will occur. In addition, the use will not substantially interfere with the present or future ability to use solar energy systems because the height of the proposed buildings will not substantially hinder the use of such devices on surrounding properties.
5. The proposed use is consistent with the goals, policies, standards, and maps of the General Plan and any applicable plan, because the proposed use is permitted in the RM-10M Land Use District, subject to the provisions of this Conditional Use Permit, per Yucaipa Development Code Section 84.0330(b)(1).
6. The lawful conditions stated in the approval are deemed necessary to protect the public health, safety, and general welfare, because they ensure adequate circulation, drainage, and compatibility with surrounding land uses.
7. The design of the site has considered the potential for the use of solar energy systems and passive or natural heating and cooling opportunities, because there are no obstructions to the collection of solar energy or the natural movement of wind toward or around surrounding properties

LAND USE: MULTIPLE RESIDENTIAL (RM 10)



SITE LOCATION







Christian Farmer

From:
Sent: Monday, April 10, 2023 8:30 AM
To: Christian Farmer
Subject: Re: Case No. 21-075/REV/TTM 18167

That's it!

Thank you

On Mon, Apr 10, 2023 at 7:56 AM Christian Farmer <cfarmer@yucaipa.org> wrote:

Justin,

You are correct, there are no substantive changes to the project. I hope this all makes sense, is there anything further I can clear up?

Best,

Christian

From:
Sent: Sunday, April 9, 2023 9:23 PM
To: Christian Farmer <cfarmer@yucaipa.org>
Subject: Re: Case No. 21-075/REV/TTM 18167

Hi Christian,

I appreciate that you replied to my email even on a holiday weekend. So this cup permit is only a renewal because the original one has timed out, It seems nothing about the project changes?

Thank you

On Sun, Apr 9, 2023 at 6:25 PM Christian Farmer <cfarmer@yucaipa.org> wrote:

Hi Justin,

This really comes down to the way that the project was permitted. Although the final map has recorded for this project, it has an underlying CUP, which is required to be in place until the end of the construction. The current builder took over the entitlement with only about 18 months until expiration. This is not an unusual situation especially through COVID, and a few other projects have required a similar renewal even after several units have been built. This certainly is often a more frustrating situation for a builder that we are working to prevent in the future, but for now it's really more of a hiccup in our development code.

Do you have any specific questions or concerns about the re-entitlement?

Have a wonderful Easter weekend,

Christian Farmer
Assistant Planner
City of Yucaipa
City Hall • 34272 Yucaipa Blvd • Yucaipa, CA 92399
Office: 909-797-2489 Ext. 270
www.yucaipa.org



From: _____
Sent: Sunday, April 9, 2023 12:10:23 PM
To: Christian Farmer <cfarmer@yucaipa.org>
Subject: Case No. 21-075/REV/TTM 18167

Hello,

I am wondering why Century Communities is applying for a conditional use permit when the project has already started and the first units have been completed and are for sale.

Thank you

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Conditional Use Permit is for the establishment of a 57-unit detached condominium project and common recreation area with an associated and previously approved one-lot subdivision map on 7.48 gross acres. Any alteration or expansion of these facilities or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may, at its own expense, participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations.
3. This Conditional Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. A Notice of Determination is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, as a Mitigated Negative Declaration (MND) has been previously approved and adopted for the Project. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board". The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

5. All conditions of this Conditional Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.
6. The applicant/owner shall maintain in good condition at all times all permanent plantings as identified on the approved landscape plan.
7. All new utility lines shall be placed underground. Existing overhead distribution lines shall be placed underground when four (4) or more utility poles on the same street are located on or adjacent to the project site.
8. Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.
9. All signs proposed by this project may only be lit by steady, stationary, shielded light directed at the sign, by light inside the sign, by direct stationary neon lighting or by an alternating lighting system that changes no more than once per hour. The glare from the luminous source shall not exceed one-half (0.5) foot candle.
10. Parking and on-site circulation requirements shall be maintained at all times.
 - A. Any occupancies which require additional parking that has not been provided for through this Conditional Use Permit, such as restaurants or places where food or refreshments are dispensed which have seating, shall not be approved until an application for revision is submitted for review and approval showing the additional parking.
 - B. All markings to include parking spaces, directional designations, "No Parking" designations, and "Fire Lane" designations shall be clearly defined and said markings shall be maintained in good condition at all times.
 - C. Parking and site circulation surfaces (City Road Specification #39) shall be maintained in good condition at all times.
- **11. Noise levels shall not exceed City Standards as required by Development Code Section 87.0905(b).
12. All refuse generated at the premises shall at all times be stored in approved containers and shall be placed in a manner so that visual and public health nuisances are minimized.
13. The applicant shall implement the approved "Solid Waste Recycling Plan" for any new commercial, industrial, or institutional uses located on the property. The developer and all occupants of the property shall make a good faith effort to fully

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** ENVIRONMENTAL MITIGATIVE MEASURE(S)

comply with each component of the approved Plan. Any proposed revision to this Plan shall be subject to the review and approval of Yucaipa Disposal, Inc. (909) 797-9125.

14. Developers of commercial/industrial/institutional projects shall attempt to ensure that at least 20% of the total cost of the project shall be spent with Yucaipa businesses and/or the hiring of Yucaipa residents.
15. The project site shall remain in full compliance with all City Sign Regulations at all times.
16. The applicant/property owner shall be required to apply an anti-graffiti coating, and/or provide a landscape design of a type and nature that is acceptable to the City Planner, to each of the publicly viewable surfaces deemed by the City Planner to be likely to attract graffiti.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

17. This project is protected by the Yucaipa Fire Department/California Department of Forestry and Fire Protection. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted California Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CalFire.
- **18. This project is in a Fire Safety Review Area 2. This is a high fire hazard brush area. This project shall comply with the construction and development standards for a FR-2 Area. Contact the City Building & Safety Division for FR-2 Area construction and development standards.
19. Fire Department access roads and/or public/private streets shall meet the Fire Department minimum width standard of twenty-four (24) feet. Within FR-1 zone minimum width shall be twenty-six (26) feet. Access roads shall be paved (asphalt/concrete) and in place prior to placement of combustible material on site. Fire Department minimum paving thickness shall be no less than four (4) inches. This standard shall not lessen other agency requirements.
20. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.
21. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

22. Cul-de-sac and dead-end streets shall not exceed 350 feet in FR-1 areas. In all other areas, cul-de-sacs shall not exceed six hundred (600) feet in total length, unless otherwise approved by the Fire Department.
23. Required fire flow for this project, as determined by I.S.O. Formula, is as follows: gpm = 1,500, at 20 psi residual; for 2-hour duration. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
- *24. Turn-arounds at dead-end streets shall be in accordance with the requirements of the Fire Marshall. (requested by the Engineering Department)
- *25. Fire hydrant spacing shall be: multi-family residential: 300 feet max. High-density residential: 300 feet max. Fire hydrants shall be installed at locations determined by the Fire Department. Required fire flow to be determined by Fire Department. Fire flow shall not be less than 1,500 gpm.

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- **26. The natural drainage courses traversing the site shall not be occupied or obstructed.
- **27. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows. Otherwise, applicant shall provide on-site detention for excess flows.
28. Road sections within and/or bordering the project shall be designed and constructed with curbs, gutters, and sidewalks to City Road Standards, and in accordance with the General Plan Circulation Element.
29. Final improvement plans and profiles shall indicate the location of any existing utility facility which would affect construction. Existing utility poles shall be shown on the improvement plans and relocated as necessary without cost to the City.
30. A thirty-five (35) foot radius of return grant of easement is required for rounding the corner of intersecting roads when the half-width right-of-way of any intersecting road is forty (40) feet or greater. A twenty (20) foot radius of return grant of easement is required for rounding the corners of intersecting roads if the half-width right-of-way of all intersecting roads is less than forty (40) feet.
- **31. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

32. Applicant shall present evidence to the City Engineer that he has obtained a non-interference letter from any utility company that may have rights of easement within the property boundaries. Southern California Edison letter to relinquish and relocate easement required.
33. Easements of record not shown on the tract/parcel map shall be relinquished or relocated. Lots affected by proposed easements or easements of record, which cannot be relinquished or relocated, shall be redesigned.
34. This project shall be required to create a Homeowners Association (HOA) for new development if it is determined necessary for the provision of maintenance services per City standards or specifications to public or common areas that may be a part of the development, and the applicant hereby agrees to waive the right to protest the formation of said HOA. Developer must submit to the City of Yucaipa two (2) blue-lines, full size, one (1) "as-built" mylar landscape/irrigation plan, one (1) reduced 11x17 set, and one (1) 11x17 laminated set for the controller cabinet. Three copies of a Landscape Documentation Package, consistent with Division 10, Chapter 4 of the Development Code shall be submitted for review and approval. An Engineer's report shall be submitted and approved for the HOA.
35. Preliminary WQMP shall be submitted for review. If project will not require a WQMP, documentation indicating a WQMP is not required shall be submitted.
36. Submit WQMP Plan for Approval.
37. All lots must drain to streets, per the approved WQMP if applicable. If lots do not drain to streets, the cross-lot drainage will be reviewed and approved by the City Engineer under provision of the Uniform Building Code Appendix 33 and the Development Code.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

- **50. Three (3) copies of the grading plan shall be submitted to the Building and Safety Division for review and approval. A copy of the grading plan shall be submitted to the Planning Division when graded slopes exceed five (5) feet in height. All on-site cut and fill slopes shall:
 - A. Be a part of the downhill lot when between individual lots, or as approved by the City Planner and City Engineer.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

- B. Incorporate recommendations of the approved geology and soils reports.
- C. Be contour graded to blend with existing natural contours.
- D. Be limited to a maximum slope ratio of two-to-one (2:1) and a maximum vertical height of thirty (30) feet. Setbacks from the top and bottoms of slopes shall be a minimum of one-half (1/2) the slope height or per CBC.
- E. Preclude damage to the site and downstream properties during heavy storm run-off, especially during the construction stage by including a stringent slope, erosion, and sediment control program on the proposed grading plan. Any such damage allowed to occur will be the responsibility of the applicant.
- F. Provide letters of consent from adjacent property owners for proposed offsite grading.

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- **51. Applicant shall submit a Notice of Intent and comply with the requirements of the General Construction Activity Storm Water Permit from the State Water Resources Control Board if the project site is 1 acre or greater. In addition, the Storm Water Pollution Prevention Plan (SWPPP) is required to be submitted to the City Engineer for review and approval.
- *52. A 15 foot grant of easement for drainage is required along APN: 0319-233-42 southerly line. Documents shall be submitted prior to document preparation for recordation with map.
- **53. Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region (909-782-4130), and/or as indicated in the "New Development/Redevelopment Guidelines." All provisions of the Water Quality Management Plan (WQMP) consistent with the 2010 MS4 permit and most recent regulatory mandates shall be met.
- **54. Detention basin facilities to retain runoff resulting from a longer event on-site are required or permanent drainage improvements are required, per the appropriate Master Plan of Drainage, to intercept and conduct the regional and/or local flows through or around the site in an approved manner.
- **55. The proposed storm drain facilities will intercept and provide for collection of runoff generated on-site (and off-site flows that drain onsite). All facilities will be designed in accordance with current City and County policy and requirements

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

including applicable Development Code Sections (pertaining to Flood Plain Safety Overlay Districts). Final facility design and location must be approved prior to issuance of grading permits. All on-site storm drain facilities will be designed to convey flows which could be expected from a storm with a 10-year recurrence interval with additional design factors of safety and freeboard to provide a 100-year level of flood protection to inhabited structures. During storms of intensity greater than the 10-year storm, additional flood protection is provided by utilizing the local storm drain system and conveying additional runoff onto streets. Storm drain facilities which intercept canyon flows upstream of development area will be designed to convey the 100-year rather than 10-year design flow. For the sizing of roadway storm drains and locations of catch basins in streets the storm drain system shall be designed to:

- A. Collect a 25-year storm recurrence interval within the street section (top of curb to top of curb).
 - B. Collect and contain the 100-year interval within the roadway right-of-way.
56. In addition to the drainage, traffic related, or other requirements stated herein, other "on-site" or "off-site" improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.
57. A thorough evaluation of the structural road section, to include parkway improvements, from a qualified materials engineer, shall be submitted to the Engineering Division.
58. Existing City roads which will require reconstruction shall remain open for traffic at all times, with adequate detours, during actual construction. A cash deposit may be required to cover the cost of grading and paving. Upon completion of the grading and paving to the satisfaction of the Engineering Division, the cash deposit will be refunded.
59. Prior to signing of the improvement plans, any proposed grading within the road right-of-way shall be done under the direction of a Soils Testing Engineer, hired by the applicant. Compaction tests of embankment construction, trench backfill, and all subgrades shall be performed at no cost to the City. Prior to placement of any base materials, and/or paving, a written report shall be submitted by the applicant's engineer to the City Engineer for review and approval.
60. A topographic map shall be provided to facilitate the design and review of necessary drainage facilities at the time the site is developed.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

61. Additional 3 foot dedication is required to provide for a 33 foot half-width right-of-way on Avenue H and 4th Street. A copy of the Grant Deed for all properties affected by this requirement must be submitted to the City Engineer prior to document preparation.
- **62. Future building pads shall be elevated adequately, a minimum of 1 foot above established FIA to reduce damage from flooding.
63. 4th Street and Avenue H shall be designed as water-carrying streets and their water carrying capacity shall be maintained.
64. The applicant shall provide documentation indicating that the WQMP, grading plan, erosion control plan and landscape plan are consistent with each other. The documentation shall indicate that each document has been reviewed by the applicant for consistency.
65. For any construction within City owned right-of-way, an encroachment permit, or authorized clearance, shall be obtained by the applicant from the Engineering Division.

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- **66. Grading permits shall not be issued for any areas to be graded and remain undeveloped until a revegetation plan is approved by the Planning Division, and until bonds are posted for revegetation.
- **67. An archaeological monitor must be on-site during any earth disturbing activities. If prehistoric or historic resources over 50 years of age are encountered during land modification, then activities in the immediate area of the finds shall be halted so that the archaeologist can assess the find, determine its significance, and make recommendations for appropriate mitigation measures. A historical resources management report shall be submitted by the professional to document the monitoring, to evaluate resource significance and integrity, and if necessary, to evaluate project impacts and propose mitigation measures to mitigate potential adverse impacts. For more information, contact the County Museum at 909-307-2669. If human remains are encountered on the property, then the San Bernardino County Coroner's Office MUST be contacted within 24 hours of the find, and all work halted until a clearance is given by that office and any other involved agencies. Contact the County Coroner at 175 South Lena Road, San Bernardino, CA 92415-0037, or (909) 387-2543.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- * NON-STANDARD CONDITION(S)
- ** ENVIRONMENTAL MITIGATIVE MEASURE(S)

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**68. Three copies of a Landscape Documentation Package shall be submitted for Building & Safety Division review and approval. Said Landscape Documentation Package shall be consistent with the requirements of Chapter 4, of Division 10, of the Development Code and include all of the following elements:

A. Project Information

- (1) Date
- (2) Project Applicant
- (3) Project Address (if available, parcel and/or lot number(s))
- (4) Total Landscape Area (square feet)
- (5) Project Type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
- (6) Water Supply Type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well.
- (7) Checklist of All Documents in Landscape Documentation Package
- (8) Project Contacts (to include contact information for the project applicant and property owner)
- (9) Applicant Signature and Date (with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package").

(B) Water Efficient Landscape Worksheet

- (1) Hydrozone Information Table
- (2) Water Budget Calculations
 - (I) Maximum Applied Water Allowance (MAWA)
 - (II) Estimated Total Water Use (ETWU)

(C) Soil Management Report

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

- (D) Landscape Design Plan
 - (E) Irrigation Design Plan
 - (F) Grading Design Plan
 - (G) Certification of Substantial Completion (to be submitted after installation of the project).
69. A copy of the approved Landscape Documentation Package shall be provided to the property owner or site manager along with the record drawings and any other information normally forwarded to the property owner or site manager. A copy of the Water Conservation Concept Statement and the Certificate of Substantial Completion shall be sent by the project manager to the local retail water purveyor.
70. Three (3) copies of a landscape and irrigation plan prepared by a Registered Landscape Architect for the planting (drought tolerant landscaping shall be utilized to minimize water consumption) and permanent irrigation system for the development, including setback areas and parkways, shall be submitted to the Building & Safety Division for review and approval. Said plans must be consistent with the City of Yucaipa Landscape Design and Installation Guidelines and include the following details:
- A. Voltage boxes, mailboxes, trash enclosures, maintenance structures, backflow devices, automatic controls, air conditioning/heating units, etc., to be shown on the plan and screened with landscaping and/or decorative fencing/trim.
 - B. A permanent automatically-controlled irrigation system.
 - C. Landscaping shall consist of drought tolerant vegetation appropriate to the local climate. Trees, shrubs and ground covers in the following quantities shall be required as follows:
 - 1. Tree planting (15 gallon size):
 - a. 1 for each 600 sq. ft. of total landscaped area (one required, minimum);
 - b. 80% of total trees required to be 15 gallon;
 - c. 1 for every 12 parking stalls;
 - 2. 24 to 96 inch box trees:
 - a. 20% of total trees required (one required, minimum).

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

3. Tree Spacing/location:
 - a. small trees: 20 feet O.C. max.;
 - b. large trees: 30 feet O.C. max.;
 - c. street trees: 15 gal. min./30 feet O.C. max.;
 - d. min. 6 feet from curbs, paving and sidewalks; trees in parkway between sidewalk and curb shall be provided with a linear root barrier.

4. 5 gallon shrubs:
 - a. 60% of total shrubs required to be 5 gallon;
 - b. 10 for each 300 sq. ft. of landscaped area.

5. 1 gallon shrubs:
 - a. 40% of total shrubs required.
6. Ground Cover:
 - a. Drought tolerant adapted when mature, or native;
 - b. Maximum spacing: 12 inches O.C., or as suitable for planting material;
 - c. Hydroseeding (establish recommended mixture); specify weight or volume per unit area.

- D. Parking/vehicular circulation areas screened with landscaped berms adjacent to streets.

- E. Landscape detail of trash enclosures, to be located within 200 ft. of building pad.

- F. All walls and fences shall be shown, at the top of slope (if applicable), with the style, design, materials, and colors indicated.

- G. Design features to direct storm water run-off into landscaped pervious areas to achieve percolation into the ground before run-off flows reach public right-of-ways.

- H. Detector-check valve assembly screening and camouflage, which shall include landscaped berms and/or depressions, shrub screening, and the painting of the equipment to match the landscaping. The height of the equipment shall not exceed the minimum ground clearance established by the applicable code. It is not permitted to be located within the front yard building setback area, unless otherwise approved by City Inspector.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

- I. All recreation facilities, including clubhouse areas, tot lots, open play areas, and detention facilities.

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70. Submit engineered road improvement plans to the City Engineer.
71. Projects subject to a building permit shall have all required on and off-site improvements, required for each phase, completed and approved prior to final inspection of any buildings or structures. The term “phase” as used here shall mean the following: “The block of building permits drawn on less than the whole project” or “A plan of building construction which indicates blocks of construction of less than the whole project.” In each phase the installation of any on or off-site improvements shall be sufficiently completed so as to assure protection from storm or drainage run off, a safe and drivable access for fire and safety, and the ordinary and intended use of buildings or structures. The Building Official, with the concurrence of the City Engineer, may approve any plan or approve a change to an approved plan, which complies with the intent of this policy.

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- **72. The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.
- **73. The City of Yucaipa has implemented development impact fees for various infrastructure and capital facilities needs generated by new development. These fees will provide for various capital facilities including, but not limited to, roads, parks, flood control and drainage, public facilities, and fire fighting facilities. This project shall be subject to all such development impact fees which are in effect at the time building permits are issued.
74. The applicant/owner shall process a Condition Compliance Review through the City for verification of conditions prior to the issuance of building permits.
75. Water service shall be by Yucaipa Valley Water District. The Yucaipa Valley Water District letter dated May 15, 2015 is included as a Condition of Approval. Submit evidence of service to Building and Safety at time of Condition Compliance review.
76. Sewage disposal shall be by Yucaipa Valley Water District. The Yucaipa Valley Water District letter dated May 15, 2015 is included as a Condition of Approval.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

Submit evidence of service to Building and Safety at time of Condition Compliance review.

77. Applicant shall procure a verification letter from the sewerage agency. Said letter shall state whether or not sewer connection and service can be made available to the project by the sewerage agency.
78. Verification of application for sign registration and plot plan approval by the Planning Division must be submitted prior to the issuance of a building permit for the installation, wiring, remodeling or reconstruction of any sign or portion thereof which requires a building permit.
- **79. The applicant shall submit a "Solid Waste Recycling Plan" for review and approval. This Plan shall address two (2) principal recycling programs: 1) the recycling of construction waste/debris during the demolition and/or development phase of the project, and 2) the recycling of the solid waste that is generated daily by each proposed use during the operational phase of the project. The construction waste component shall include: complete information on the individual or firm that will be responsible for implementing the recycling plan; complete information on all proposed recycling facilities that will receive waste products; and estimates of the volume or weight of each type of material that will be recycled. The operational waste component shall include: complete information on the location, access, sizes, and numbers of solid waste and recycling bins needed to serve each proposed use that is located within the project. For information on the types of waste disposal services that are available, you may contact Yucaipa Disposal, Inc. at (909) 797-9125 for assistance.
80. Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted.
81. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.
82. The Tract Map (one (1) lot subdivision for condominium purposes) shall be recorded prior to the issuance of building permits.
83. The applicant/property owner shall grant to the City, in writing, the irrevocable right of entry over, and access to, such property, upon twenty-four (24) hours' posted notice, by authorized City employees or agents, for the purpose of removing or painting over graffiti on any designated graffiti attracting surfaces.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

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84. Three sets of water delivery system plans, designed to meet the required fire flow for this project and/or development shall be submitted to the Fire Department for approval.
85. Applicant-developer shall provide the Fire Department with a letter from the water company serving the project-development, verifying that financial arrangements have been made and bonds posted for the required Fire Department approved water improvements.
- **86. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.
87. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.
- **88. An alternative type of construction providing a higher level of fire resistance is required. Contact the Fire Department or City Building Official for more information.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

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89. The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
90. Commercial buildings on the site shall be accessible per California Building Code (CBC) 11B for clubhouse and all common use buildings.
91. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.

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92. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

93. Fire Department access roadways and/or public/private streets exceeding one hundred fifty (150) feet in length shall have a Fire Department approved turn-around at the terminus (cul-de-sac). Minimum radius shall be not less than 40 feet.
94. Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).
95. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.
96. The development and/or project, and each phase thereof, shall have a minimum of two (2) remote points of access, including a secondary access, for fire and other emergency equipment and for routes of escape which will safely handle evacuations.
97. The public and/or private roadways serving this project shall be named.
98. Street name signs shall be installed with approved names.
99. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated ("Knox" type) locks. For automatic gates, a "Knox" keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "Knox box" request forms are available from the Fire Department.
100. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single family dwellings shall have numbers of 4" height, 3/4" stroke on contrasting background. Address numbers shall be low voltage, automatically electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4" in height, 3/4" stroke, on contrasting background shall be displayed at property access entrance.

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** ENVIRONMENTAL MITIGATIVE MEASURE(S)

101. Prior to final inspection, there shall be posted at each entrance of the complex an illuminated diagrammatic representation of the complex showing the locations of the viewer, the unit designations within the complex, and the locations of fire hydrants. The developer shall submit a drawing detail to the Fire Department for approval.
102. "No Parking - Fire Lane" signs shall be posted at locations designated by Fire Marshall. Fire lane curbs shall be painted red with white letters stating "No Parking – Fire Lane".
103. On site fire hydrants capable of supplying required fire flow shall be installed at locations identified by the Fire Marshall. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
104. Approved fire hydrant pavement markers shall be installed.
105. Residential automatic fire sprinklers shall be installed according to NFPA 13D, or Section R313 of the California Residential Code, and Fire Department requirements. Submit three (3) sets of shop plans with material cut sheets and hydraulic calculations for Fire Department review and approval prior to an installation. Submit copy of California C-16 license. Minimum water meter supplying a 13D system shall be 1" steel pipe, or ¾" if other than steel pipe. Minimum pipe size for interior use shall be 1" steel pipe, or ¾" if other than steel pipe (actual pipe size to be hydraulically calculated). Residential sprinkler heads of proper temperature rating shall be installed in attic and built-up storage spaces where mechanical equipment (fau, water heater, etc.) is installed.
106. Automatic fire sprinklers shall be installed according to NFPA 13 and Fire Department requirements. Submit three (3) sets of shop plans with material cut sheets and hydraulic calculations, indicating the type of occupancy, type of materials to be stored (if any), for Fire Department review and approval prior to any installation. Submit copy of California C-16 license.
107. Automatic fire sprinkler control devices (P.I.V. & O.S.&Y.) shall be visible from Fire Department access roadway, and identify system being controlled and address of structure. Fire Department Connection (FDC) shall be located no closer than fifty (50) feet and not to exceed one hundred fifty (150) feet from structure. Required fire hydrant shall have a maximum distance from FDC of thirty (30) feet. FDC shall identify address and system of structure being protected.
108. A minimum of one 2A-10BC fire extinguisher shall be installed for each 3,000 sq. ft. of floor area. Travel distance to any one fire extinguisher shall not exceed 75 feet. Additional fire extinguishers, size and class to be determined by Fire

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

Department, may be required. Fire extinguishers shall be serviced annually and shall have a current sfm service tag attached.

109. Carbon Monoxide detectors to be installed per manufacturer's instructions. **Nitrogen Dioxide detectors to be installed per manufacturer's instructions.** Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.
110. For each chimney used in conjunction with any fireplace or heating appliance in which solid or liquid fuel is used, an approved spark arrester shall be installed and visible from the ground. Spark arrester shall be of stainless steel, copper or brass, woven galvanized wire mesh, twelve (12) gauge, and minimum of 3/8" to 1/2" maximum openings.
111. A class "A" roof covering structure with "bird stops" shall be installed.
112. High Fire Hazard Areas FR-1 & FR-2: one-hour fire resistive construction is required for exterior walls. Contact Fire Marshall or City Building Official for more information.
113. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.
114. Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.
115. Assembly exit requirements:
 - A. Required exit doors shall be maintained in an operable condition at all times.
 - B. Required exit doors shall swing outward and away in the direction of exit travel.
 - C. Obstructions shall not be placed in the required width of an exit. Exits shall not be blocked or locked shut or obstructed in any manner during business hours.
 - D. Exit paths shall be illuminated when structure is occupied.
 - E. Exit path illumination shall be supplied from two (2) sources of power when occupant load is one hundred (100) persons or more.
 - F. When exit way/exit pathway and/or exit doorway is not easily identified, additional exit signs shall be installed.
 - G. Exit signs shall be internally or externally illuminated by two lamps or shall be of the self-luminous type.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

- *116. Gated residential complexes shall have a “knox-box” system installed on the exterior of the buildings or complex. Location of device to be determined by the Fire Department. The box shall contain keys necessary to gain access and may contain pre-plans and MSDS information as required by the Fire Department.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

117. Construction of private roads and private road related drainage improvements shall be inspected and certified by the City Engineer.
118. Construct curb and gutter (with match-up paving) 22 feet from centerline on Avenue H and 4th Street.
119. Construct sidewalk adjacent to site with landscaped parkway.
120. Any further development of this parcel will require construction of full road improvements.
121. Developer shall be required to place construction traffic control in public right-of-way during the construction of off-site improvements. Traffic control devices shall be maintained 24 hours a day 7 days a week as directed by the City Engineer.
122. The Applicant shall submit the signed original Water Quality Management Plan (WQMP) Certification form to verify consistency of the BPMs shown on the as-built grading plans and landscape plans. In case of inconsistency, the Applicant shall revise the WQMP to match the as-built plans.

PLANNING DIVISION (909) 797-2489 EXT. 224

123. Parking and on-site circulation requirements shall be provided for as identified on the approved site plan.
124. All access drives and parking areas shall be surfaced with a minimum of 2 inches of asphalt concrete surfacing, City Road Specification No. 39, which shall be appropriately striped to accommodate safe vehicular circulation.
125. All access drives shall be a minimum of 24 feet wide to facilitate two-way traffic.
126. All parking stalls shall be clearly striped and permanently maintained with double or hairpin lines on the surface of the facility, with the two lines being located an equal nine (9) inches on either side of the stall sidelines; arrows shall be painted on the paving to indicate direction of traffic flow.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)

- **127. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.
- 128. All landscaping and irrigation shown on the approved landscape and irrigation plans and all required walls shall be completed. Trees in the parkway between sidewalk and curb/gutter shall be provided with a linear root barrier. Provide the City with a Certificate of Substantial Completion from the certified professional that prepared the approved landscape and irrigation plans.
- *129. The amenities approved for each unit per Development Code Section 88.0210 (f) shall be installed.
- *130. The entry statement approved for the project per Development Code Section 88.0215(a) shall be completed.

* NON-STANDARD CONDITION(S)

** ENVIRONMENTAL MITIGATIVE MEASURE(S)



FOURTH STREET

AVENUE H

LIMESTONE DRIVE

GRANITE DRIVE

COURT "H"

COURT "G"

COURT "F"

COURT "D"

COURT "B"

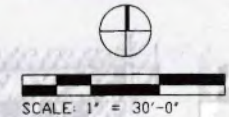
COURT "A"

COURT "I"

COURT "E"

COURT "C"

COURT "J"



PROJECT NO. 22-0241
SHEET TITLE: CONSTRUCTION DETAILS
DATE: 08/09/2022
DRAWN BY: AS/KW
CHECKED BY: [blank]
DATE: [blank]

PLAN REVISION DESCRIPTION

811
Know what's below.
Call 811 before you dig.
REFER TO THE SHEET INDEX ON LIST OF DRAWINGS FOR A COMPLETE LIST OF DRAWINGS

CENTURY COMMUNITIES
STONEBROOK MEADOWS PRODUCTION
AVENUE H & 4TH STREET
YUCAIPA, CALIFORNIA

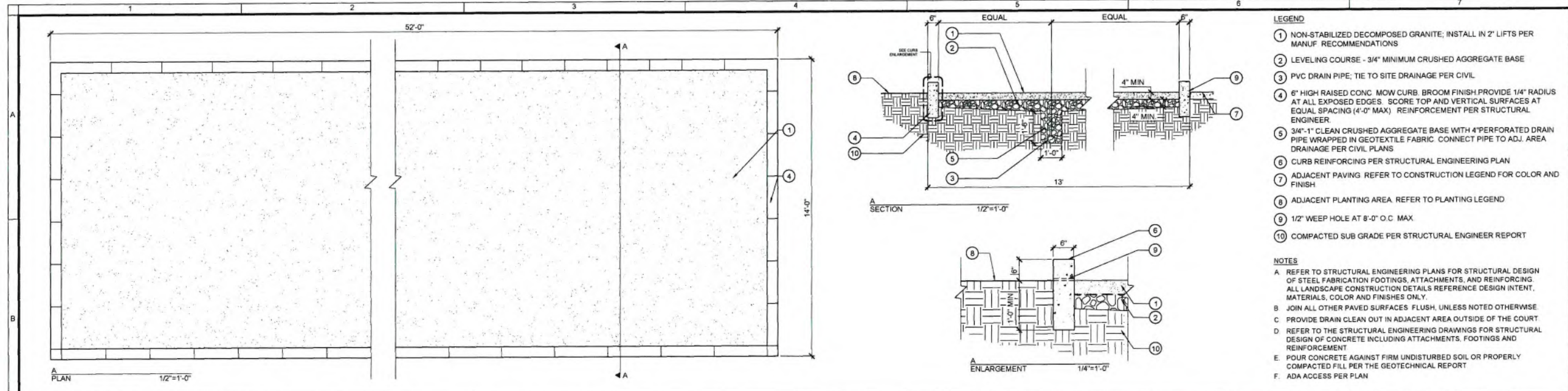
AGENCY SUBMITTAL #4

PLAN SET	ISSUE DATE	PROJECT STATUS LOG
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B	05/13/2022	AGENCY SUBMITTAL #2
C	08/01/2022	AGENCY SUBMITTAL #3
D	08/09/2022	AGENCY SUBMITTAL #4

BVDG JOB NUMBER: 1730871
DRAWN BY: AS/KW
PLAN CHECK NO: 22-0241
SHEET TITLE: CONSTRUCTION DETAILS

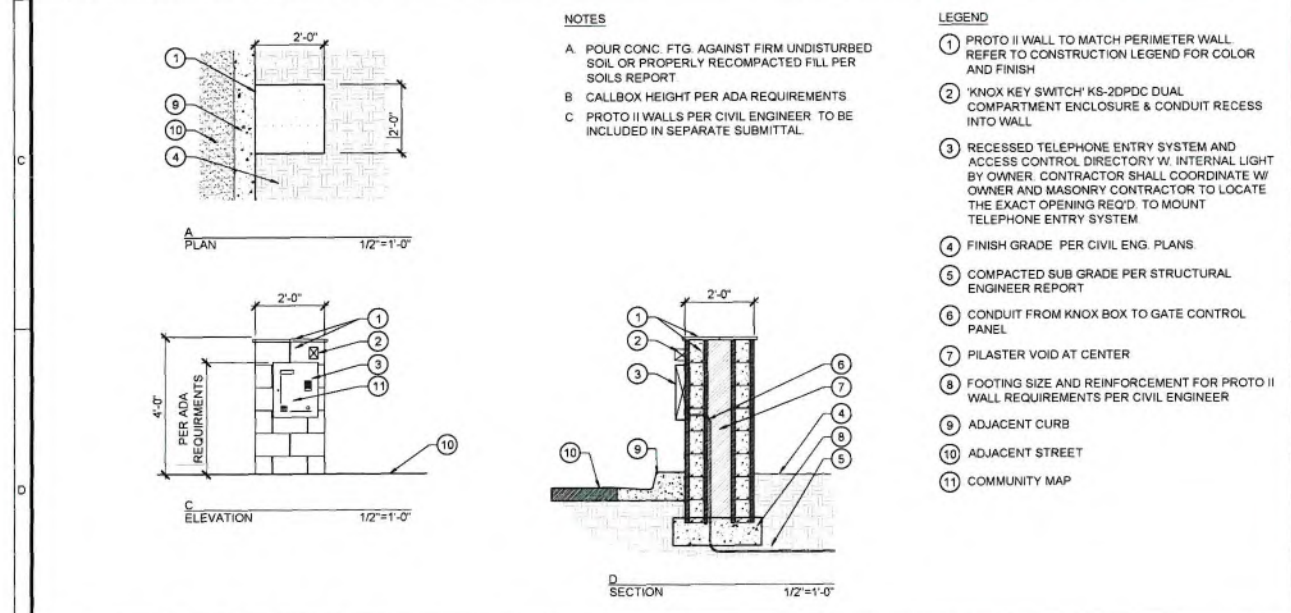
CONSTRUCTION DETAILS

SHEET NUMBER:
L2.402
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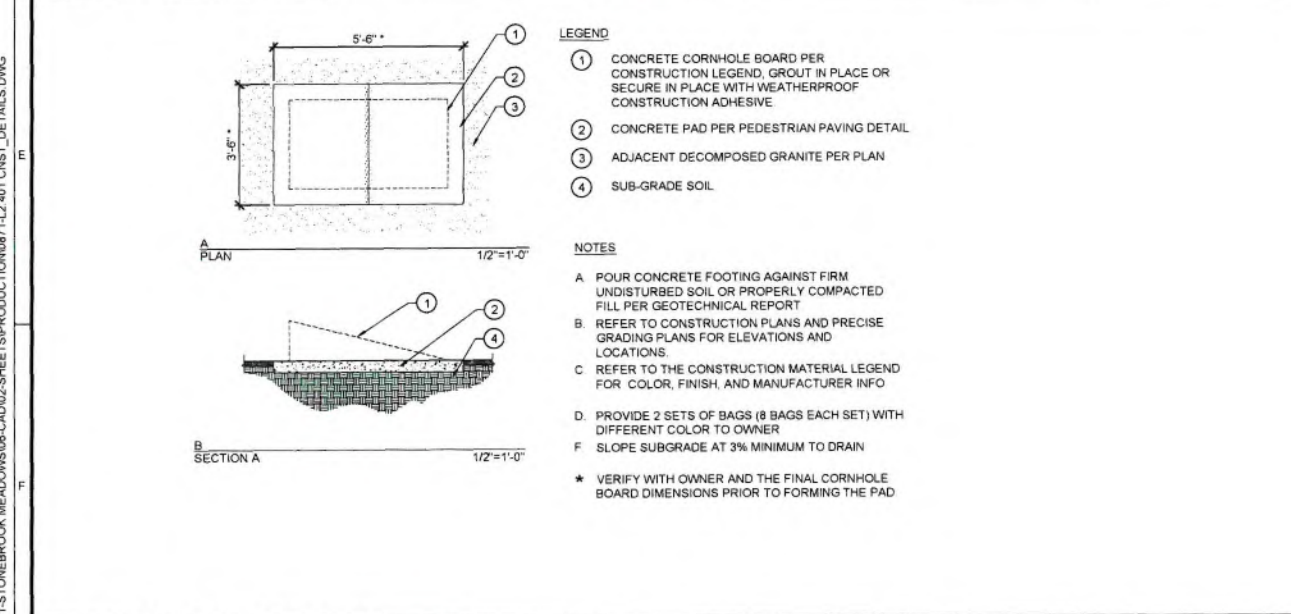
- LEGEND**
- NON-STABILIZED DECOMPOSED GRANITE; INSTALL IN 2' LIFTS PER MANUF. RECOMMENDATIONS
 - LEVELING COURSE - 3/4" MINIMUM CRUSHED AGGREGATE BASE
 - PVC DRAIN PIPE; TIE TO SITE DRAINAGE PER CIVIL
 - 6" HIGH RAISED CONC. MOW CURB. BROOM FINISH. PROVIDE 1/4" RADIUS AT ALL EXPOSED EDGES. SCORE TOP AND VERTICAL SURFACES AT EQUAL SPACING (4'-0" MAX) REINFORCEMENT PER STRUCTURAL ENGINEER
 - 3/4"-1" CLEAN CRUSHED AGGREGATE BASE WITH 4" PERFORATED DRAIN PIPE WRAPPED IN GEOTEXTILE FABRIC. CONNECT PIPE TO ADJ. AREA DRAINAGE PER CIVIL PLANS
 - CURB REINFORCING PER STRUCTURAL ENGINEERING PLAN
 - ADJACENT PAVING. REFER TO CONSTRUCTION LEGEND FOR COLOR AND FINISH
 - ADJACENT PLANTING AREA. REFER TO PLANTING LEGEND
 - 1/2" WEEP HOLE AT 8'-0" O.C. MAX.
 - COMPACTED SUB GRADE PER STRUCTURAL ENGINEER REPORT
- NOTES**
- REFER TO STRUCTURAL ENGINEERING PLANS FOR STRUCTURAL DESIGN OF STEEL FABRICATION FOOTINGS, ATTACHMENTS, AND REINFORCING. ALL LANDSCAPE CONSTRUCTION DETAILS REFERENCE DESIGN INTENT, MATERIALS, COLOR AND FINISHES ONLY.
 - JOIN ALL OTHER PAVED SURFACES FLUSH, UNLESS NOTED OTHERWISE
 - PROVIDE DRAIN CLEAN OUT IN ADJACENT AREA OUTSIDE OF THE COURT
 - REFER TO THE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL DESIGN OF CONCRETE INCLUDING ATTACHMENTS, FOOTINGS AND REINFORCEMENT
 - POUR CONCRETE AGAINST FIRM UNDISTURBED SOIL OR PROPERLY COMPACTED FILL PER THE GEOTECHNICAL REPORT
 - ADA ACCESS PER PLAN

A BOCCE BALL COURT



- LEGEND**
- PROTO II WALL TO MATCH PERIMETER WALL. REFER TO CONSTRUCTION LEGEND FOR COLOR AND FINISH
 - 'KNOX KEY SWITCH' KS-2DPDC DUAL COMPARTMENT ENCLOSURE & CONDUIT RECESS INTO WALL
 - RECESSED TELEPHONE ENTRY SYSTEM AND ACCESS CONTROL DIRECTORY W. INTERNAL LIGHT BY OWNER. CONTRACTOR SHALL COORDINATE W. OWNER AND MASONRY CONTRACTOR TO LOCATE THE EXACT OPENING REQ'D. TO MOUNT TELEPHONE ENTRY SYSTEM
 - FINISH GRADE PER CIVIL ENG. PLANS
 - COMPACTED SUB GRADE PER STRUCTURAL ENGINEER REPORT
 - CONDUIT FROM KNOX BOX TO GATE CONTROL PANEL
 - PILASTER VOID AT CENTER
 - FOOTING SIZE AND REINFORCEMENT FOR PROTO II WALL REQUIREMENTS PER CIVIL ENGINEER
 - ADJACENT CURB
 - ADJACENT STREET
 - COMMUNITY MAP
- LEGEND**
- PROTO II WALL TO MATCH PERIMETER WALL PER SEPERATE PERMIT
 - PIN-ON FABRICATED LETTERS ON STEEL PLATE PER SIGNAGE CONSULTANT (SIGNAGE PACKAGE TO BE PER DEFERRED SUBMITTAL)
 - FOOTING SIZE AND REINFORCEMENT FOR PROTO II WALL REQUIREMENTS PER CIVIL ENGINEER PER SEPERATE PERMIT
 - FINISH GRADE PER CIVIL ENGINEERS PRECISE GRADING PLANS
 - PRECISION CAP REFER TO CONSTRUCTION LEGEND FOR COLOR AND FINISH
 - COMPACTED BASE / SUBGRADE PER GEOTECHNICAL REPORT
 - UPLIGHT. REFER TO ELECTRICAL DRAWING FOR ADDITIONAL INFORMATION
- NOTES**
- REFER TO THE LEGEND FOR COLOR AND FINISH
 - POUR CONCRETE AGAINST FIRM UNDISTURBED SOIL OR PROPERLY COMPACTED FILL PER THE GEOTECHNICAL REPORT
 - REFER TO CIVIL ENGINEER PLANS FOR ALL HORIZONTAL (STAKING) AND VERTICAL CONTROL OF WALL LAYOUT AND LOCATIONS
 - SEPERATE SIGN PERMIT REQUIRED
 - LIGHTING PER ELECTRICAL ENGINEER

B ENTRY CALL BOX



- LEGEND**
- CONCRETE CORNHOLE BOARD PER CONSTRUCTION LEGEND, GROUT IN PLACE OR SECURE IN PLACE WITH WEATHERPROOF CONSTRUCTION ADHESIVE
 - CONCRETE PAD PER PEDESTRIAN PAVING DETAIL
 - ADJACENT DECOMPOSED GRANITE PER PLAN
 - SUB-GRADE SOIL
- NOTES**
- POUR CONCRETE FOOTING AGAINST FIRM UNDISTURBED SOIL OR PROPERLY COMPACTED FILL PER GEOTECHNICAL REPORT
 - REFER TO CONSTRUCTION PLANS AND PRECISE GRADING PLANS FOR ELEVATIONS AND LOCATIONS.
 - REFER TO THE CONSTRUCTION MATERIAL LEGEND FOR COLOR, FINISH, AND MANUFACTURER INFO
 - PROVIDE 2 SETS OF BAGS (8 BAGS EACH SET) WITH DIFFERENT COLOR TO OWNER
 - SLOPE SUBGRADE AT 3% MINIMUM TO DRAIN
- * VERIFY WITH OWNER AND THE FINAL CORNHOLE BOARD DIMENSIONS PRIOR TO FORMING THE PAD

D CORNHOLE COURT

L:\1730871-STONEBROOK MEADOWS\05-CAD\02-SHEETS\PRODUCTION\0871-L2.401-CNST-DETAILS.DWG

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PLAN REVISION DESCRIPTION

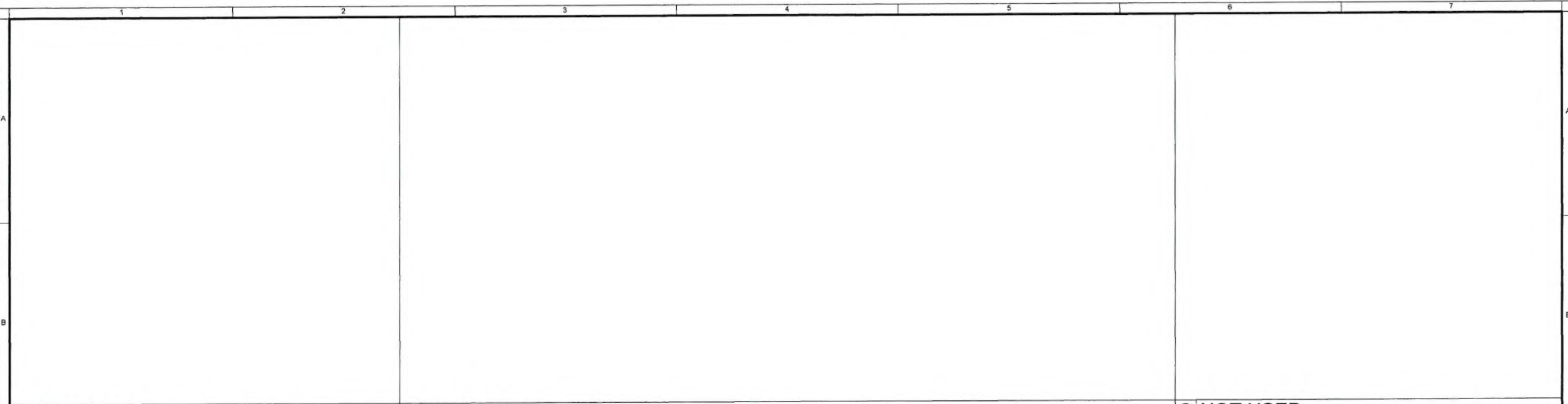
811
Know what's below.
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REFER TO THE SHEET INDEX ON THIS SHEET FOR A COMPLETE LIST OF DRAWINGS.

CENTURY COMMUNITIES
STONEBROOK MEADOWS PRODUCTION
AVENUE H & 4TH STREET
YUCAIPA, CALIFORNIA

PLAN SET	ISSUE DATE	PROJECT STATUS LOG
A	01/17/2022	AGENCY SUBMITTAL #1
B	05/13/2022	AGENCY SUBMITTAL #2
C	08/01/2022	AGENCY SUBMITTAL #3
D	08/09/2022	AGENCY SUBMITTAL #4

BY/CG JOB NUMBER	1730871
DRAWN BY	ASKW
PLAN CHECK NO.	22-0241
SHEET TITLE	CONSTRUCTION DETAILS
SHEET NUMBER	L2.403

AGENCY SUBMITTAL #4



Multideck Tower, Monkey Bars and Desk
NRO1024

KOMPAN
Let's play

* Max fall height | ** Total height | *** Safety surfacing area

thepark AND FACILITIES
CATALOG

Spec Sheet

5 Bike Wave Rack - 2-3/8" Heavy-Duty
543-1002

D TOT LOT PLAY EQUIPMENT MULTIDECK TOWER

Spinner Bowl
ELE400024

KOMPAN
Let's play

* Max fall height | ** Total height | *** Safety surfacing area

E BIKE RACK

Music Play Panel 1
NRO612

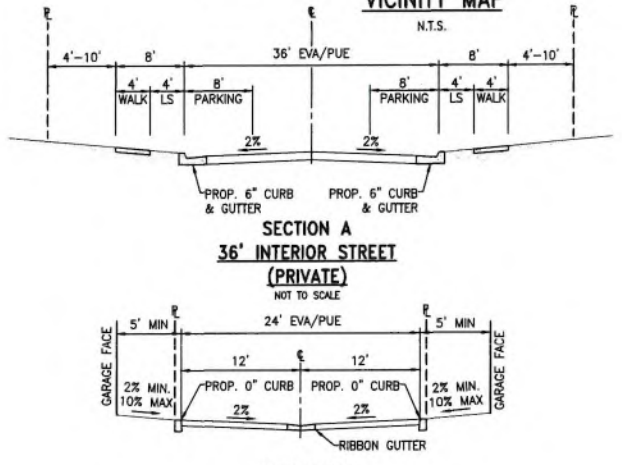
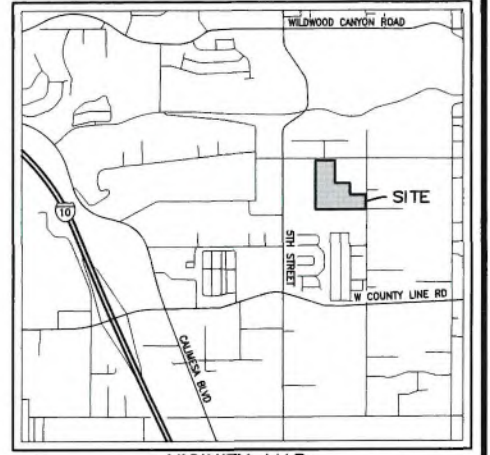
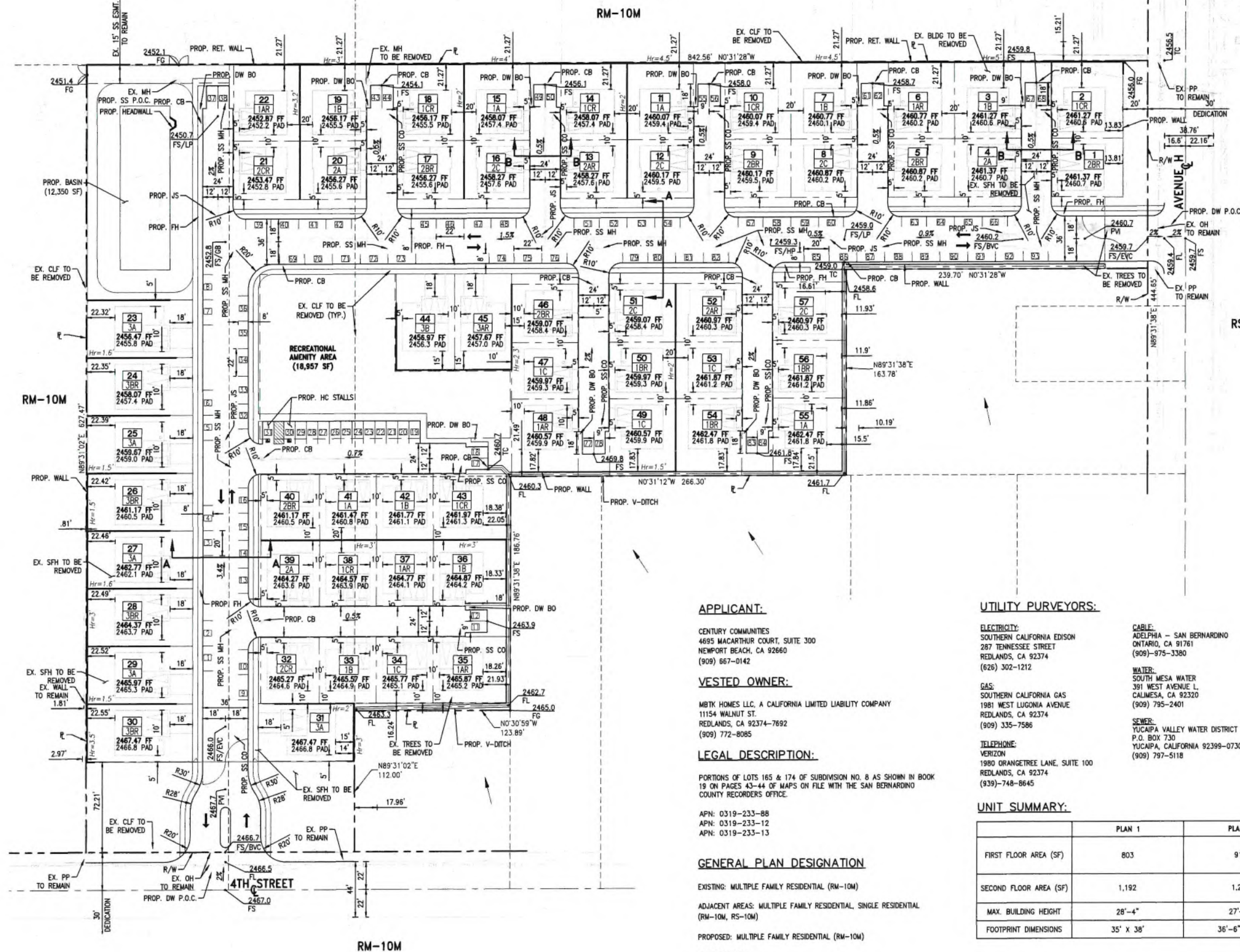
KOMPAN
Let's play

* Max fall height | ** Total height | *** Safety surfacing area

F SPINNER BOWL

G MUSIC PLAY PANEL

L:\1730871-STONEBROOK MEADOWS\06-CAD\02-SHEETS\PRODUCTION\0871-L2.401-CNST-DETAILS.DWG



APPLICANT:

CENTURY COMMUNITIES
4695 MACARTHUR COURT, SUITE 300
NEWPORT BEACH, CA 92660
(909) 867-0142

VESTED OWNER:

MBX HOMES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
1154 WALNUT ST.
REDLANDS, CA 92374-7692
(909) 772-8085

LEGAL DESCRIPTION:

PORTIONS OF LOTS 165 & 174 OF SUBDIVISION NO. 8 AS SHOWN IN BOOK 19 ON PAGES 43-44 OF MAPS ON FILE WITH THE SAN BERNARDINO COUNTY RECORDERS OFFICE.

APN: 0319-233-88
APN: 0319-233-12
APN: 0319-233-13

GENERAL PLAN DESIGNATION

EXISTING: MULTIPLE FAMILY RESIDENTIAL (RM-10M)
ADJACENT AREAS: MULTIPLE FAMILY RESIDENTIAL, SINGLE RESIDENTIAL (RM-10M, RS-10M)
PROPOSED: MULTIPLE FAMILY RESIDENTIAL (RM-10M)

ADDRESS:

34419-34443 AVENUE H
13508-13530 4TH STREET
YUCAIPA, CA 92399

NOTES:

- ASSUMED 6" DIFFERENCE BETWEEN PAD AND FINISHED FLOOR ELEVATIONS - CONTRACTOR TO CONFIRM PRIOR TO CONSTRUCTION.
- SIGNAGE WILL BE SUBMITTED AT A LATER DATE.
- NO PROTECTED OR NATIVE TREES EXIST ON SITE.
- ALL NEW IN TRACT FACILITIES TO BE UNDERGROUND.

UTILITY PURVEYORS:

ELECTRICITY:
SOUTHERN CALIFORNIA EDISON
287 TENNESSEE STREET
REDLANDS, CA 92374
(626) 302-1212

GAS:
SOUTHERN CALIFORNIA GAS
1981 WEST LUCONIA AVENUE
REDLANDS, CA 92374
(909) 335-7586

TELEPHONE:
VERIZON
1980 ORANGETREE LANE, SUITE 100
REDLANDS, CA 92374
(939)-748-8645

CABLE:
ADELPHIA - SAN BERNARDINO
ONTARIO, CA 91761
(909)-975-3380

WATER:
SOUTH MESA WATER
391 WEST AVENUE L,
CALMESA, CA 92320
(909) 795-2401

SEWER:
YUCAIPA VALLEY WATER DISTRICT
P.O. BOX 730
YUCAIPA, CALIFORNIA 92399-0730
(909) 797-5118

PARKING SUMMARY:

SINGLE FAMILY DETACHED CONDOMINIUMS
3 BED UNITS: 28 X 3 = 84 SPACES
4+ BED UNITS: 29 X 4 = 116 SPACES
GUEST PARKING: 57 X 0.5 = 29 SPACES
TOTAL REQUIRED: 229 SPACES

PARKING PROVIDED
PRIVATE GARAGES: 114 SPACES
DRIVEWAYS: 22 SPACES
OPEN PARKING: 93 SPACES
TOTAL: 229 SPACES (4.02/UNIT)

COVERAGE AREAS:

BUILDING: 76,296 SF (23.5%)
PAVING: 95,222 SF (29.4%)
LANDSCAPING & OPEN SPACE: 152,873 SF (47.1%)

STATISTICAL SUMMARY

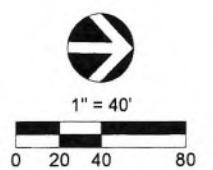
TOTAL AREA (GROSS): 7,707 AC
TOTAL AREA (NET): 7,447 AC
TOTAL DWELLING UNITS: 57
NET UNIT DENSITY: 7.7 DU/AC

PROPOSED PROJECT:

THE PROJECT WILL CONSIST OF THE CONSTRUCTION OF 57 SINGLE FAMILY RESIDENTIAL HOMES WITH PRIVATE GARAGES, DRIVE AISLES, SIDEWALKS, COMMON LANDSCAPED AREAS, AND A STORM DRAIN BASIN.

UNIT SUMMARY:

	PLAN 1	PLAN 2	PLAN 3
FIRST FLOOR AREA (SF)	803	919	1,050
SECOND FLOOR AREA (SF)	1,192	1,291	1,442
MAX. BUILDING HEIGHT	28'-4"	27'-9"	28'-0"
FOOTPRINT DIMENSIONS	35' X 38'	36'-6" X 38'	36' X 43'-6"



PREPARED BY:
C&V
CONSULTING, INC.
CIVIL ENGINEERING
LAND PLANNING & SURVEYING

9830 IRVINE CENTER DRIVE
IRVINE, CALIFORNIA 92618
(949) 918-3800
INFO@CVC-INC.NET
WWW.CVC-INC.NET

TENTATIVE TRACT 18167
CUP SITE PLAN
4TH STREET & AVENUE H
CITY OF YUCAIPA

SHEET
1
OF
1



Architecture + Planning
 17911 Von Karman Ave.
 Suite 200
 Irvine, CA 92614
 ktgy.com
 949.851.2133

KTGY Project No: 20210022

Project Contact: Craig Russell
Email: crussell@ktgy.com

Principal: Chris Texter
Project Designer: Bryan Sevy
Project Director: Brad Golba

Developer



CENTURY COMMUNITIES
 4695 MACARTHUR COURT, SUITE 3
 NEWPORT BEACH, 92660
 PHONE NUMBER : (909) 667-0142

STONEBROOK MEADOWS
 YUCAIPA, CA

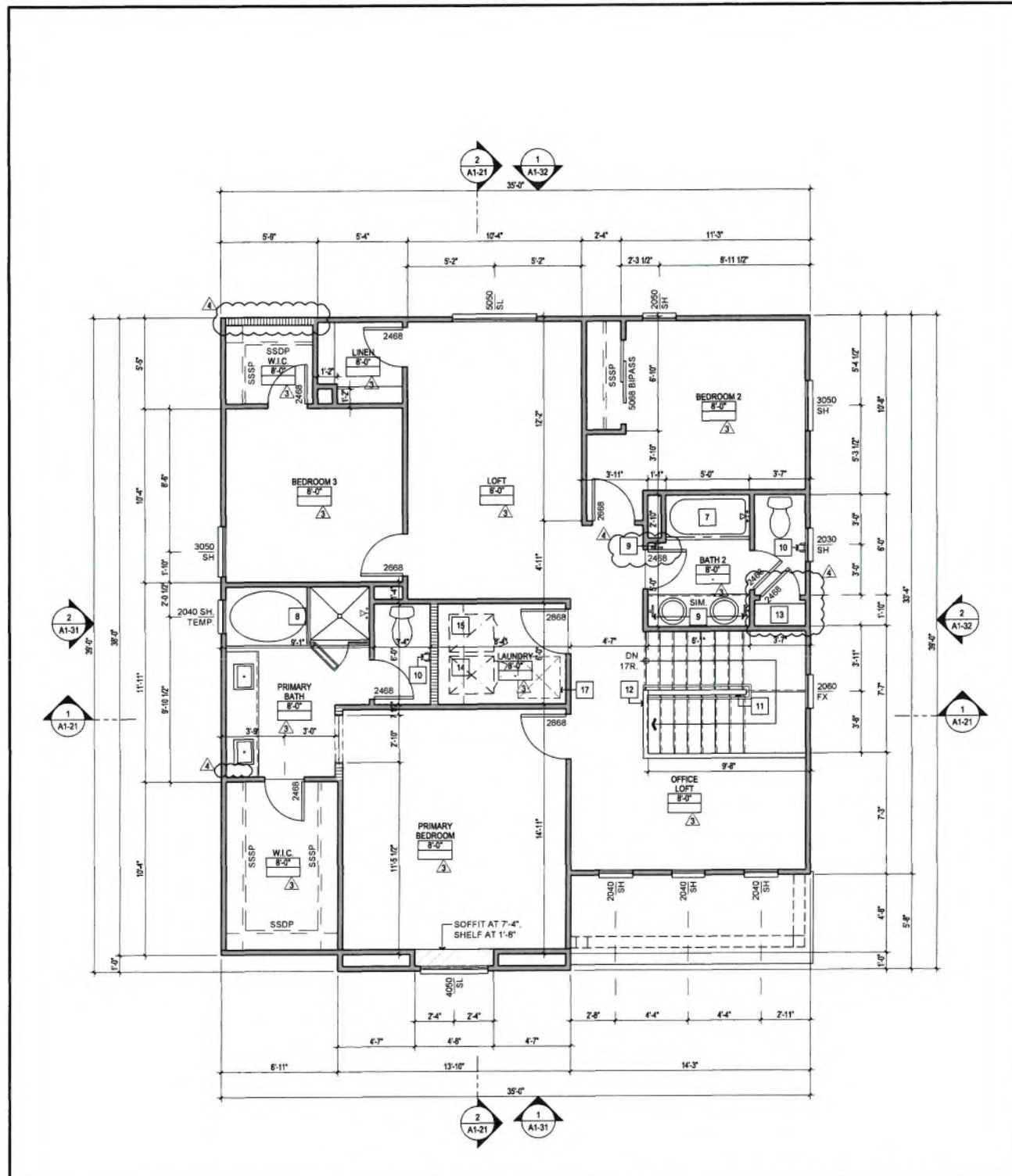
No.	Date	Description
	12/01/21	B.D. SUBMITTAL
	02/02/22	B.D. RESUBMITTAL
	04/06/22	F.D. RESUBMITTAL
	05/02/22	OWNER REVISIONS
	08/02/22	OWNER REVISIONS
	09/26/22	OWNER REVISIONS

It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed errors or omissions in the plans and specifications, of which a contractor through any knowledge with the building codes and methods of construction should reasonably be aware. Written notification identifying such proposed errors or omissions shall be received from the architect prior to the client or client's subcontractor proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

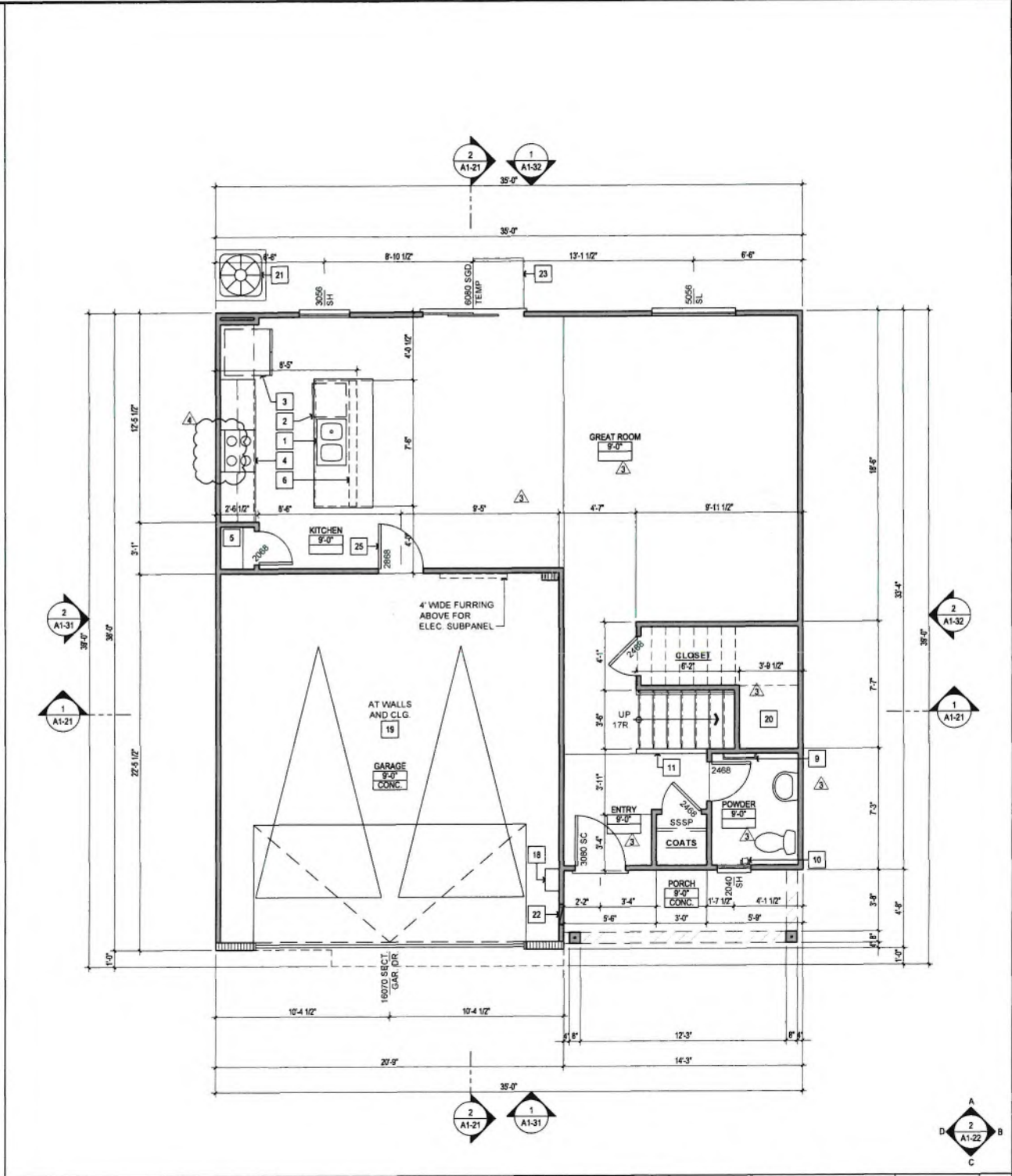


PLAN 1A FARMHOUSE - FLOOR PLANS

A1-11



SECOND FLOOR PLAN SCALE: 1/4"=1'-0" **2**

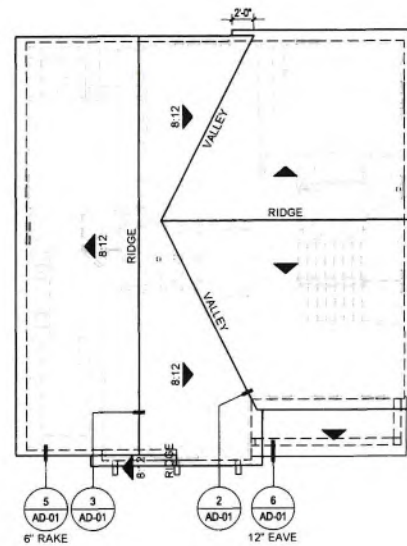


FIRST FLOOR PLAN SCALE: 1/4"=1'-0" **1**

- KEYNOTES**
- DOUBLE SINK WITH GARBAGE DISPOSAL
 - DISHWASHER (24" WIDE x 24" DEEP W/ AIR GAP) VERIFY DIMENSIONS WITH MANUFACTURER.
 - 30" CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE-MAKER) W/ PRE-PLUMB REVERSE OSMOSIS
 - 30" GAS SLIDE-IN RANGE W/ LIGHT AND FAN AND MICROWAVE ABOVE.
 - PANTRY: W/ (5) SHELVES, U.N.O.
 - PROVIDE 2x6 MIN. STUD WALL BELOW COUNTERTOP
 - 32" x 60" 1-PIECE TUB/SHOWER W/ 6"-0" (MIN.) 3-SIDED TILE SURROUND W/ TEMPERED GLASS ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC
 - 42" x 102" 1-PIECE TUB/SHOWER SLUICE W/ 3-SIDED TILE SURROUND W/ TEMPERED GLASS ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC
 - TOILET PAPER HOLDER (WITH 2x FLAT BLOCKING AT +24" A.F.F. AT FRAMED LOCATIONS). SEE OWNER SPECS.
 - INTERIOR STAIR RISE WALL AT +42" A.F.F.
 - INTERIOR GUARDWALL AT +42" A.F.F.
 - LINEN CLOSET: W/ (5) SHELVES, U.N.O.
 - WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. (RECESSED BOX IN GARAGE FIREWALL SHALL BE METAL) SMITTY PAN W/ DRAIN @ 2ND FLOOR.
 - DRYER SPACE: PROVIDE SMOOTH METAL DRYER VENT DUCT TO OUTSIDE WITH BACKDRAFT DAMPER PER CMC SEC. 504.4, SEC 502.2.1, SEC 504.4.2, AND SEC 504.4.2.1. 4" DIA 14" MAX. LENGTH WITH 2 ELBOWS MAX. PROVIDE RECESSED DRYER VENT BOX - VERIFY LOCATION AND TYPE OF RECESS WITH BUILDER AND ENGINEER. (DRYER TO OCCUR AT RIGHT SIDE OF WASHER, TYP.)
 - FAU IN ATTIC PER CMC 804.10. PROVIDE LIGHT, POWER, GAS, AND ACCESS. UPRIGHT AND HORIZONTAL FURNACES SHALL BE PERMITTED TO BE INSTALLED IN ATTIC PROVIDED THE REQUIRED LISTINGS AND CLEARANCES ARE OBSERVED. PROVIDE CONDENSATE DRAIN LINE TO OUTSIDE & VENT TO OUTSIDE PER CMC CHAPTER 8. COMBUSTION AIR PER CMC CHAPTER 7. PROVIDE ADDITIONAL GALV. METAL PAN WITH SECONDARY CONDENSATE DRAIN LINE TO OUTSIDE PER CMC 310.2 VERIFY WITH MECHANICAL FOR LOCATION
 - 30" x 30" ATTIC ACCESS MIN. WITH 30" MIN CLEAR HEADROOM PROVIDED FAU MAY PASS THROUGH PER THE CRC. PROVIDE SWITCH LIGHT, 110 V OUTLET AND 24" PLATFORM TO FAU. PROVIDE A VINYL FOAM WEATHER-SEAL TO COMPLY W/ IECC
 - TANKLESS WATER HEATER PER BUILDER'S SPECIFICATIONS. INSTALL PER MANUFACTURER'S SPECIFICATIONS
 - SEPARATION REQUIRED - PER CRC R302.6 THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE 702.2.5
 - 1/2" GYP. BOARD @ WALLS & CEILING AT ENCLOSED SPACE UNDER STAIRS ACCESSED BY A DOOR PER THE CRC
 - AC CONDENSER ON CONCRETE PAD (VERIFY SIZE AND LOCATION) PROVIDE 220 WATERPROOF DISCONNECT AND, WITHIN 25' ADJACENT 110V WATERPROOF OUTLET.
 - PROVIDE HIGH/LOW MAKE-UP AIR VENTS FOR GAS FIRED APPLIANCES AT GARAGE PER THE CMC
 - 48" (OR 36" AT 6'-0" SGD) x 36" MIN. CONC. STOOP
 - 32" x 60" 1-PIECE SHOWER PAN W/ 6"-0" (MIN.) 3-SIDED TILE SURROUND W/ TEMPERED GLASS SHOWER ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER THE CPC
 - 1-3/8" SOLID WOOD DOOR, SELF CLOSING, SELF LATCHING.

- NOTES**
- REFER TO INTERIOR ELEVATIONS FOR KITCHEN, BATH AND SERVICE ROOM FINISHES.
 - ALL GLAZING SHALL COMPLY WITH THE CALIFORNIA RESIDENTIAL CODE AND LOCAL ORDINANCES, REFER TO THE ENERGY CODE COMPLIANCE REPORT FOR U-VALUE OF ALL GLAZING.
 - REFER TO GENERAL NOTE SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS
 - ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
 - CEILING AND SOFFIT HEIGHTS INDICATED ON PLANS ARE NOMINAL DIMENSIONS CEILING HEIGHTS NOTED AS 7'-0" WILL HAVE A ROUGH FRAMED HEIGHT OF 7'-1". 7'-0" CLEAR FINISHED OPENING IS REQUIRED PER THE CALIFORNIA RESIDENTIAL CODE
 - EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 6.7 SQ. FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES. IT SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
 - VENTING SYSTEMS SHALL TERMINATE AT LEAST (4) FEET FROM A PROPERTY LINE PER THE CMC
 - SEE ENERGY CODE COMPLIANCE REPORT FOR INSULATION VALUES.
 - EXCEPT WHERE OTHERWISE NOTED IN THE CRC ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.
 - 2x4 STUDS AT 16" O.C. U.N.O.
 - INTERIOR SOFFIT AT 8'-0" (7'-0" AT 2ND FLR) TYPICAL HEIGHT U.N.O.
 - IN AREAS WHERE EXPANSIVE OR COLLAPSIBLE SOILS ARE KNOWN TO EXIST, ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DRAINAGE FROM THE ROOFS TO GROUND SURFACE. AT LEAST 5 FEET FROM FOUNDATION WALLS TO AN APPROVED DRAINAGE SYSTEM PER THE CRC.
 - FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1298, C 1325, C 1178 OR C 1278, RESPECTIVELY, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. PER THE CRC.
 - A 10 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE PREPARED SUBGRADE PER CRC R508.2.3. WHEN A VAPOR RETARDER IS REQUIRED, A CAPILLARY BREAK SHOULD BE INSTALLED PER CGSBC 4.505.2.1.
- BUILDING DEPARTMENT NOTES**
- THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM STREET FRONTING THE PROPERTY. MUST BE ILLUMINATED.

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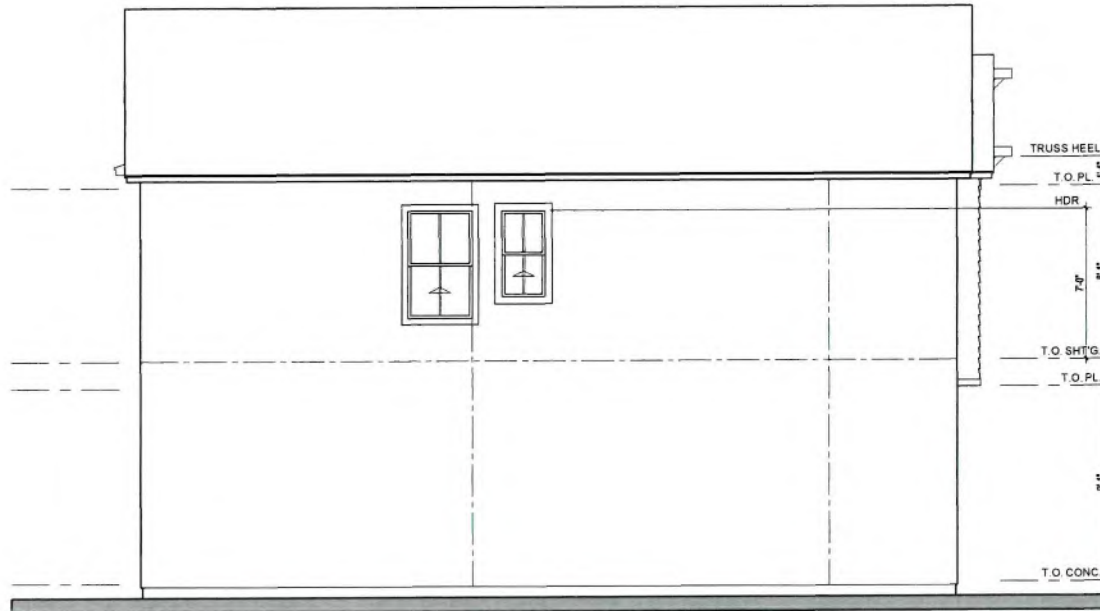
ROOF PLAN SCALE: 1/8"=1'-0" 3

ROOF PLAN NOTES

- ATTIC ACCESS: IN 'CALIFORNIA' DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER CRC R807.1, ATTIC ACCESS OPENING TO ATTIC AREAS REQUIRED IN AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SF. THE ROUGH FRAMED OPENING SHALL BE NOT LESS THAN 22" BY 30" IF 'CALIFORNIA' DOUBLE FRAME AREA HAS MORE THAN 30' HEADROOM PROVIDE A 22" BY 30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIP OR RIDGES.
- FOR TYPICAL ROOF DETAILS, SEE DETAILS ON SHEET AD-01 & AD-01A.
- RADIANT BARRIER: WHEN REQUIRED BY ENERGY COMPLIANCE, RADIANT BARRIER ROOF SHEATHING SHALL OCCUR AT ALL SURFACES EXPOSED TO THE ATTIC INCLUDING ALL VERTICAL SURFACES, GABLE ENDS AND TRUSS HEELS.
- ROOF PITCH IS 4:12 TYP. U.N.O.

ATTIC VENTILATION NOTES

- UNVENTED ATTICS: PER CRC SEC. R806.5 UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND STRUCTURAL ROOF SHEATHING APPLIED DIRECTLY TO THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS SHALL BE PERMITTED WHERE CONDITIONS 1-5 OF R806.5 ARE MET.



LEFT ELEVATION SCALE: 1/4"=1'-0" 2



FRONT ELEVATION SCALE: 1/4"=1'-0" 1

ELEVATION KEYNOTES

- 1A ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - S-TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS, VERIFY W/ COLOR SCHEME
- 1B ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - FLAT TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS, VERIFY W/ COLOR SCHEME
- 2A EXTERIOR WALL: "1-COAT" EXTERIOR STUCCO SYSTEM BY 'OMEGA DIAMOND WALL' ICC-ES REPORT ESR-1194 OR APPROVED EQUAL. OVER MINIMUM GRADE 'D' BLDG. PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 2B EXTERIOR WALL: LAP SIDING FIBER CEMENT CEDAR GRAIN (SMOOTH) FINISH, 8' EXPOSURE U.N.O. BLIND NAILED OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 2C EXTERIOR WALL: VERTICAL FIBER CEMENT PANELS, CEDAR GRAIN (SMOOTH) FINISH W/ 4/4 x 2-1/2" FIBER CEMENT BATTENS AT 16" O.C. OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 3A TRIM: E.P.S. FOAM TRIM WITH EXTERIOR PLASTER OVER. REFER TO EXT. ELEV. AND DETAILS FOR SIZES AND SHAPES. OMIT JAMB TRIM WHEN SHUTTER OCCURS
- 3B TRIM: WINDOWS AND DOORS - 5/4x3-1/2" FIBER CEMENT TRIM, CEDAR GRAIN (SMOOTH) FINISH AT HEAD, JAMB AND SILL. OMIT JAMB TRIM WHEN SHUTTER OCCURS. SEE DETAILS
- 3C TRIM: CORNER (LAP SIDING) MITER TRANSITION - MTL. SIDING CORNER BY SIMPLICITY TOOL (199 SERIES) OR APPROVED EQUAL. INSTALL PER MANUF.'S. INSTRUCTIONS
- 3D TRIM: SHAPED E.P.S. FOAM (EXTENDED SILL) WITH EXTERIOR PLASTER OVER. SEE DETAIL 6/AD-05
- 4 FASCIA/BARGE: 2x4 WOOD FASCIA / 2x6 BARGE BOARD PREPRIMED
- 5 GARAGE DOOR: OVERHEAD STEEL SECTIONAL GARAGE DOOR STYLE (AND LITES AT 'A' ELEV. ONLY) AS SHOWN
- 6 ADDRESS NUMBERS: APPROVED ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. BE ARABIC OR ALPHABETICAL LETTERS MINIMUM 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
- 7A SHUTTERS: WOOD COMPOSITE SHUTTERS. SEE EXT. ELEVATIONS FOR SIZE
- 7B SHUTTERS: MANUFACTURED FOAM SHUTTER. SEE EXT. ELEVATION FOR SIZE
- 8A GABLE END VENT: 8"x28" GALV METAL LOUVERED VENT WITH 1/4" MAX GALV METAL MESH SCREEN (BEHIND)
- 8B GABLE END ACCENT: DECORATIVE FOAM (W/ STUCCO O) GROUP - SEE EXT. ELEVATIONS AND DETAIL 6/AD-05 & 6/AD-05
- 8C GABLE END ACCENT: WOOD OUTLOOKER, KICKER, AND LEDGER. SEE DETAIL 7/AD-01 FOR TYPE AND SIZE
- 9 CORBEL, FOAM. SEE DETAIL 12/AD-05

ELEVATION NOTES

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- ALL HORIZONTAL SURFACES WILL RECEIVE BUILDING PAPER OVER HEAT RESISTANT SELF ADHERING, SELF SEALING FLASHING WEATHER BOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
- ALL STUD WALLS & CEILINGS EXTENDING INTO A SOFFIT WILL BE PREBOARDED WITH GYP-BD PRIOR TO SOFFIT INSTALLATION
- DUCT TERMINATIONS TO OCCUR PER APPLIANCE MANUFACTURERS REQUIREMENTS VERIFY DISTANCE FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT.
- HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER: LOCATE WHERE INDICATED ON ELEV. INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS AND NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCE BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1. HORIZONTAL JOINTS SHALL WRAP OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 4/AD-05



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KTGY Project No: 20210022

Project Contact: Craig Russell
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Principal: Chris Texter
Project Designer: Bryan Sevy
Project Director: Brad Golba

Developer



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PHONE NUMBER : (909) 667-0142

STONEBROOK
MEADOWS
YUCAIPA, CA

No.	Date	Description
	12/01/21	B.D. SUBMITTAL
	02/02/22	B.D. RESUBMITTAL
	04/06/22	F.D. RESUBMITTAL
	05/02/22	OWNER REVISIONS
	08/02/22	OWNER REVISIONS
	09/26/22	OWNER REVISIONS

It is the client's responsibility prior to or during construction to notify the architect in writing of any pertinent errors or omissions in the plans and specifications of which a contractor, through diligent knowledge of the building codes and materials of construction should be aware. When instructions are given by the architect or other professional, the contractor shall be responsible for the results of such instructions. The architect shall not be responsible for any defects in construction if the instructions are not followed.



PLAN 1A FARMHOUSE -
EXTERIOR
ELEVATIONS AND
ROOF PLAN

A1-31



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**PLAN 1A FARMHOUSE -
 EXTERIOR
 ELEVATIONS**

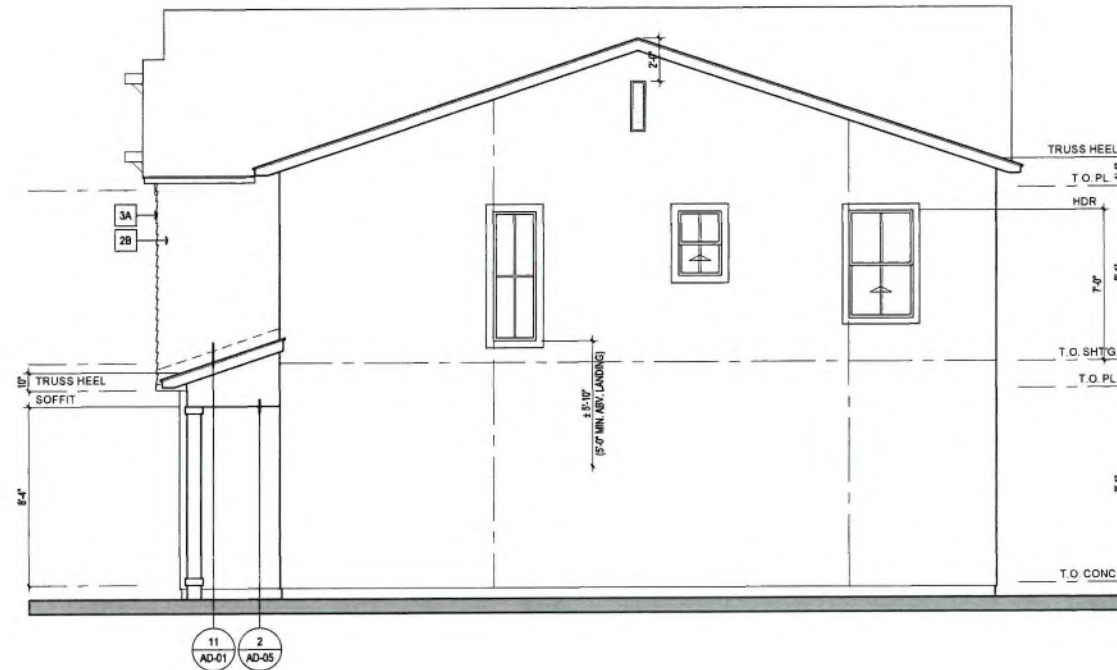
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ELEVATION KEYNOTES

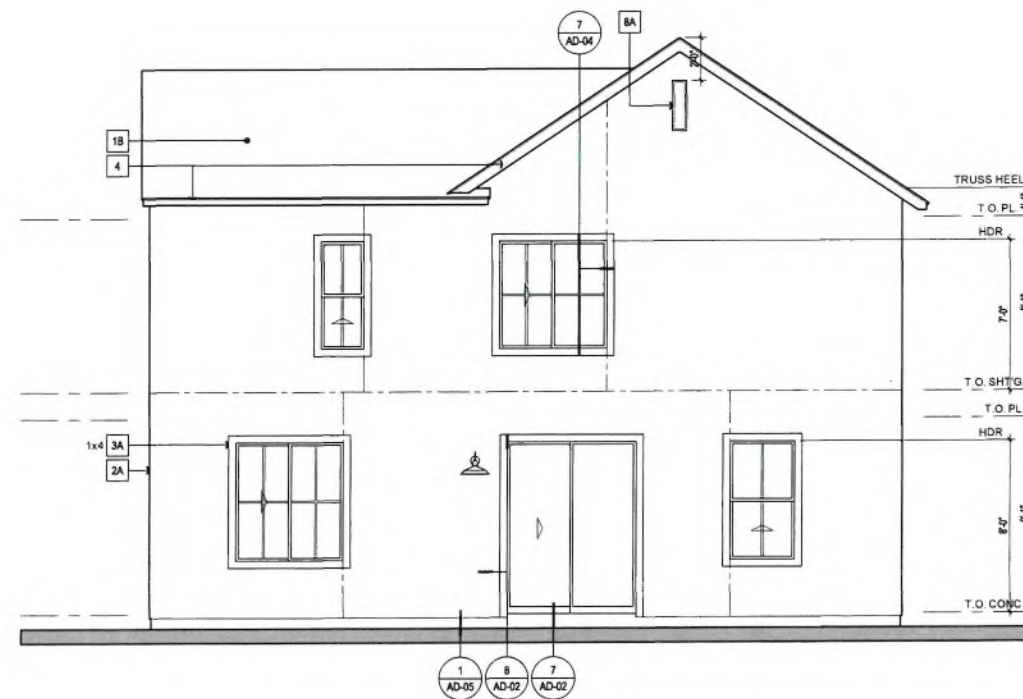
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- 8B GABLE END ACCENT: DECORATIVE FOAM (W/ STUCCO O) GROUP - SEE EXT. ELEVATIONS AND DETAIL 8/AD-05 & 8/AD-05
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ELEVATION NOTES

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RIGHT ELEVATION SCALE: 1/4"=1'-0" **2**



REAR ELEVATION SCALE: 1/4"=1'-0" **1**



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STONEBROOK MEADOWS
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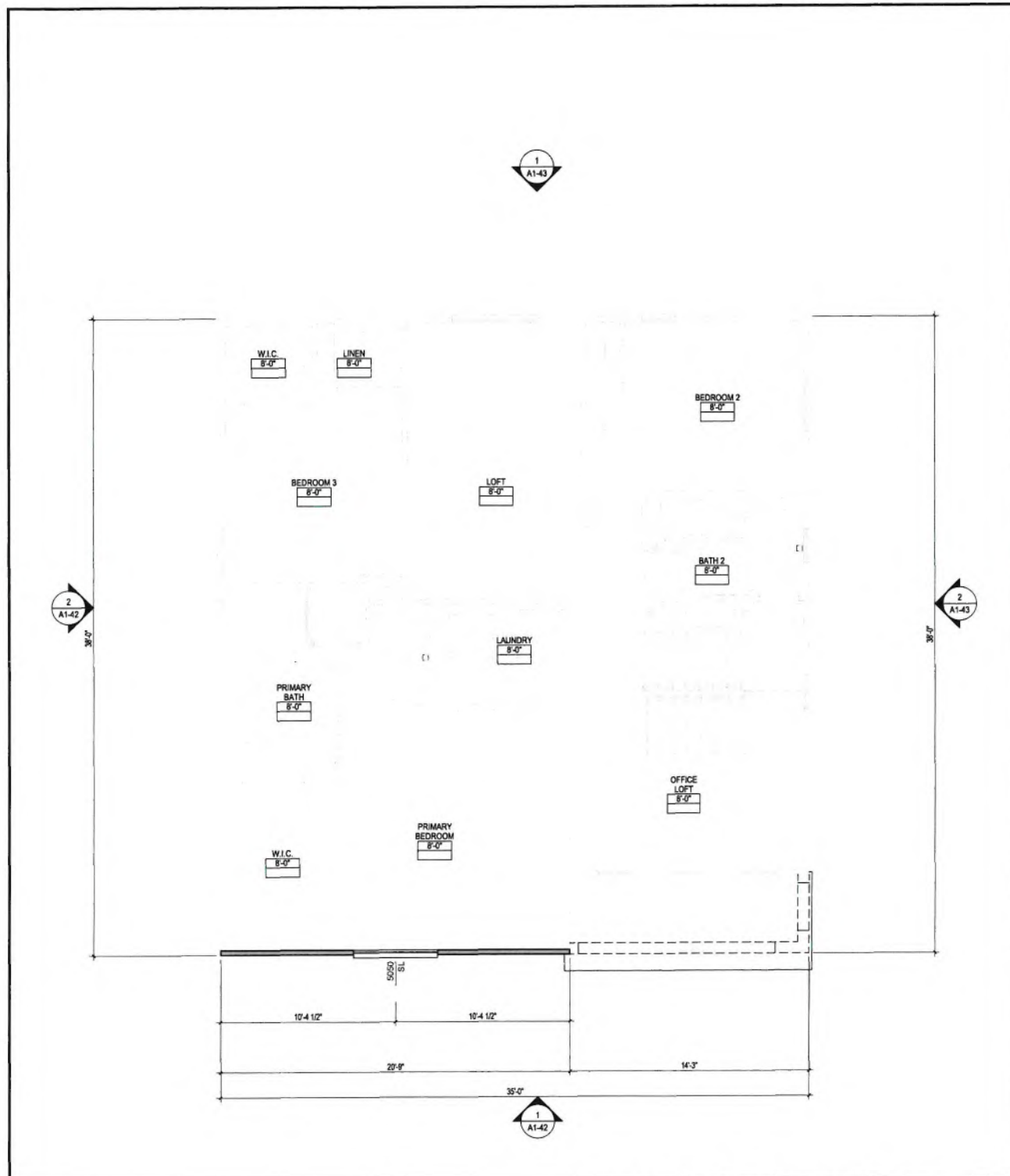
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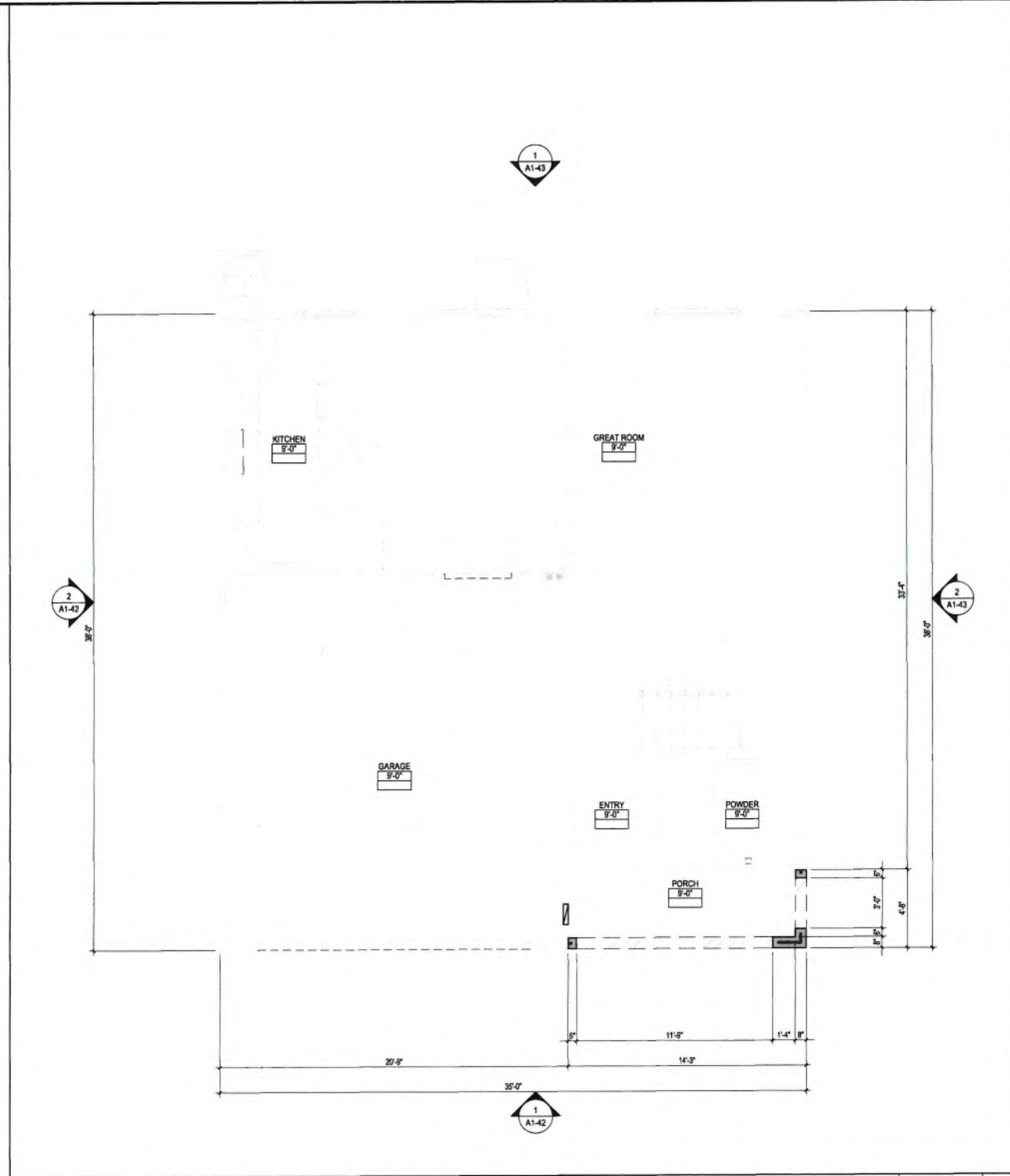


PLAN 1B ITALIAN - FLOOR PLANS

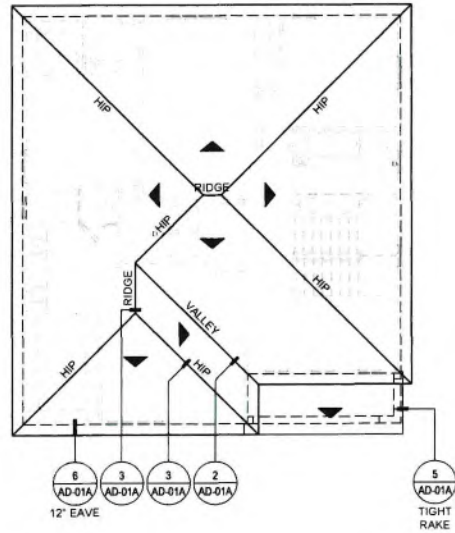
A1-41



SECOND FLOOR PLAN SCALE: 1/4"=1'-0" 2



FIRST FLOOR PLAN SCALE: 1/4"=1'-0" 1



ROOF PLAN SCALE: 1/8"=1'-0"

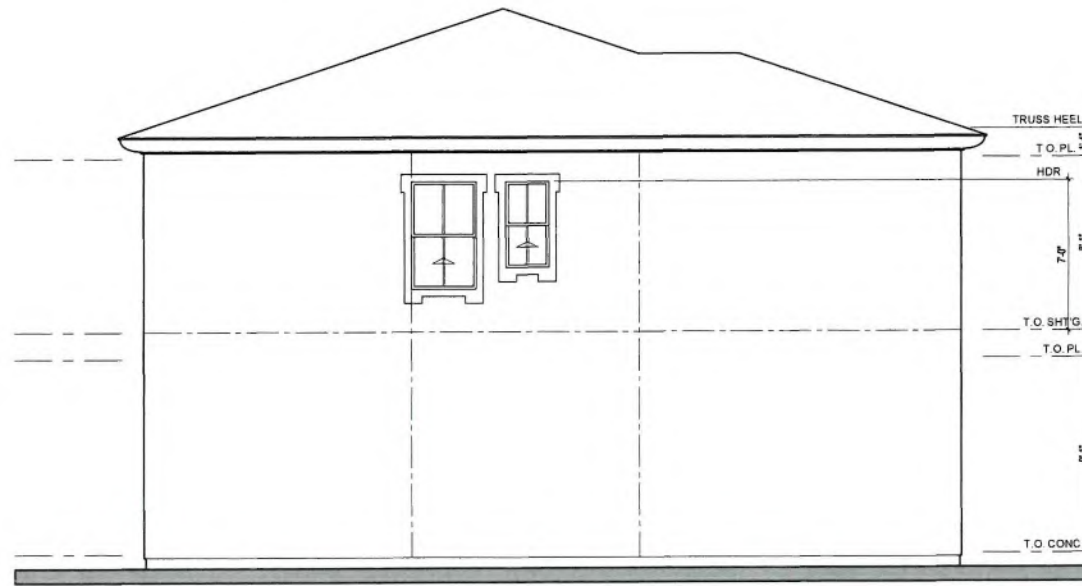
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ROOF PLAN NOTES

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LEFT ELEVATION SCALE: 1/4"=1'-0"

2



FRONT ELEVATION SCALE: 1/4"=1'-0"

1

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- EXTERIOR WALL: VERTICAL FIBER CEMENT PANELS. CEDAR GRAIN (SMOOTH) FINISH W/ 4/4 x 2-1/2" FIBER CEMENT BATTENS AT 16" O.C. OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS.
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- TRIM: CORNER (LAP SIDING) MITER TRANSITION - MTL. SIDING CORNER BY SIMPLICITY TOOL (199 SERIES) OR APPROVED EQUAL. INSTALL PER MANUF.'S INSTRUCTIONS.
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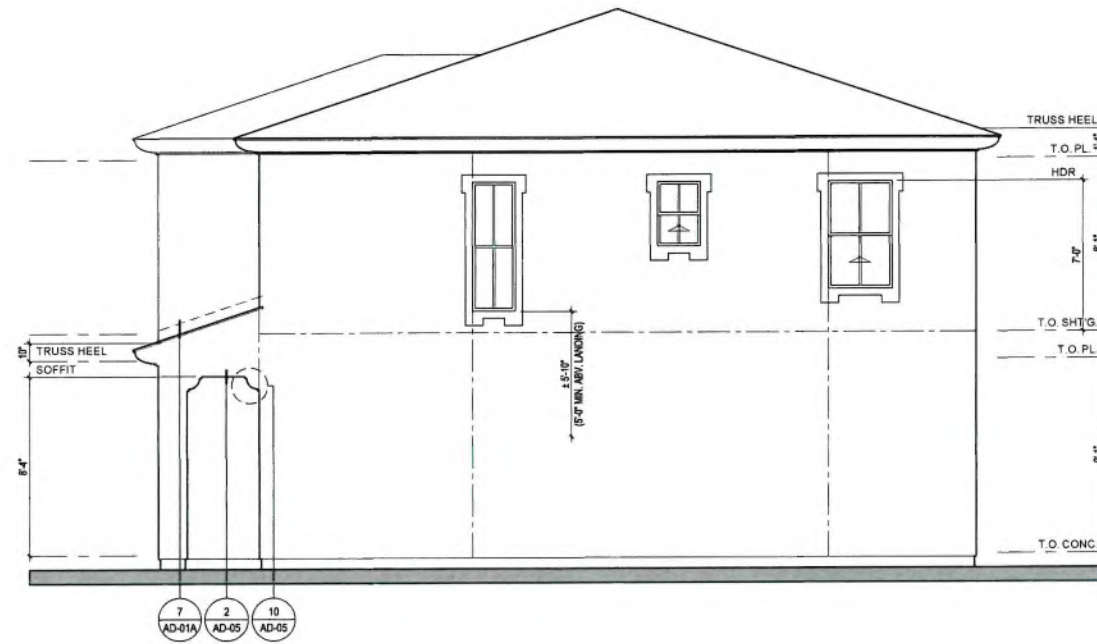
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PLAN 1B ITALIAN -
EXTERIOR
ELEVATIONS AND
ROOF PLAN

A1-42



RIGHT ELEVATION SCALE: 1/4"=1'-0" 2



REAR ELEVATION SCALE: 1/4"=1'-0" 1

ELEVATION KEYNOTES

- 1A ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - S-TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS. VERIFY W/ COLOR SCHEME
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- 2C EXTERIOR WALL: VERTICAL FIBER CEMENT PANELS CEDAR GRAIN (SMOOTH) FINISH W/ 4/4 x 2-1/2" FIBER CEMENT BATTENS AT 16" O.C. OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS
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Developer



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PLAN 1B ITALIAN -
EXTERIOR
ELEVATIONS



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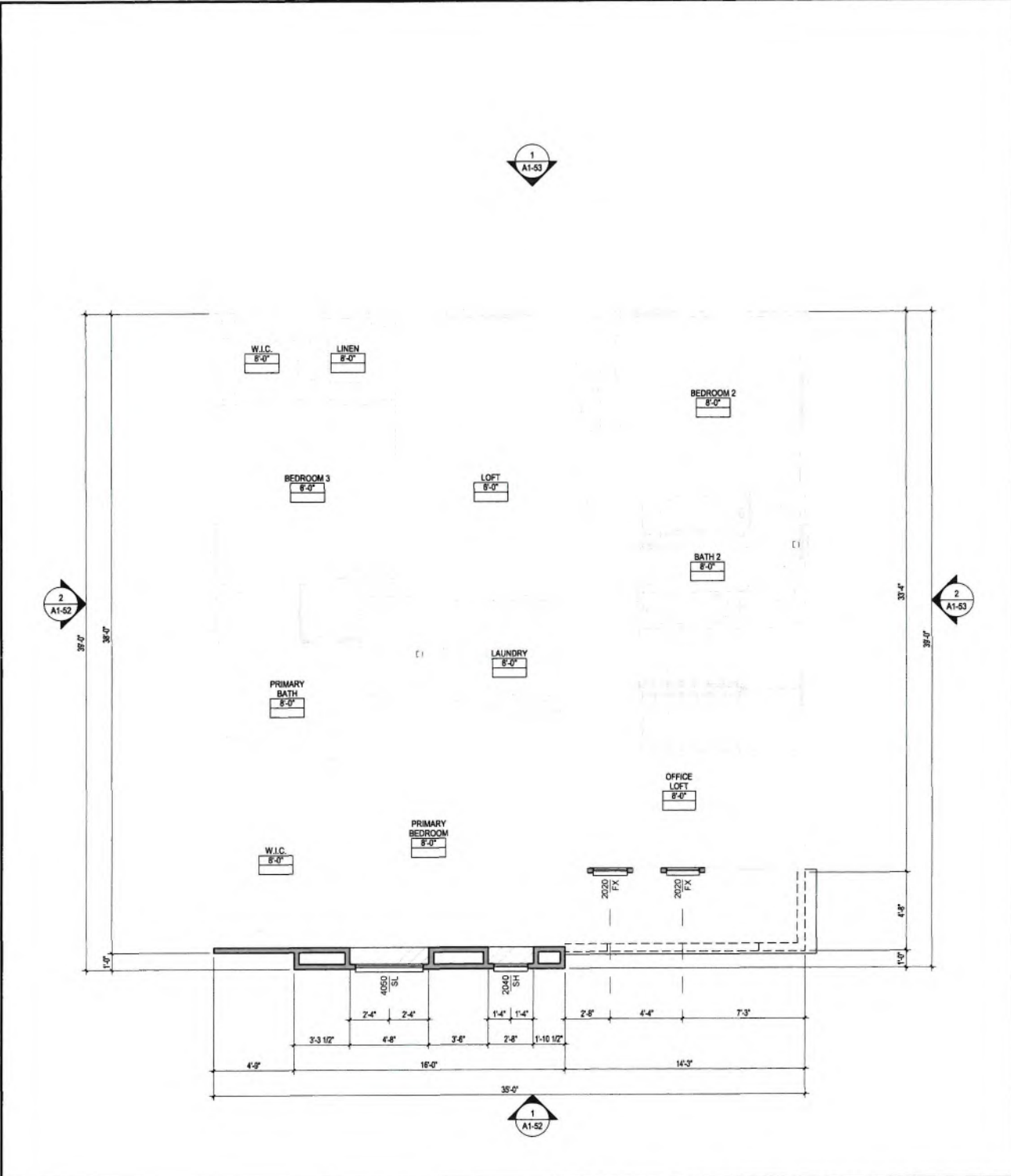
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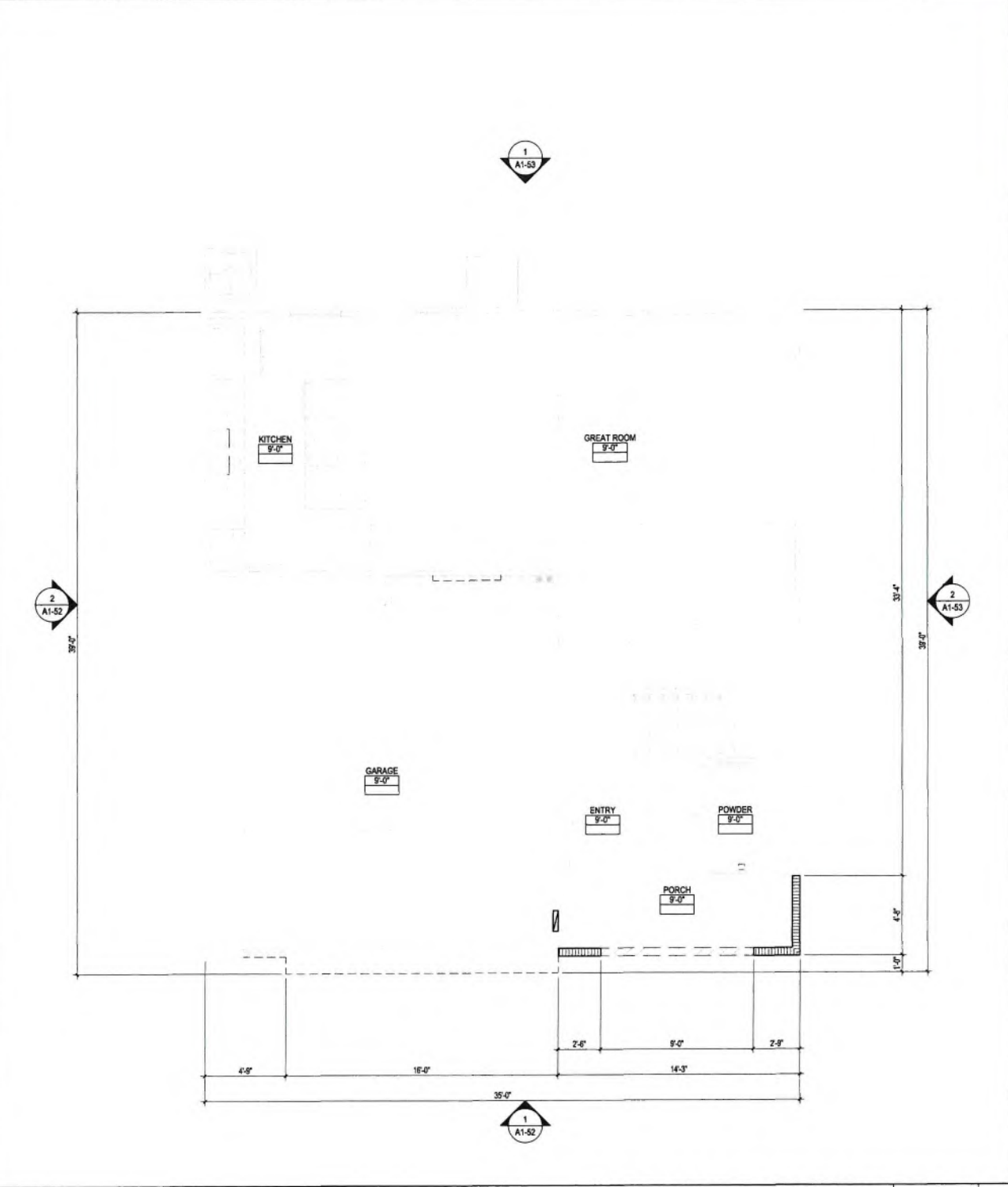


**PLAN 1C SPANISH -
FLOOR PLANS**

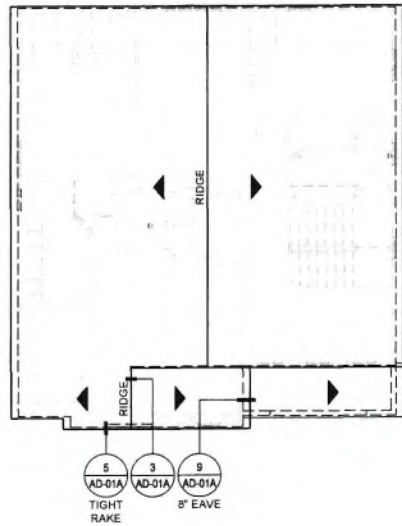
A1-51



SECOND FLOOR PLAN SCALE: 1/4"=1'-0" **2**



FIRST FLOOR PLAN SCALE: 1/4"=1'-0" **1**



ROOF PLAN

SCALE: 1/8"=1'-0"

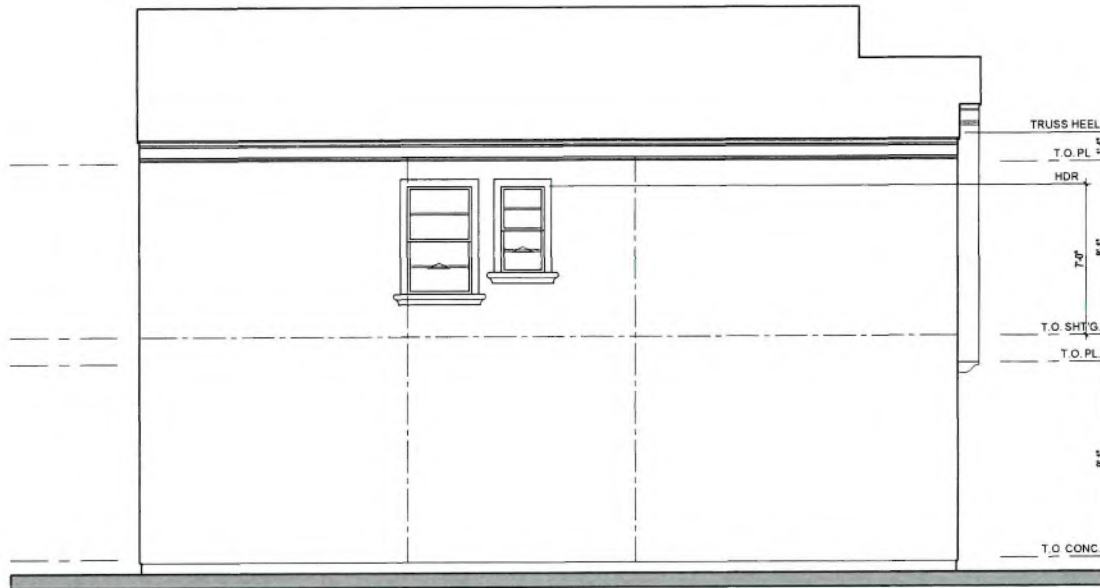
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ROOF PLAN NOTES

- ATTIC ACCESS: IN 'CALIFORNIA' DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER CRC R807.1, ATTIC ACCESS OPENING TO ATTIC AREAS REQUIRED IN AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SF. THE ROUGH FRAMED OPENING SHALL BE NOT LESS THAN 22" BY 30". IF 'CALIFORNIA' DOUBLE FRAME AREA HAS MORE THAN 30' HEADROOM PROVIDE A 22" BY 30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIP'S OR RIDGES.
- FOR TYPICAL ROOF DETAILS, SEE DETAILS ON SHEET AD-01 & AD-01A.
- RADIANT BARRIER: WHEN REQUIRED BY ENERGY COMPLIANCE, RADIANT BARRIER ROOF SHEATHING SHALL OCCUR AT ALL SURFACES EXPOSED TO THE ATTIC INCLUDING ALL VERTICAL SURFACES, GABLE ENDS AND TRUSS HEELS.
- ROOF PITCH IS 4:12 TYP. U.N.O.

ATTIC VENTILATION NOTES

- UNVENTED ATTICS: PER CRC SEC. R806.5 UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND STRUCTURAL ROOF SHEATHING APPLIED DIRECTLY TO THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS SHALL BE PERMITTED WHERE CONDITIONS 1-5 OF R806.5 ARE MET.



LEFT ELEVATION

SCALE: 1/4"=1'-0"

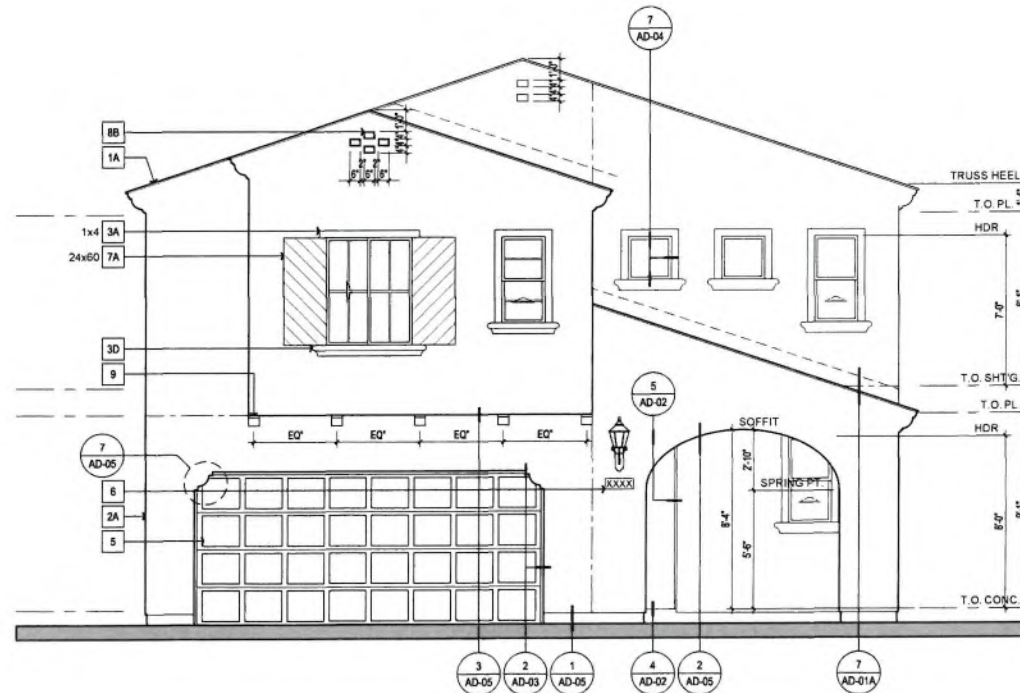
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FRONT ELEVATION

SCALE: 1/4"=1'-0"

1



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PLAN 1C SPANISH -
EXTERIOR
ELEVATIONS AND
ROOF PLAN

A1-52



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 EXTERIOR
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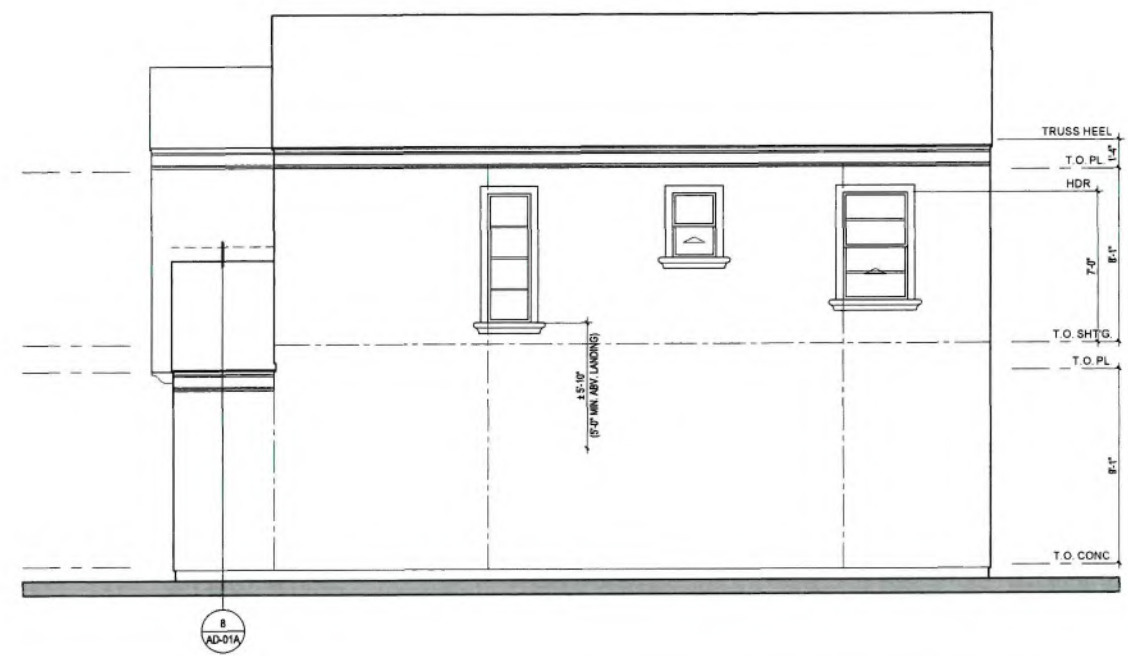
A1-53

ELEVATION KEYNOTES

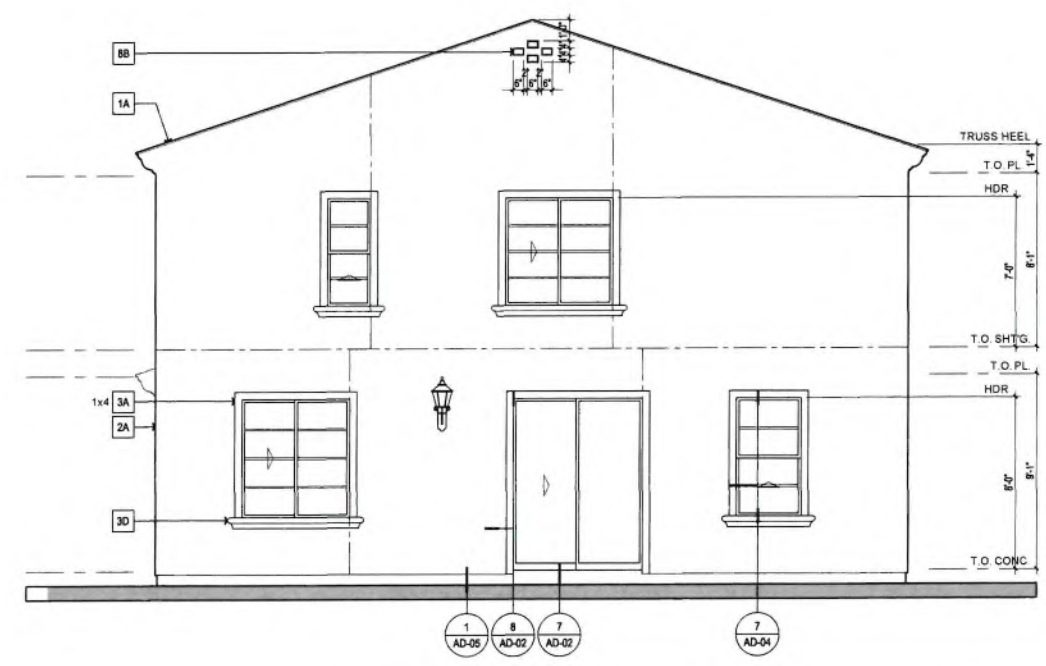
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- 4 FASCIA/BARGE: 2x4 WOOD FASCIA / 2x6 BARGE BOARD PREPRIMED
- 5 GARAGE DOOR: OVERHEAD STEEL SECTIONAL GARAGE DOOR STYLE (AND LITES AT 'A' ELEV. ONLY) AS SHOWN
- 6 ADDRESS NUMBERS: APPROVED ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS MINIMUM 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
- 7A SHUTTERS: WOOD COMPOSITE SHUTTERS. SEE EXT. ELEVATIONS FOR SIZE
- 7B SHUTTERS: MANUFACTURED FOAM SHUTTER. SEE EXT ELEVATION FOR SIZE
- 8A GABLE END VENT: 8"x28" GALV METAL LOUVERED VENT WITH 1/4" MAX GALV. METAL MESH SCREEN (BEHIND)
- 8B GABLE END ACCENT: DECORATIVE FOAM (W/ STUCCO O) GROUP - SEE EXT. ELEVATIONS AND DETAIL 8/AD-05 & 8/AD-05
- 8C GABLE END ACCENT: WOOD OUTLOCKER, KICKER, AND LEDGER, SEE DETAIL 7/AD-01 FOR TYPE AND SIZE
- 9 CORBEL, FOAM: SEE DETAIL 12/AD-05

ELEVATION NOTES

1. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR CONCRETE FLOOR SLAB AT THE FIRST FLOOR OR TOP OF SHEATHING AT THE UPPER FLOORS FLOOR.
2. REFER TO DETAILS FOR MINIMUM WINDOW, DOOR AND WALL VENT MOISTURE BARRIER INSTALLATION REQUIREMENTS.
3. PROVIDE (2) LAYERS OF MIN. GRADE "D" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
4. ALL HORIZONTAL SURFACES WILL RECEIVE BUILDING PAPER OVER HEAT RESISTANT SELF ADHERING, SELF SEALING FLASHING WEATHER BOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
5. ALL STUD WALLS & CEILINGS EXTENDING INTO A SOFFIT WILL BE PREBOARDED WITH GYP-80 PRIOR TO SOFFIT INSTALLATION.
6. DUCT TERMINATIONS TO OCCUR PER APPLIANCE MANUFACTURERS REQUIREMENTS VERIFY DISTANCE FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT.
7. HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER: LOCATE WHERE INDICATED ON ELEV. INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS AND NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCE BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1. HORIZONTAL JOINTS SHALL WRAP OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 4/AD-05.



RIGHT ELEVATION SCALE 1/4"=1'-0" 2



REAR ELEVATION SCALE 1/4"=1'-0" 1



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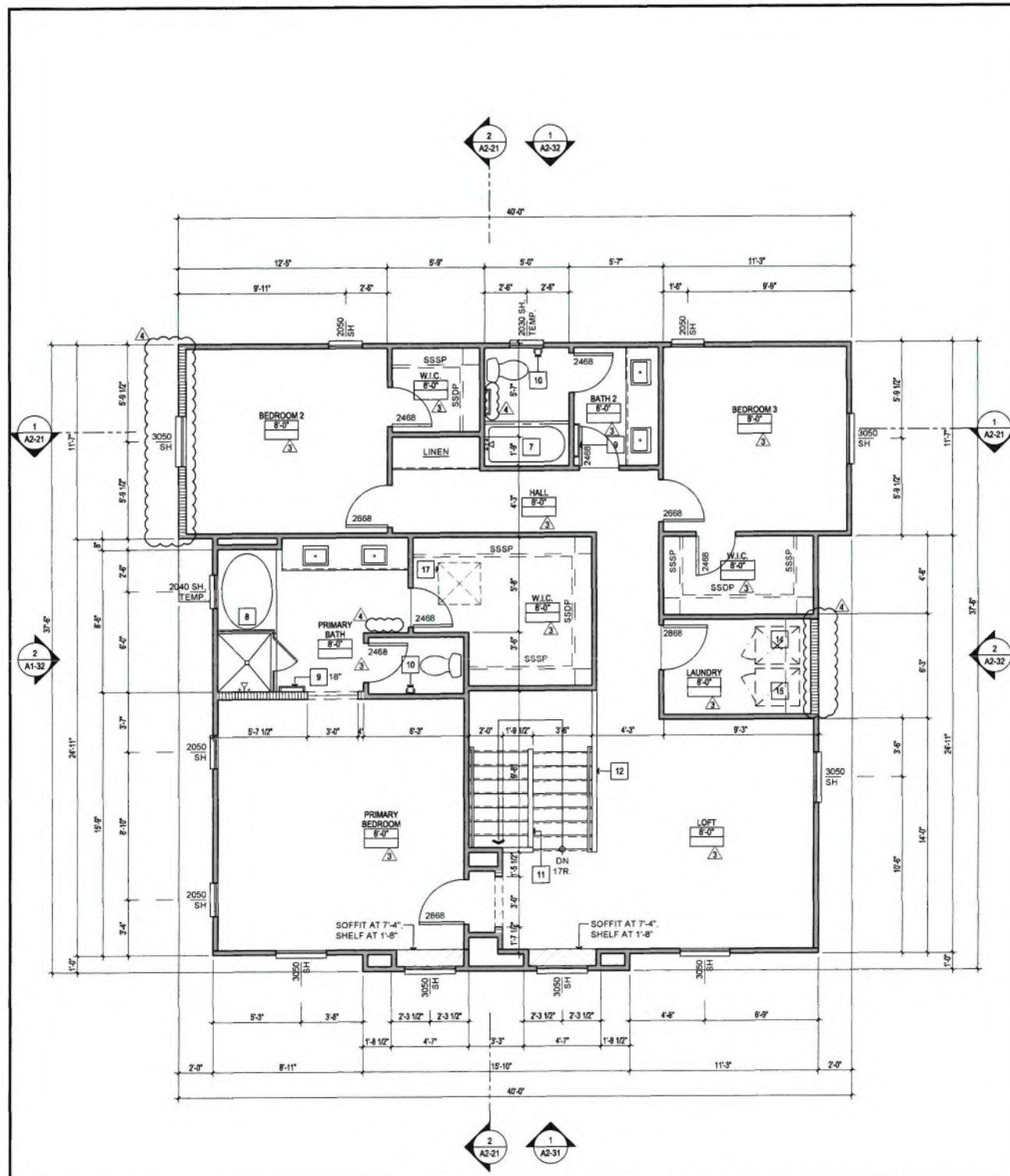
Principal: Chris Texter
Project Designer: Bryan Sevy
Project Director: Brad Golba

Developer

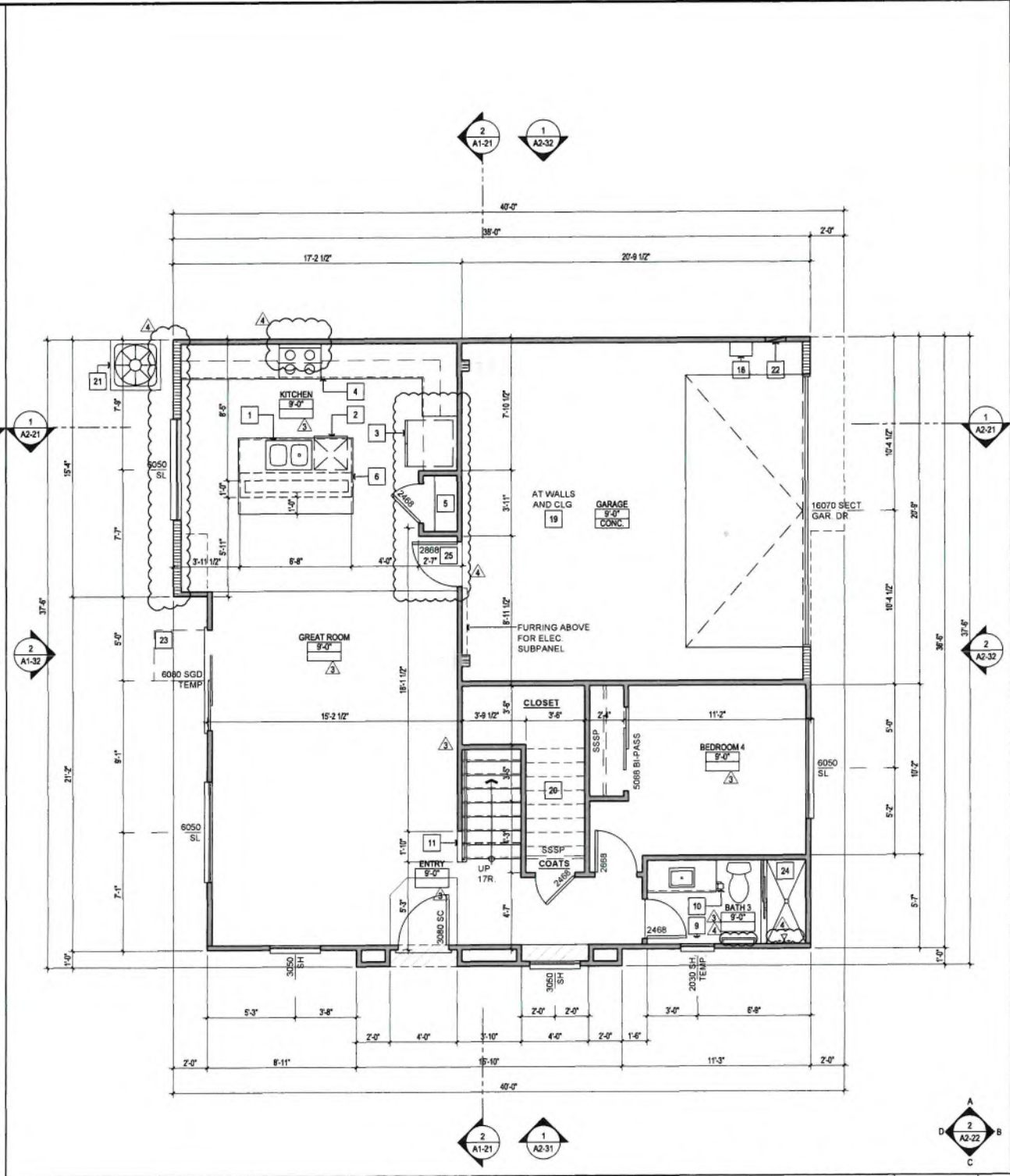


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**STONEBROOK
MEADOWS**
YUCAIPA, CA



SECOND FLOOR PLAN SCALE: 1/4"=1'-0" **2**



FIRST FLOOR PLAN SCALE: 1/4"=1'-0" **1**

KEYNOTES

- 1 DOUBLE SINK WITH GARBAGE DISPOSAL
- 2 DISHWASHER (24" WIDE x 24" DEEP W/ AIR GAP) VERIFY DIMENSIONS WITH MANUFACTURER.
- 3 30" CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE-MAKER) W/ PRE-PLUMB REVERSE OSMOSIS
- 4 30" GAS SLIDE-IN RANGE W/ LIGHT AND FAN AND MICROWAVE ABOVE
- 5 PANTRY: W/ (5) SHELVES, U.N.O.
- 6 PROVIDE 2x6 MIN. STUD WALL BELOW COUNTERTOP
- 7 32" x 60" 1-PIECE TUBSHOWER W/ 6" O" (MIN.) 3-SIDED TILE SURROUND W/ TEMPERED GLASS ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC
- 8 42" x 102" 1-PIECE TUBSHOWER SLUICE W/ 3-SIDED TILE SURROUND W/ TEMPERED GLASS ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC
- 9 TOILET PAPER HOLDER (WITH 2x FLAT BLOCKING AT +24" A.F.F. AT FRAMED LOCATIONS). SEE OWNER'S SPEC'S.
- 10 INTERIOR STAIR RISE WALL AT +27" A.F.F.
- 11 INTERIOR GUARDWALL AT +42" A.F.F.
- 12 LINEN CLOSET: W/ (5) SHELVES, U.N.O.
- 13 WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS (RECESSED BOX IN GARAGE FIREWALL SHALL BE METAL) SMITTY PAN W/ DRAIN @ 2ND FLOOR
- 14 DRYER SPACE: PROVIDE SMOOTH METAL DRYER VENT DUCT TO OUTSIDE WITH BACKDRAFT DAMPER PER CMC SEC. 504.4, SEC 502.2.1, SEC 504.4.2, AND SEC 504.4.2.1. 4" DIA 14' MAX. LENGTH WITH 2 ELBOWS MAX. PROVIDE RECESSED DRYER VENT BOX. VERIFY LOCATION AND TYPE OF RECESS WITH BUILDER AND ENGINEERS. (DYEY TO OCCUR AT RIGHT SIDE OF WASHER, TYP.)
- 15 FAU IN ATTIC PER CMC 804.10. PROVIDE LIGHT, POWER, GAS, AND ACCESS. UPRIGHT AND HORIZONTAL FURNACES SHALL BE PERMITTED TO BE INSTALLED IN ATTIC PROVIDED THE REQUIRED LISTINGS AND CLEARANCES ARE OBSERVED. PROVIDE CONDENSATE DRAIN LINE TO OUTSIDE & VENT TO OUTSIDE PER CMC CHAPTER 8. COMBUSTION AIR PER CMC CHAPTER 7. PROVIDE ADDITIONAL GALV. METAL PAN WITH SECONDARY CONDENSATE DRAIN LINE TO OUTSIDE PER CMC 312.2 VERIFY WITH MECHANICAL FOR LOCATION
- 16 30" x 30" ATTIC ACCESS MIN. WITH 30" MIN CLEAR HEADROOM PROVIDED FAU MAY PASS THROUGH PER THE CRC. PROVIDE SWITCH LIGHT, 110 V OUTLET AND 24" PLATFORM TO FAU. PROVIDE A VINYL FOAM WEATHER-SEAL TO COMPLY W/ IECC
- 17 TANKLESS WATER HEATER PER BUILDER'S SPECIFICATIONS. INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 18 SEPARATION REQUIRED - PER CRC R302.8 THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE 702.1.5
- 19 1/2" GYP. BOARD @ WALLS & CEILING AT ENCLOSED SPACE UNDER STAIRS ACCESSED BY A DOOR PER THE CRC
- 20 AC CONDENSER ON CONCRETE PAD (VERIFY SIZE AND LOCATION) PROVIDE 220 WATERPROOF DISCONNECT AND, WITHIN 25' ADJACENT 110V WATERPROOF OUTLET.
- 21 PROVIDE HIGH-LOW MAKE-UP AIR VENTS FOR GAS FIRED APPLIANCES AT GARAGE PER THE CMC.
- 22 48" (OR 36" AT 6'-0" SGD) x 36" MIN. CONC. STOOP
- 23 32" x 60" 1-PIECE SHOWER PAN W/ 6" O" (MIN.) 3-SIDED TILE SURROUND W/ TEMPERED GLASS SHOWER ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER THE CPC
- 24 1-3/8" SOLID WOOD DOOR, SELF CLOSING, SELF LATCHING.

NOTES

1. REFER TO INTERIOR ELEVATIONS FOR KITCHEN, BATH AND SERVICE ROOM FINISHES.
2. ALL GLAZING SHALL COMPLY WITH THE CALIFORNIA RESIDENTIAL CODE AND LOCAL ORDINANCES. REFER TO THE ENERGY CODE COMPLIANCE REPORT FOR U-VALUE OF ALL GLAZING.
3. REFER TO GENERAL NOTE SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
4. ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
5. CEILING AND SOFFIT HEIGHTS INDICATED ON PLANS ARE NOMINAL DIMENSIONS. CEILING HEIGHTS NOTED AS 7'-0" WILL HAVE A ROUGH FRAMED HEIGHT OF 7'-1". 7'-0" CLEAR FINISHED OPENING IS REQUIRED PER THE CALIFORNIA RESIDENTIAL CODE
6. EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ. FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES. IT SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
7. VENTING SYSTEMS SHALL TERMINATE AT LEAST (4) FEET FROM A PROPERTY LINE PER THE CMC
8. SEE ENERGY CODE COMPLIANCE REPORT FOR INSULATION VALUES.
9. EXCEPT WHERE OTHERWISE NOTED IN THE CRC ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.
10. 2x4 STUDS AT 16" O.C. U.N.O.
11. 2x6 STUDS AT 16" O.C. U.N.O.
12. INTERIOR SOFFIT AT 8'-0" (7'-0" AT 2ND FLR) TYPICAL HEIGHT U.N.O.
13. IN AREAS WHERE EXPANSIVE OR COLLAPSIBLE SOILS ARE KNOWN TO EXIST, ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DRAINAGE FROM THE ROOF'S TO GROUND SURFACE. AT LEAST 5 FEET FROM FOUNDATION WALLS TO AN APPROVED DRAINAGE SYSTEM PER THE CRC.
14. FIBER CEMENT, FIBER MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1325, C 1178 OR C 1278, RESPECTIVELY, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. PER THE CRC.
15. A 10 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE PREPARED SUBGRADE PER CRC R506.2.3. WHEN A VAPOR RETARDER IS REQUIRED, A CAPILLARY BREAK SHOULD BE INSTALLED PER CGIBC 4.505.2.1.

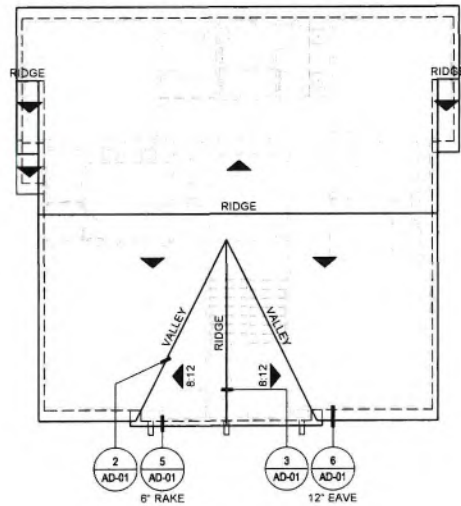
No.	Date	Description
	12/01/21	B.D. SUBMITTAL
	02/02/22	B.D. RESUBMITTAL
	04/06/22	F.D. RESUBMITTAL
▲	05/02/22	OWNER REVISIONS
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	09/26/22	OWNER REVISIONS

It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed change or omission on the plans and specifications of which a contractor is not responsible. Without written acknowledgment and approval of the architect, any such change or omission shall be deemed to be the client's responsibility and the architect shall not be responsible for any defects in construction if the drawings are not revised.



PLAN 2A FARMHOUSE-FLOOR PLANS

A2-11



ROOF PLAN SCALE 1/8"=1'-0"

3

ROOF PLAN NOTES

- ATTIC ACCESS: IN 'CALIFORNIA' DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER CRC R807.1, ATTIC ACCESS OPENING TO ATTIC AREAS REQUIRED IN AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SF. THE ROUGH FRAMED OPENING SHALL BE NOT LESS THAN 22" BY 30". IF 'CALIFORNIA' DOUBLE FRAME AREA HAS MORE THAN 30' HEADROOM PROVIDE A 22" BY 30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION
- NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIP OR RIDGES
- FOR TYPICAL ROOF DETAILS, SEE DETAILS ON SHEET AD-01 & AD-01A
- RADIANT BARRIER: WHEN REQUIRED BY ENERGY COMPLIANCE, RADIANT BARRIER ROOF SHEATHING SHALL OCCUR AT ALL SURFACES EXPOSED TO THE ATTIC INCLUDING ALL VERTICAL SURFACES, GABLE ENDS AND TRUSS HEELS
- ROOF PITCH IS 4:12 TYP. U.N.O.

ATTIC VENTILATION NOTES

- UNVENTED ATTICS: PER CRC SEC. R806.5 UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND STRUCTURAL ROOF SHEATHING APPLIED DIRECTLY TO THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS SHALL BE PERMITTED WHERE CONDITIONS 1-5 OF R806.5 ARE MET.



LEFT ELEVATION SCALE 1/4"=1'-0"

2



FRONT ELEVATION SCALE 1/4"=1'-0"

1

ELEVATION KEYNOTES

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- 1B ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - FLAT TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS, VERIFY W/ COLOR SCHEME
- 2A EXTERIOR WALL: '1-COAT' EXTERIOR STUCCO SYSTEM BY 'OMEGA DIAMOND WALL' ICC-ES REPORT ESR-1194 OR APPROVED EQUAL OVER MINIMUM GRADE 'D' BLDG. PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 2B EXTERIOR WALL: LAP SIDING FIBER CEMENT CEDAR GRAIN (SMOOTH) FINISH, 6" EXPOSURE U.N.O. BLIND NAILED OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 2C EXTERIOR WALL: VERTICAL FIBER CEMENT PANELS CEDAR GRAIN (SMOOTH) FINISH W/ 4/4 x 2-1/2" FIBER CEMENT BATTENS AT 16" O.C. OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 3A TRIM: E.P.S. FOAM TRIM WITH EXTERIOR PLASTER OVER. REFER TO EXT. ELEV. AND DETAILS FOR SIZES AND SHAPES. OMIT JAMB TRIM WHEN SHUTTER OCCURS
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- 3C TRIM: CORNER (LAP SIDING) 'MITER' TRANSITION - MTL. SIDING CORNER BY SIMPLICITY TOOL (199 SERIES) OR APPROVED EQUAL. INSTALL PER MANUF.'S. INSTRUCTIONS
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STONEBROOK
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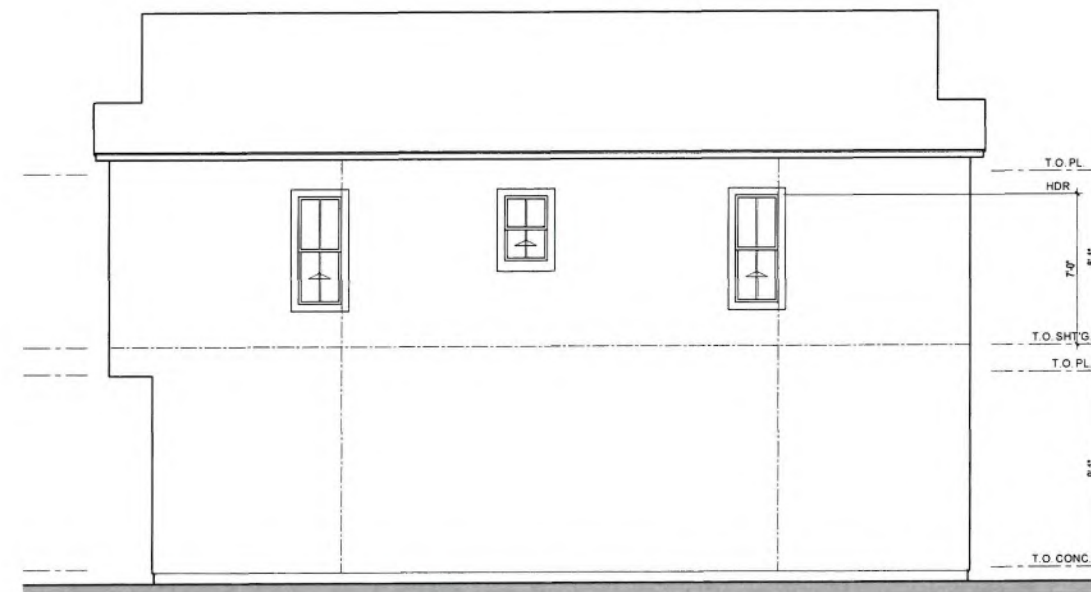


PLAN 2A FARMHOUSE-
EXTERIOR
ELEVATIONS AND
ROOF PLAN

A2-31



RIGHT ELEVATION SCALE: 1/4"=1'-0" 2



REAR ELEVATION SCALE: 1/4"=1'-0" 2

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7. HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER: LOCATE WHERE INDICATED ON ELEV. INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS AND NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCE BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1. HORIZONTAL JOINTS SHALL WRAP OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 4/AD-05.



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KTGY Project No: 20210022

Project Contact: Craig Russell
Email: russell@ktgy.com

Principal: Chris Texter
Project Designer: Bryan Sevy
Project Director: Brad Golba

Developer



CENTURY COMMUNITIES
4695 MACARTHUR COURT, SUITE 3
NEWPORT BEACH, 92660
PHONE NUMBER: (909) 667-0142

STONEBROOK
MEADOWS
YUCAIPA, CA

No.	Date	Description
	12/01/21	B.D. SUBMITTAL
	02/02/22	B.D. RESUBMITTAL
	04/06/22	F.D. RESUBMITTAL
	05/02/22	OWNER REVISIONS
	08/02/22	OWNER REVISIONS
	09/26/22	OWNER REVISIONS

It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed errors or omissions in the plans and specifications of which a contractor, through diligent knowledge of the building codes and methods of construction, should reasonably be aware. Written instructions addressing such proposed errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any delays in construction if their instructions are not followed.



PLAN 2A FARMHOUSE-
EXTERIOR
ELEVATIONS



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**STONEBROOK
 MEADOWS**
 YUCAIPA, CA

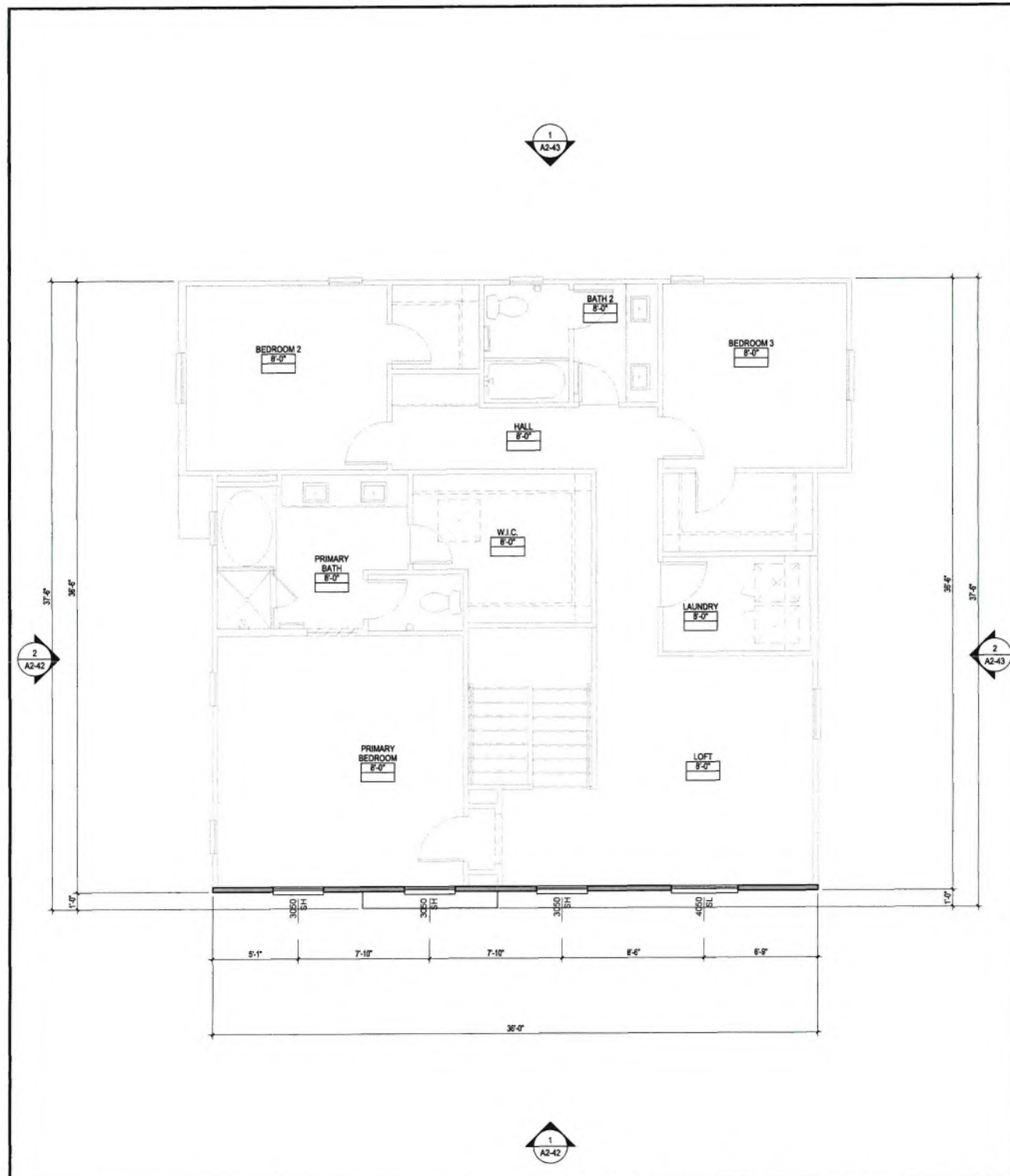
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It is the client's responsibility prior to or during construction to verify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and practices of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these provisions are not followed.

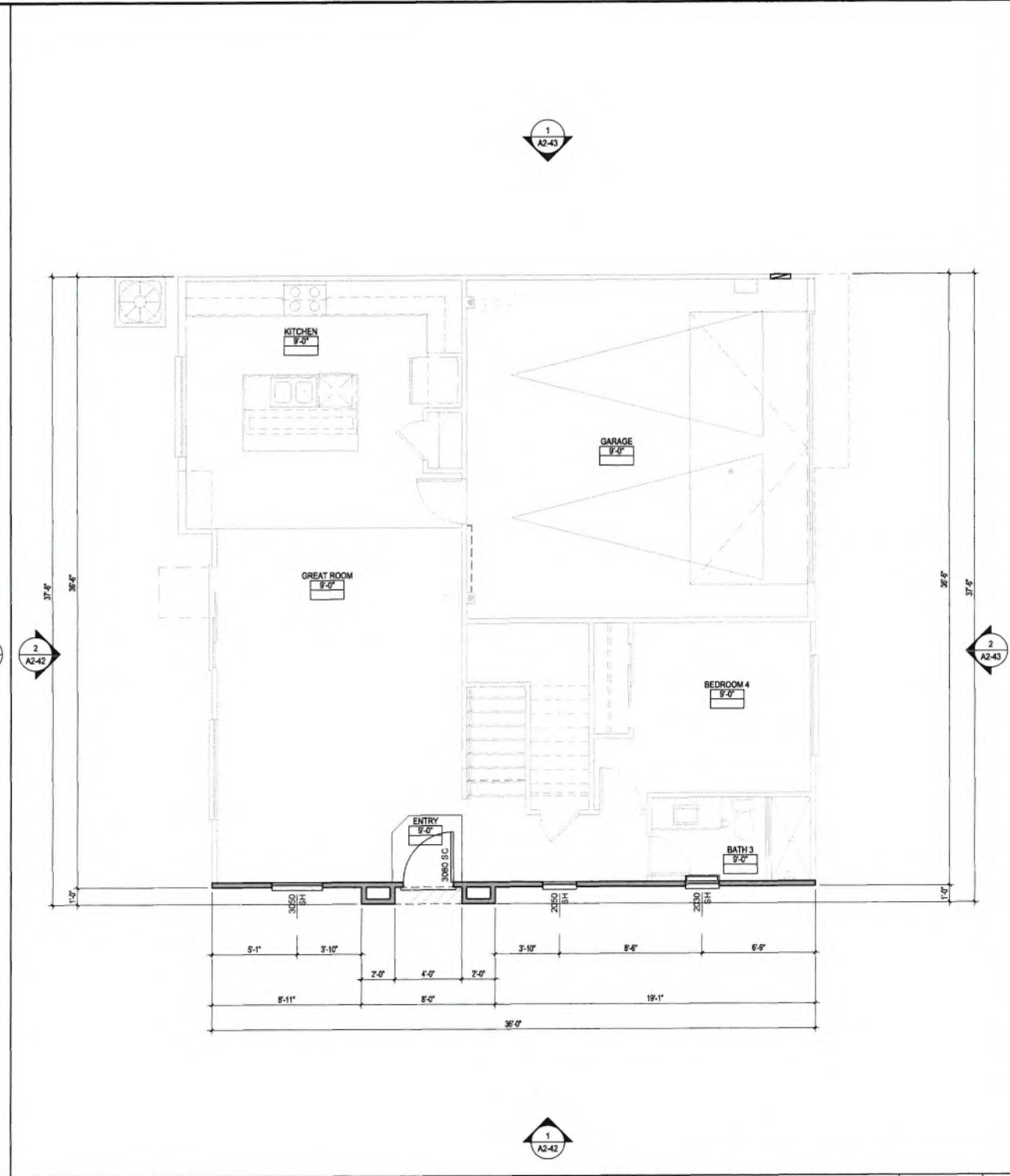


**PLAN 2B ITALIAN-
 PARTIAL FLOOR PLANS**

A2-41



'B' PARTIAL SECOND FLOOR PLAN SCALE 1/4"=1'-0" 2



'B' PARTIAL FIRST FLOOR PLAN SCALE 1/4"=1'-0" 1



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It is the client's responsibility prior to or during construction to notify the architect in writing of any personnel, items or conditions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such personnel items or conditions shall be received from the architect prior to the client or client subcontractors proceeding with the work. The client will be responsible for any defects in construction if these provisions are not followed.



**PLAN 2B ITALIAN-
EXTERIOR
ELEVATIONS AND
ROOF PLAN**

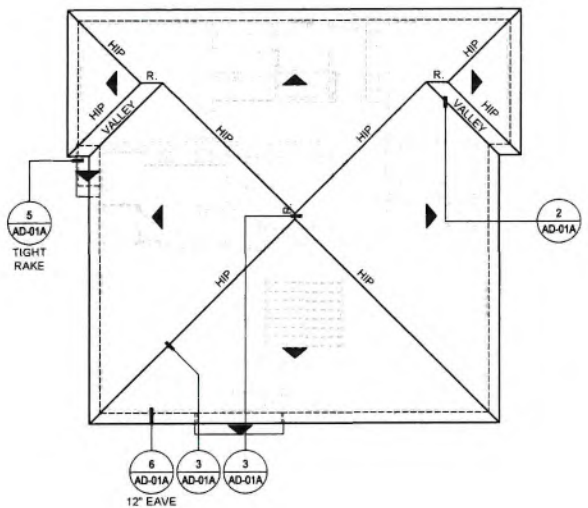
A2-42

ELEVATION KEYNOTES

- 1A ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - S-TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS. VERIFY W/ COLOR SCHEME
- 1B ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - FLAT TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS. VERIFY W/ COLOR SCHEME
- 2A EXTERIOR WALL: "1-COAT" EXTERIOR STUCCO SYSTEM BY 'OMEGA DIAMOND WALL' ICC-ES REPORT ESR-1184 OR APPROVED EQUAL OVER MINIMUM GRADE 'D' BLDG. PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 2B EXTERIOR WALL: LAP SIDING FIBER CEMENT CEDAR GRAIN (SMOOTH) FINISH, 8" EXPOSURE U.N.O. BLIND NAILED OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 2C EXTERIOR WALL: VERTICAL FIBER CEMENT PANELS CEDAR GRAIN (SMOOTH) FINISH W/ 4/4 x 2-1/2" FIBER CEMENT BATTENS AT 16" O.C OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS
- 3A TRIM: E.P.S. FOAM TRIM WITH EXTERIOR PLASTER OVER. REFER TO EXT. ELEV. AND DETAILS FOR SIZES AND SHAPES. OMIT JAMB TRIM WHEN SHUTTER OCCURS.
- 3B TRIM: WINDOWS AND DOORS - 5/4x3-1/2" FIBER CEMENT TRIM, CEDAR GRAIN (SMOOTH) FINISH AT HEAD, JAMB AND SILL. OMIT JAMB TRIM WHEN SHUTTER OCCURS. SEE DETAILS.
- 3C TRIM: CORNER (LAP SIDING) 'MITER' TRANSITION - MTL. SIDING CORNER BY SIMPLICITY TOOL (199 SERIES) OR APPROVED EQUAL. INSTALL PER MANUF.'S INSTRUCTIONS.
- 3D TRIM: SHAPED E.P.S. FOAM (EXTENDED SILL) WITH EXTERIOR PLASTER OVER. SEE DETAIL 6/AD-05
- 4 FASCIA/BARGE: 2x4 WOOD FASCIA / 2x6 BARGE BOARD PREPRIMED.
- 5 GARAGE DOOR: OVERHEAD STEEL SECTIONAL GARAGE DOOR STYLE (AND LITES AT 'A' ELEV. ONLY) AS SHOWN
- 6 ADDRESS NUMBERS: APPROVED ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS MINIMUM 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
- 7A SHUTTERS: WOOD COMPOSITE SHUTTERS. SEE EXT. ELEVATIONS FOR SIZE.
- 7B SHUTTERS: MANUFACTURED FOAM SHUTTER. SEE EXT. ELEVATION FOR SIZE.
- 8A GABLE END VENT: 8"x28" GALV. METAL LOUVERED VENT WITH 1/4" MAX GALV. METAL MESH SCREEN (BEHIND).
- 8B GABLE END ACCENT: DECORATIVE FOAM (W/ STUCCO O) GROUP - SEE EXT. ELEVATIONS AND DETAIL 8/AD-05 & 8/AD-05
- 8C GABLE END ACCENT: WOOD OUTLOOKER, HICKER, AND LEDGER. SEE DETAIL 7/AD-01 FOR TYPE AND SIZE.
- 9 CORBEL, FOAM. SEE DETAIL 12/AD-05

ELEVATION NOTES

- 1. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR CONCRETE FLOOR SLAB AT THE FIRST FLOOR OR TOP OF SHEATHING AT THE UPPER FLOORS FLOOR.
- 2. REFER TO DETAILS FOR MINIMUM WINDOW, DOOR AND WALL VENT MOISTURE BARRIER INSTALLATION REQUIREMENTS.
- 3. PROVIDE (2) LAYERS OF MIN. GRADE "D" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
- 4. ALL HORIZONTAL SURFACES WILL RECEIVE BUILDING PAPER OVER HEAT RESISTANT SELF-ADHERING, SELF-SEALING FLASHING WEATHER BOARD, LAPPED "D" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
- 5. ALL STUD WALLS & CEILINGS EXTENDING INTO A SOFFIT WILL BE PREBOARDED WITH GYP-BO PRIOR TO SOFFIT INSTALLATION.
- 6. DUCT TERMINATIONS TO OCCUR PER APPLIANCE MANUFACTURERS REQUIREMENTS VERIFY DISTANCE FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT.
- 7. HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER: LOCATE WHERE INDICATED ON ELEV. INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS AND NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCE BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1. HORIZONTAL JOINTS SHALL WRAP OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 4/AD-05



ROOF PLAN SCALE: 1/8"=1'-0" **3**

ROOF PLAN NOTES

- 1. ATTIC ACCESS: IN 'CALIFORNIA' DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER CRC R807.1, ATTIC ACCESS OPENING TO ATTIC AREAS REQUIRED IN AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SF. THE ROUGH FRAMED OPENING SHALL BE NOT LESS THAN 22" BY 30". IF 'CALIFORNIA' DOUBLE FRAME AREA HAS MORE THAN 30' HEADROOM PROVIDE A 22" BY 30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- 2. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- 3. NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIP OR RIDGES.
- 4. FOR TYPICAL ROOF DETAILS, SEE DETAILS ON SHEET AD-01 & AD-01A.
- 5. RADIANT BARRIER: WHEN REQUIRED BY ENERGY COMPLIANCE, RADIANT BARRIER ROOF SHEATHING SHALL OCCUR AT ALL SURFACES EXPOSED TO THE ATTIC INCLUDING ALL VERTICAL SURFACES, GABLE ENDS AND TRUSS HEELS.
- 6. ROOF PITCH IS 4:12 TYP. U.N.O.

ATTIC VENTILATION NOTES

- 12 UNVENTED ATTICS: PER CRC SEC. R806.5 UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND STRUCTURAL ROOF SHEATHING APPLIED DIRECTLY TO THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS SHALL BE PERMITTED WHERE CONDITIONS 1-5 OF R806.5 ARE MET.



LEFT ELEVATION SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION SCALE: 1/4"=1'-0" **1**



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In the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications, of which a contractor should be knowledgeable with the building codes and methods of construction should be responsible to advise. Within instructions addressing such perceived errors or omissions, shall be received from the architect prior to the client or client's subcontractors proceeding with the work. This client will be responsible for any defects in construction if these procedures are not followed.



PLAN 2B ITALIAN-EXTERIOR ELEVATIONS

ELEVATION KEYNOTES

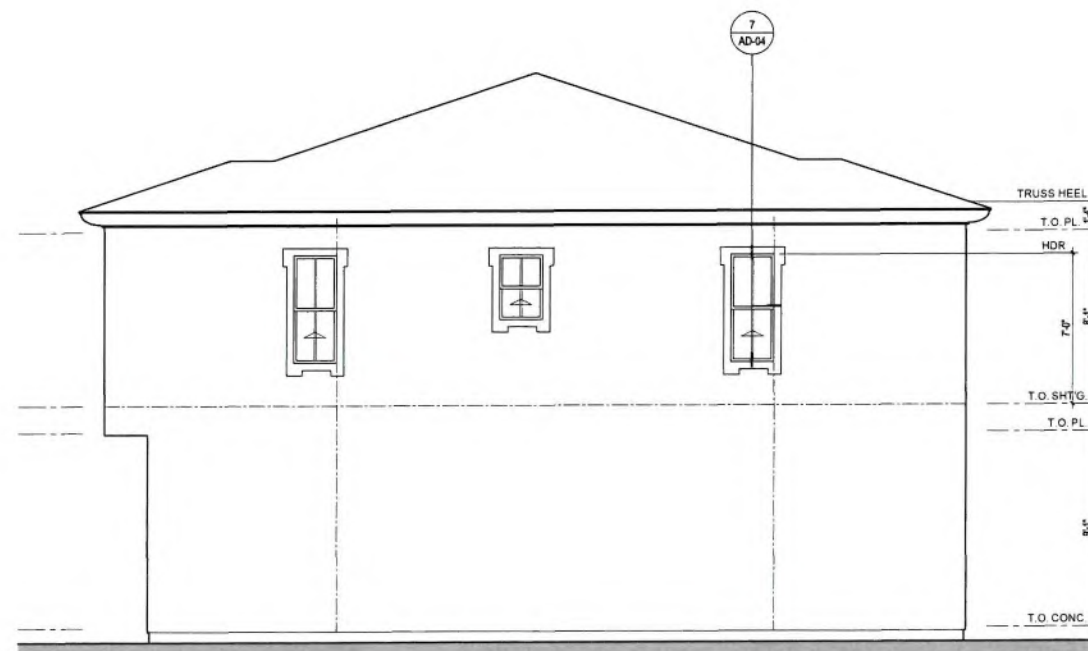
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- 2C EXTERIOR WALL: VERTICAL FIBER CEMENT PANELS. CEDAR GRAIN (SMOOTH) FINISH W/ 4/4 x 2-1/2" FIBER CEMENT BATTENS AT 16" O.C. OVER (2) LAYERS GRADE "D" MINIMUM BUILDING PAPER. PAPER INSTALL PER MANUF INSTRUCTIONS
- 3A TRIM: E.P.S. FOAM TRIM WITH EXTERIOR PLASTER OVER. REFER TO EXT ELEV AND DETAILS FOR SIZES AND SHAPES. OMIT JAMB TRIM WHEN SHUTTER OCCURS
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- 3C TRIM: CORNER (LAP SIDING) MITER TRANSITION - MTL. SIDING CORNER BY SIMPLICITY TOOL (199 SERIES) OR APPROVED EQUAL. INSTALL PER MANUF'S INSTRUCTIONS
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- 8B GABLE END ACCENT: DECORATIVE FOAM (W/ STUCCO O) GROUP - SEE EXT. ELEVATIONS AND DETAIL 8/AD-05 & 9/AD-05
- 8C GABLE END ACCENT: WOOD OUTLOOKER, KICKER, AND LEDGER. SEE DETAIL 7/AD-01 FOR TYPE AND SIZE
- 9 CORBEL: FOAM. SEE DETAIL 12/AD-05

ELEVATION NOTES

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RIGHT ELEVATION SCALE: 1/4"=1'-0" 2



REAR ELEVATION SCALE: 1/4"=1'-0" 1



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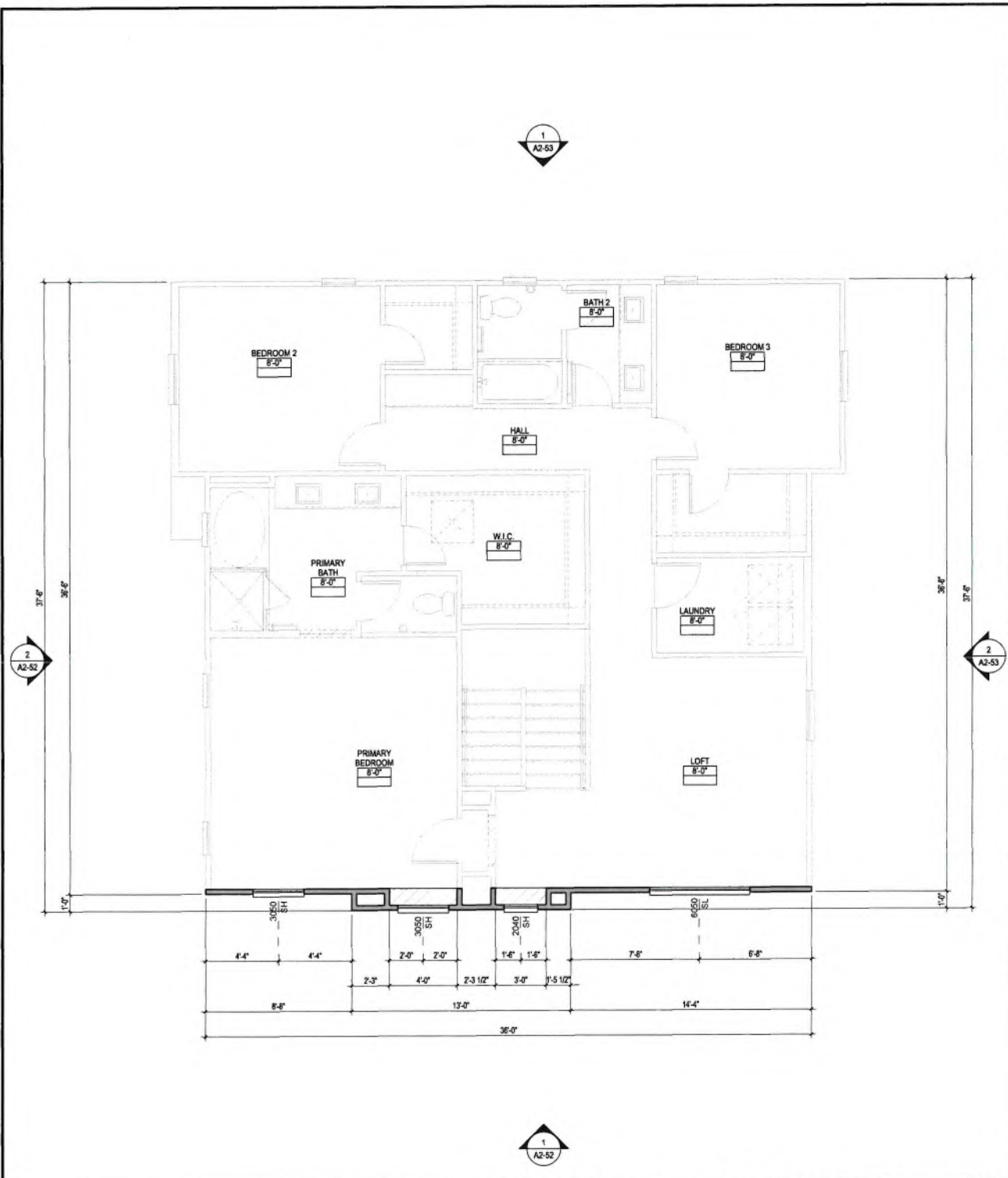
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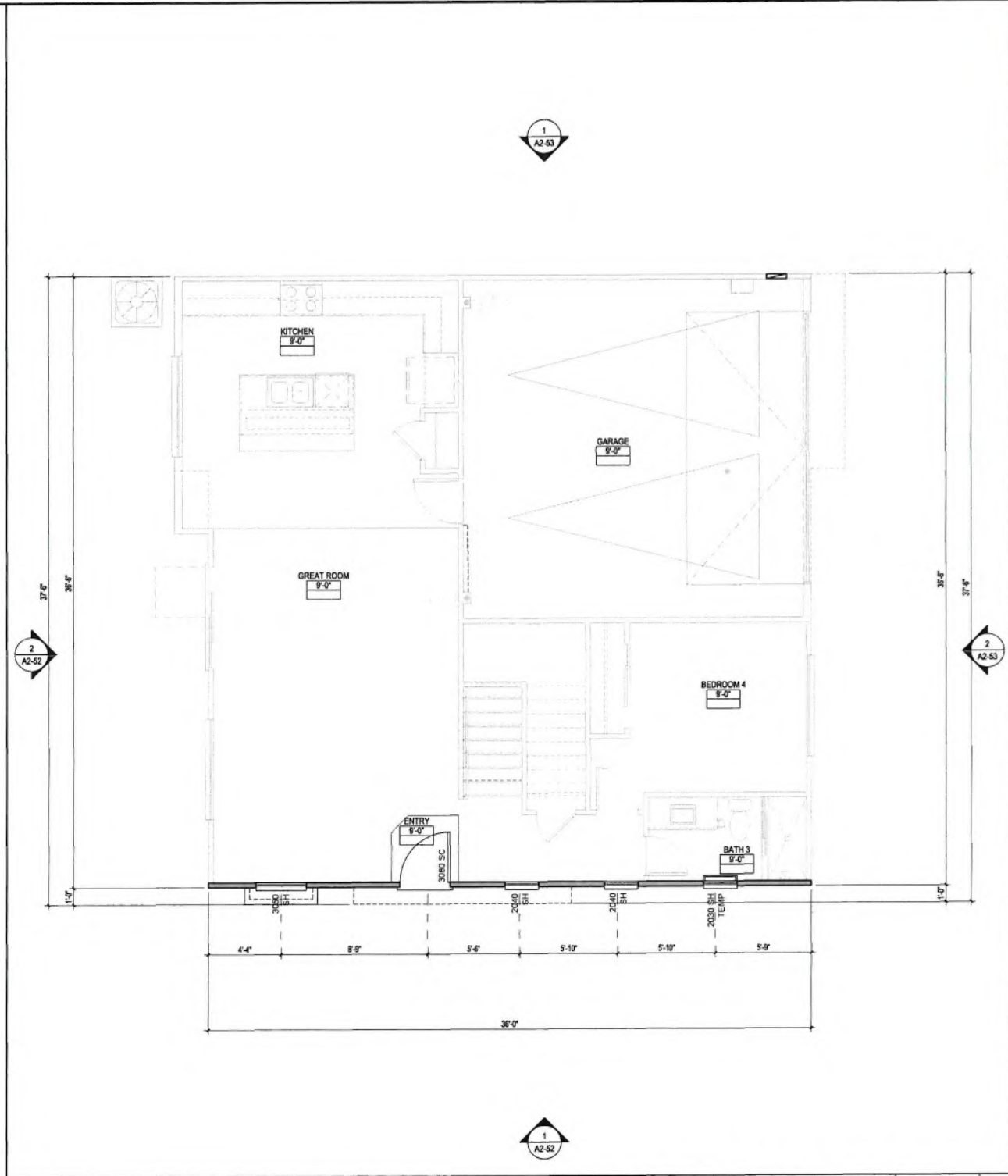


**PLAN 2C SPANISH-
 PARTIAL FLOOR PLANS**

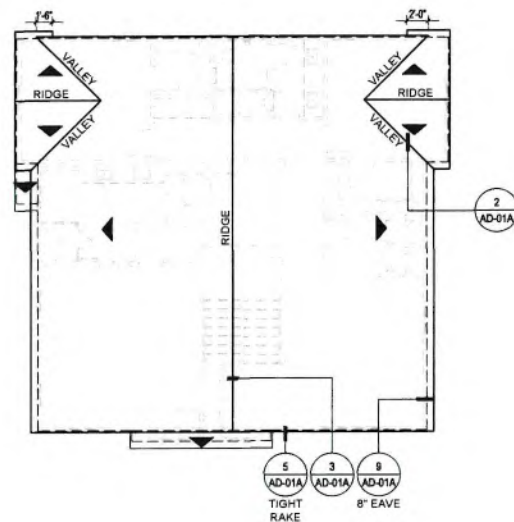
A2-51



'C' PARTIAL SECOND FLOOR PLAN SCALE: 1/4"=1'-0" 2



'C' PARTIAL FIRST FLOOR PLAN SCALE: 1/4"=1'-0" 1



ROOF PLAN SCALE 1/8"=1'-0" 3

ROOF PLAN NOTES

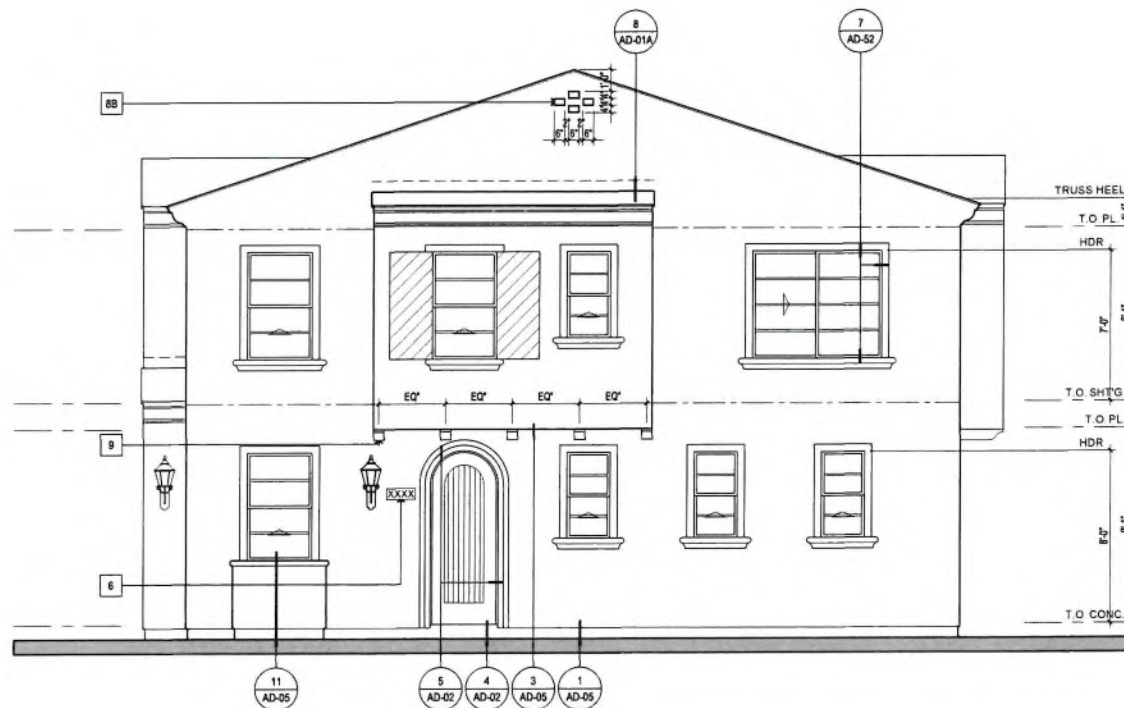
- ATTIC ACCESS: IN 'CALIFORNIA' DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER CRC R807.1, ATTIC ACCESS OPENING TO ATTIC AREAS REQUIRED IN AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SF. THE ROUGH FRAMED OPENING SHALL BE NOT LESS THAN 22" BY 30". IF 'CALIFORNIA' DOUBLE FRAME AREA HAS MORE THAN 30' HEADROOM PROVIDE A 22" BY 30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIP'S OR RIDGES.
- FOR TYPICAL ROOF DETAILS, SEE DETAILS ON SHEET AD-01 & AD-01A.
- RADIANT BARRIER: WHEN REQUIRED BY ENERGY COMPLIANCE, RADIANT BARRIER ROOF SHEATHING SHALL OCCUR AT ALL SURFACES EXPOSED TO THE ATTIC INCLUDING ALL VERTICAL SURFACES, GABLE ENDS AND TRUSS HEELS.
- ROOF PITCH IS 4:12 TYP. U.N.O.

ATTIC VENTILATION NOTES

- UNVENTED ATTICS: PER CRC SEC. R806.5 UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND STRUCTURAL ROOF SHEATHING APPLIED DIRECTLY TO THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS SHALL BE PERMITTED WHERE CONDITIONS 1-5 OF R806.5 ARE MET.



LEFT ELEVATION SCALE 1/4"=1'-0" 2



FRONT ELEVATION SCALE 1/4"=1'-0" 1

ELEVATION KEYNOTES

- ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - S-TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS. VERIFY W/ COLOR SCHEME.
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- EXTERIOR WALL: LAP SIDING FIBER CEMENT CEDAR GRAIN (SMOOTH) FINISH, 8" EXPOSURE U.N.O. BLIND NAILED OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS.
- EXTERIOR WALL: VERTICAL FIBER CEMENT PANELS CEDAR GRAIN (SMOOTH) FINISH W/ 4/4 x 2-1/2" FIBER CEMENT BATTENS AT 16" O.C. OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF. INSTRUCTIONS.
- TRIM: E.P.S. FOAM TRIM WITH EXTERIOR PLASTER OVER. REFER TO EXT. ELEV. AND DETAILS FOR SIZES AND SHAPES. OMIT JAMB TRIM WHEN SHUTTER OCCURS.
- TRIM: WINDOWS AND DOORS - 5/4x3-1/2" FIBER CEMENT TRIM CEDAR GRAIN (SMOOTH) FINISH AT HEAD, JAMB AND SILL. OMIT JAMB TRIM WHEN SHUTTER OCCURS. SEE DETAILS.
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- FASCIA/BARGE: 2x4 WOOD FASCIA / 2x6 BARGE BOARD PREPRIMED.
- GARAGE DOOR: OVERHEAD STEEL SECTIONAL GARAGE DOOR STYLE (AND LITES AT 'A' ELEV. ONLY) AS SHOWN.
- ADDRESS NUMBERS: APPROVED ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS MINIMUM 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
- SHUTTERS: WOOD COMPOSITE SHUTTERS. SEE EXT. ELEVATIONS FOR SIZE.
- SHUTTERS: MANUFACTURED FOAM SHUTTER. SEE EXT. ELEVATION FOR SIZE.
- GABLE END VENT: 8"x28" GALV. METAL LOUVERED VENT WITH 1/4" MAX GALV. METAL MESH SCREEN (BEHIND).
- GABLE END ACCENT: DECORATIVE FOAM (W/ STUCCO O/I) GROUP - SEE EXT. ELEVATIONS AND DETAIL 6AD-05 & 6AD-05.
- GABLE END ACCENT: WOOD OUTLOOKER, KICKER, AND LEDGER. SEE DETAIL 7AD-01 FOR TYPE AND SIZE.
- CORBEL, FOAM. SEE DETAIL 12AD-05.

ELEVATION NOTES

- ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR CONCRETE FLOOR SLAB AT THE FIRST FLOOR OR TOP OF SHEATHING AT THE UPPER FLOORS FLOOR.
- REFER TO DETAILS FOR MINIMUM WINDOW, DOOR AND WALL VENT MOISTURE BARRIER INSTALLATION REQUIREMENTS.
- PROVIDE (2) LAYERS OF MIN. GRADE "D" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
- ALL HORIZONTAL SURFACES WILL RECEIVE BUILDING PAPER OVER HEAT RESISTANT SELF ADHERING, SELF SEALING FLASHING WEATHER BOARD LAPPED "D" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
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KTGY Project No: 20210022

Project Contact: Craig Russell
Email: russell@ktgy.com

Principal: Chris Texter
Project Designer: Bryan Sevy
Project Director: Brad Golba

Developer



CENTURY COMMUNITIES
4695 MACARTHUR COURT, SUITE 3
NEWPORT BEACH, 92660
PHONE NUMBER : (909) 667-0142

STONEBROOK
MEADOWS
YUCAIPA, CA

No.	Date	Description
	12/01/21	B.D. SUBMITTAL
	02/02/22	B.D. RESUBMITTAL
	04/06/22	F.D. RESUBMITTAL
	05/02/22	OWNER REVISIONS
	08/02/22	OWNER REVISIONS
	09/26/22	OWNER REVISIONS

It is the client's responsibility prior to or during construction to notify the architect or writing of any proposed errors or omissions in the plans and specifications of which a contractor, through diligent knowledge of the building codes and methods of construction, would reasonably be aware. Written instructions addressing such proposed errors or omissions shall be received from the architect prior to the start of construction or any other action proceeding with the work. The client will be responsible for any defects in construction if these instructions are not followed.



PLAN 2C SPANISH-
EXTERIOR
ELEVATIONS AND
ROOF PLAN



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It is the client's responsibility prior to or during construction to verify the architect's writing of any general notes or conditions on the plans and specifications, of which a contractor is presumed to be knowledgeable with the building code and methods of construction. The architect shall not be responsible for any errors or omissions in the work. The client will be responsible for any defects in construction if these procedures are not followed.



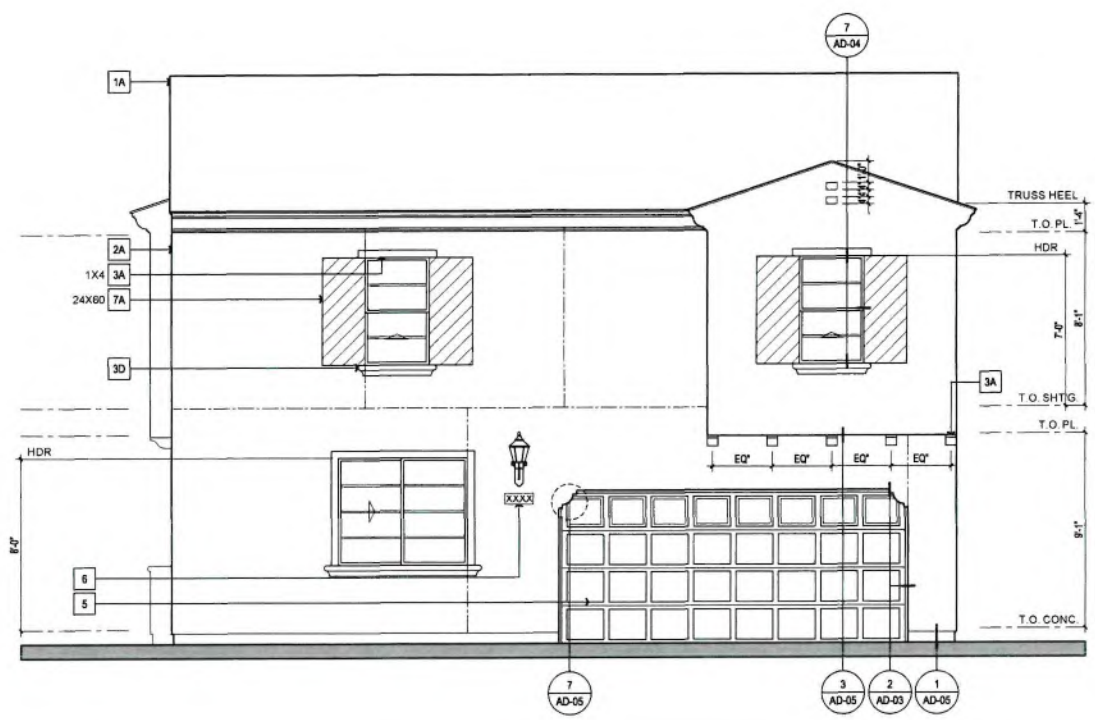
**PLAN 2C SPANISH-
 EXTERIOR
 ELEVATIONS**

ELEVATION KEYNOTES

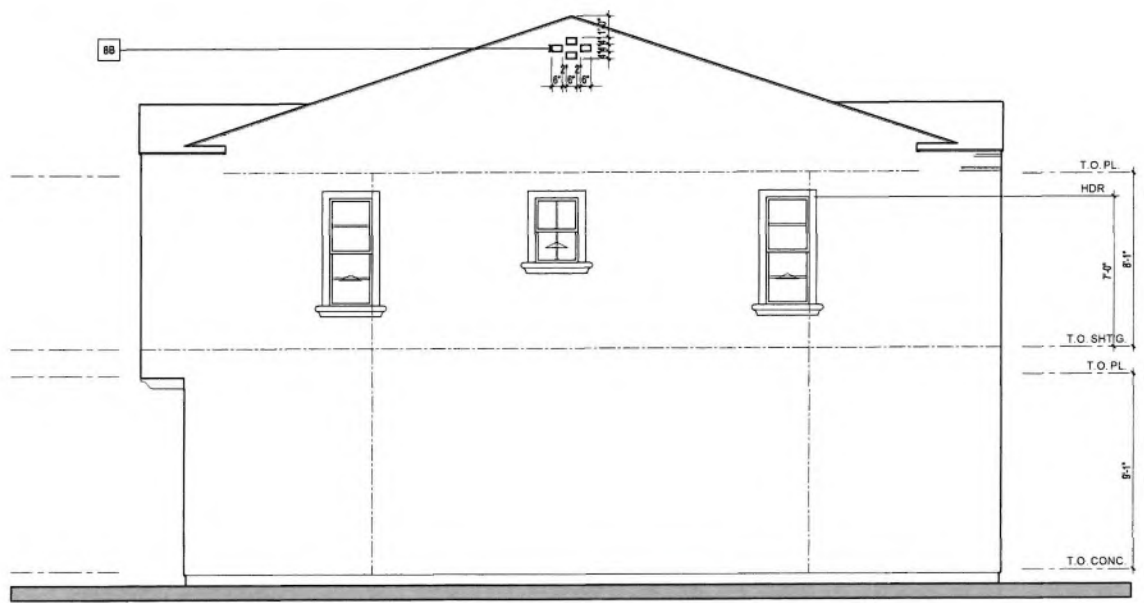
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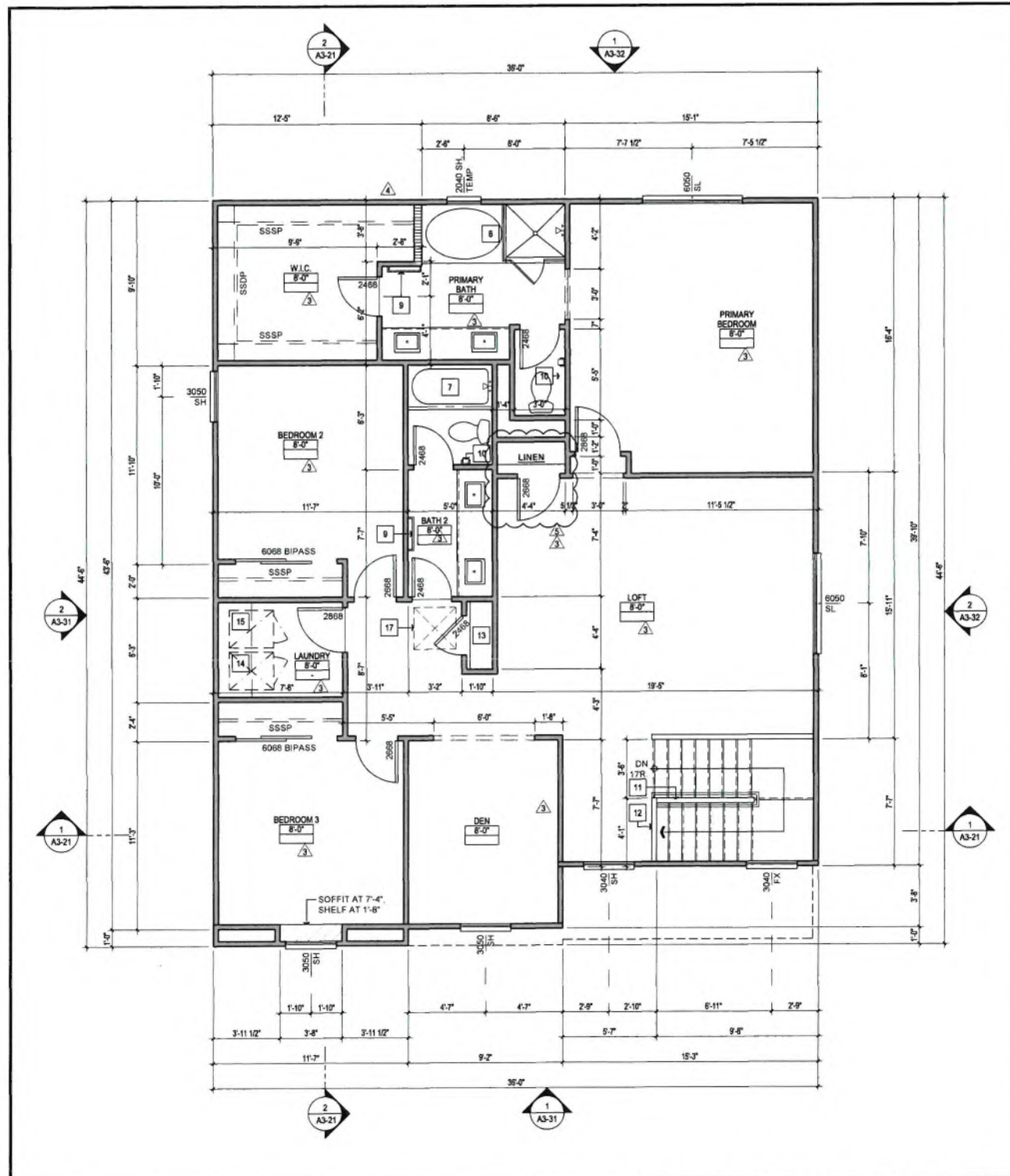
RIGHT ELEVATION SCALE: 1/4"=1'-0" **2**



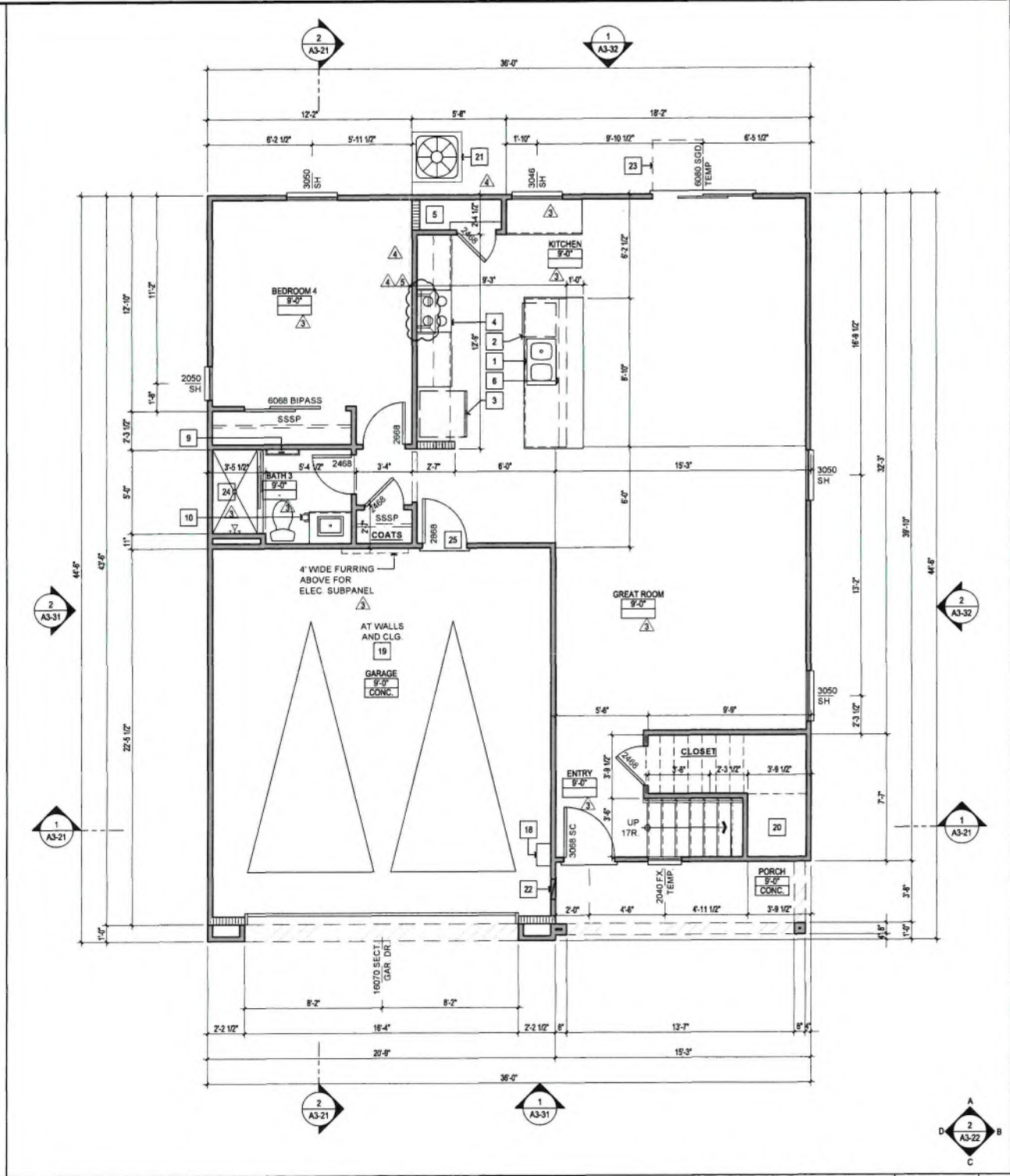
REAR ELEVATION SCALE: 1/4"=1'-0" **1**

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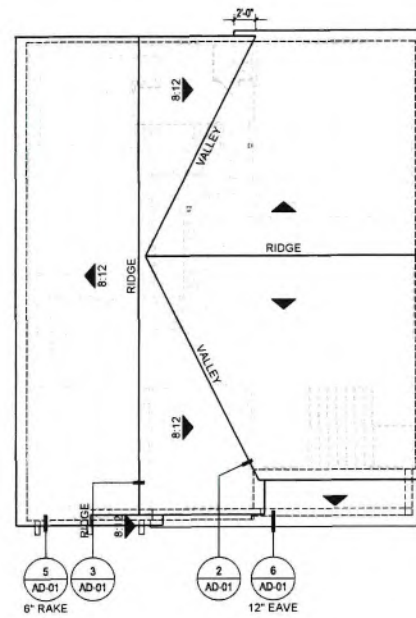
SECOND FLOOR PLAN SCALE 1/4"=1'-0" 2



FIRST FLOOR PLAN SCALE 1/4"=1'-0" 1

KEYNOTES	
1	DOUBLE SINK WITH GARBAGE DISPOSAL.
2	DISHWASHER (24" WIDE x 24" DEEP W/ AIR GAP) VERIFY DIMENSIONS WITH MANUFACTURER.
3	38" CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE-MAKER) W/ PRE-PLUMB REVERSE OSMOSIS
4	30" GAS SLIDE-IN RANGE W/ LIGHT AND FAN AND MICROWAVE ABOVE.
5	PANTRY: W/ (5) SHELVES, U.N.O.
6	PROVIDE 2x6 MIN. STUD WALL BELOW COUNTERTOP
7	32" x 60" 1-PIECE TUBSHOWER W/ 6'-0" (MIN.) 3-SIDED TILE SURROUND W/ TEMPERED GLASS ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC
8	42" x 102" 1-PIECE TUBSHOWER SUITE W/ 3-SIDED TILE SURROUND W/ TEMPERED GLASS ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC
9	TOILET PAPER HOLDER (WITH 2x FLAT BLOCKING AT 24" WIDE TOWEL BAR. 2x6 FLAT BLOCKING AT 40" ABOVE FINISHED FLOOR FOR 24" WIDE TOWEL BAR.
10	LOCATIONS: SEE OWNER SPECS
11	INTERIOR STAIR RAKE WALL AT 42" A.F.F.
12	INTERIOR GUARDWALL AT 42" A.F.F.
13	LINEN CLOSET: W/ (5) SHELVES, U.N.O.
14	WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS (RECESSED BOX IN GARAGE FIREWALL SHALL BE METAL) SMITTY PAN W/ DRAIN @ 2ND FLOOR
15	DRYER SPACE: PROVIDE SMOOTH METAL DRYER VENT DUCT TO OUTSIDE WITH BACKDRAFT DAMPER PER CMC SEC. 504.4, SEC 502.2.1, SEC 504.4.2, AND SEC 504.4.2.1. 4" DIA 14" MAX. LENGTH WITH 2 ELBOWS MAX. PROVIDE RECESSED DRYER VENT BOX - VERIFY LOCATION AND TYPE OF RECESS WITH BUILDER AND ENGINEER. (DRYER TO OCCUR AT RIGHT SIDE OF WASHER, TYP.)
16	FAU IN ATTIC PER CMC 904.10. PROVIDE LIGHT, POWER, GAS, AND ACCESS. UPRIGHT AND HORIZONTAL FURNACES SHALL BE PERMITTED TO BE INSTALLED IN ATTIC PROVIDED THE REQUIRED LISTINGS AND CLEARANCES ARE OBSERVED. PROVIDE CONDENSATE DRAIN LINE TO OUTSIDE & VENT TO OUTSIDE PER CMC CHAPTER 8. COMBUSTION AIR PER CMC CHAPTER 7. PROVIDE ADDITIONAL GALV. METAL PAN WITH SECONDARY CONDENSATE DRAIN LINE TO OUTSIDE PER CMC 310.2 VERIFY WITH MECHANICAL FOR LOCATION
17	30" x 30" ATTIC ACCESS MIN. WITH 30" MIN CLEAR HEADROOM PROVIDED FAU MAY PASS THROUGH PER THE CRC. PROVIDE SWITCH LIGHT, 110 V OUTLET AND 24" PLATFORM TO FAU. PROVIDE A VINYL FOAM WEATHER-SEAL TO COMPLY W/ IECC
18	TANKLESS WATER HEATER PER BUILDER'S SPECIFICATIONS. INSTALL PER MANUFACTURER'S SPECIFICATIONS
19	SEPARATION REQUIRED - PER CRC R302.8 THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE 702.3.5
20	1/2" GYP. BOARD @ WALLS & CEILING AT ENCLOSED SPACE UNDER STAIRS ACCESSED BY A DOOR PER THE CRC
21	AC CONDENSER ON CONCRETE PAD (VERIFY SIZE AND LOCATION) PROVIDE 220 WATERPROOF DISCONNECT AND, WITHIN 25', ADJACENT 110V WATERPROOF OUTLET.
22	PROVIDE HIGHLOW MAKE-UP AIR VENTS FOR GAS FIRED APPLIANCES AT GARAGE PER THE CMC.
23	48" (OR 36" AT 6'-0" S/D) x 36" MIN. CONC. STPOOP
24	32" x 60" 1-PIECE SHOWER PAN W/ 6'-0" (MIN.) 3-SIDED TILE SURROUND W/ TEMPERED GLASS SHOWER ENCLOSURE. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER THE CPC
25	1-3/8" SOLID WOOD DOOR, SELF CLOSING, SELF LATCHING

NOTES	
1.	REFER TO INTERIOR ELEVATIONS FOR KITCHEN, BATH AND SERVICE ROOM FINISHES.
2.	ALL GLAZING SHALL COMPLY WITH THE CALIFORNIA RESIDENTIAL CODE AND LOCAL ORDINANCES. REFER TO THE ENERGY CODE COMPLIANCE REPORT FOR U-VALUE OF ALL GLAZING.
3.	REFER TO GENERAL NOTE SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
4.	ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
5.	CEILING AND SOFFIT HEIGHTS INDICATED ON PLANS ARE NOMINAL DIMENSIONS CEILING HEIGHTS NOTED AS 7'-0" WILL HAVE A ROUGH FRAMED HEIGHT OF 7'-1". 7'-0" CLEAR FINISHED OPENING IS REQUIRED PER THE CALIFORNIA RESIDENTIAL CODE
6.	EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ. FT. THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN 20 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES. IT SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
7.	VENTING SYSTEMS SHALL TERMINATE AT LEAST (4) FEET FROM A PROPERTY LINE PER THE CMC.
BUILDING DEPARTMENT NOTES:	
1.	THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM STREET FRONTING THE PROPERTY. MUST BE ILLUMINATED.
2.	SEE ENERGY CODE COMPLIANCE REPORT FOR INSULATION VALUES
3.	EXCEPT WHERE OTHERWISE NOTED IN THE CRC ALL FOAM PLASTIC OR FOAM PLASTIC CORES IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH ASTM E 84.
4.	2x4 STUDS AT 16" O.C. U.N.O.
5.	2x6 STUDS AT 16" O.C. U.N.O.
6.	INTERIOR SOFFIT AT 8'-0" (7'-0" AT 2ND FLR) TYPICAL HEIGHT U.N.O.
7.	IN AREAS WHERE EXPANSIVE OR COLLAPSIBLE SOILS ARE KNOWN TO EXIST, ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DRAINAGE FROM THE ROOF'S TO GROUND SURFACE. AT LEAST 5 FEET FROM FOUNDATION WALLS TO AN APPROVED DRAINAGE SYSTEM PER THE CRC.
8.	FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1325, C 1178 OR C 1278, RESPECTIVELY, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. PER THE CRC.
9.	A 10 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE PREPARED SUBGRADE PER CRC R506.2.3. WHEN A VAPOR RETARDER IS REQUIRED, A CAPILLARY BREAK SHOULD BE INSTALLED PER CBCSC 4 505.2.1.



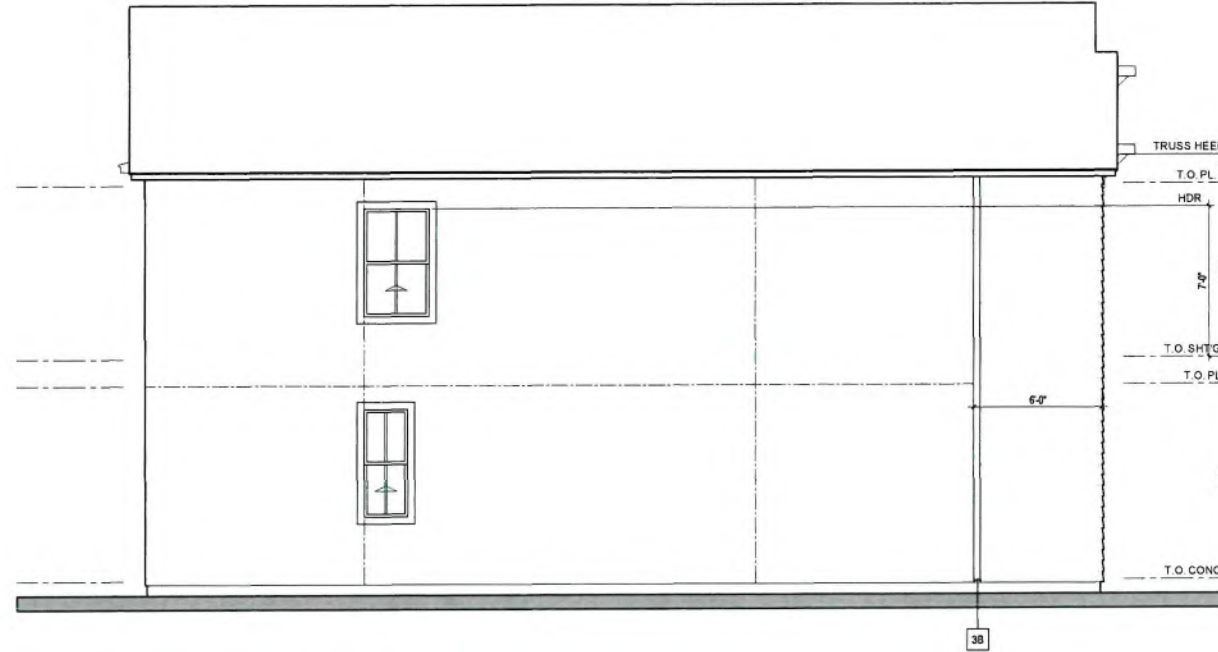
ROOF PLAN SCALE: 1/8"=1'-0" 3

ROOF PLAN NOTES

- ATTIC ACCESS: IN 'CALIFORNIA' DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION PER CRC R807.1. ATTIC ACCESS OPENING TO ATTIC AREAS REQUIRED IN AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 90 SF. THE ROUGH FRAMED OPENING SHALL BE NOT LESS THAN 22" BY 30". IF 'CALIFORNIA' DOUBLE FRAME AREA HAS MORE THAN 30' HEADROOM PROVIDE A 22" BY 30" ACCESS THROUGH MAIN ROOF SHEATHING VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIP OR RIDGES.
- FOR TYPICAL ROOF DETAILS, SEE DETAILS ON SHEET AD-01 & AD-01A.
- RADIANT BARRIER: WHEN REQUIRED BY ENERGY COMPLIANCE, RADIANT BARRIER ROOF SHEATHING SHALL OCCUR AT ALL SURFACES EXPOSED TO THE ATTIC INCLUDING ALL VERTICAL SURFACES, GABLE ENDS AND TRUSS HEELS.
- ROOF PITCH IS 4:12 TYP. U.N.O.

ATTIC VENTILATION NOTES

- UNVENTED ATTICS: PER CRC SEC R806.5 UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND STRUCTURAL ROOF SHEATHING APPLIED DIRECTLY TO THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS SHALL BE PERMITTED WHERE CONDITIONS 1-5 OF R806.5 ARE MET.



LEFT ELEVATION SCALE: 1/4"=1'-0" 2



FRONT ELEVATION SCALE: 1/4"=1'-0" 1

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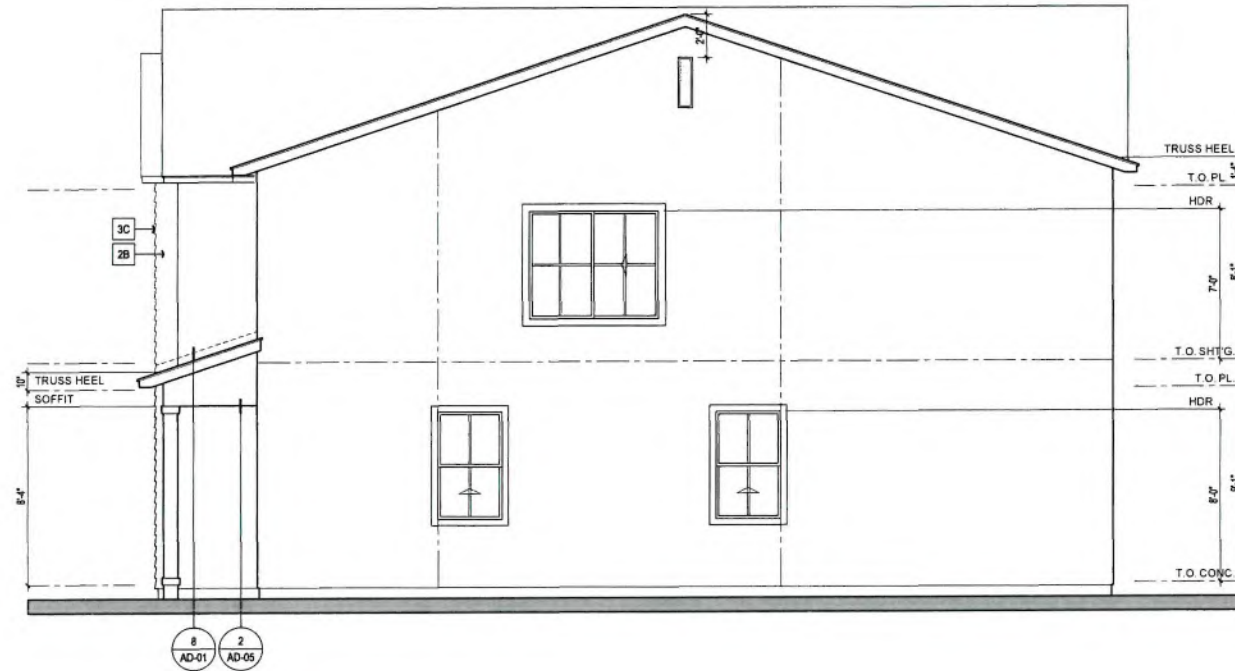
STONEBROOK
MEADOWS
YUCAIPA, CA

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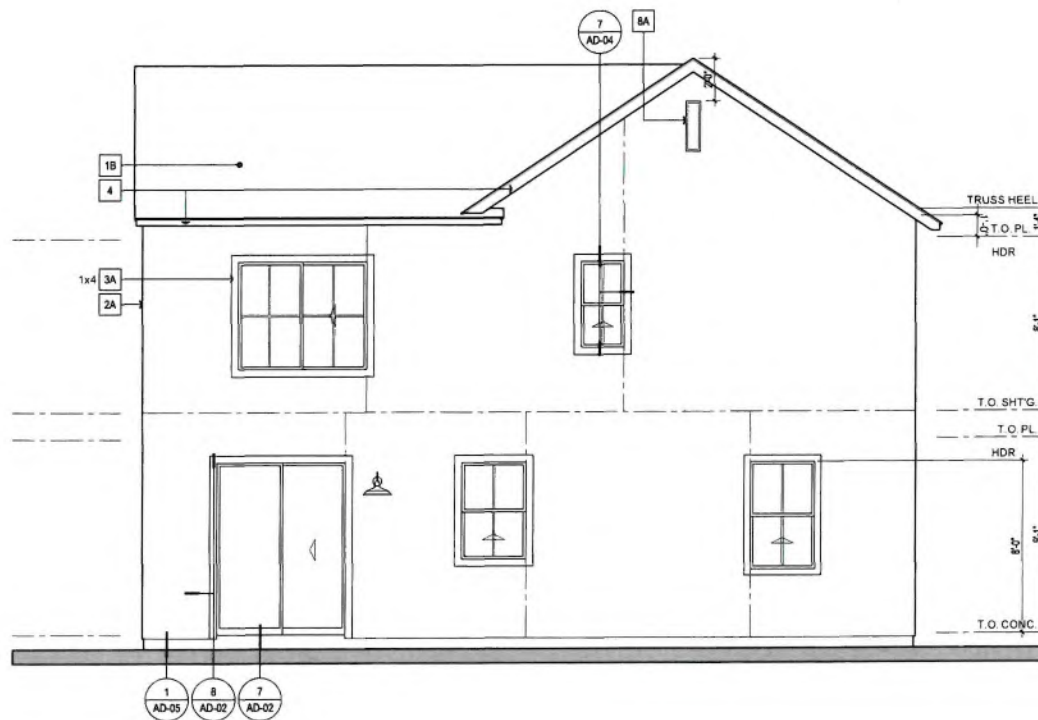
I, the client, hereby certify that I have read and understand the terms and conditions of the contract and the specifications of the work to be performed. I have also read and understand the terms and conditions of the contract and the specifications of the work to be performed. I have also read and understand the terms and conditions of the contract and the specifications of the work to be performed.



PLAN 3A FARMHOUSE -
EXTERIOR ELEVATION
AND ROOF PLAN



RIGHT ELEVATION SCALE: 1/4"=1'-0" 2



REAR ELEVATION SCALE: 1/4"=1'-0" 1

ELEVATION KEYNOTES

- 1A ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - S-TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS, VERIFY W/ COLOR SCHEME
- 1B ROOF MATERIAL: MANUFACTURED CONCRETE ROOF TILES - FLAT TILE BY 'EAGLE' ICC-ES ESR 1900 OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS, VERIFY W/ COLOR SCHEME
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- 2B EXTERIOR WALL: LAP SIDING FIBER CEMENT CEDAR GRAIN (SMOOTH) FINISH 5" EXPOSURE U.N.O. BLIND NAILED OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF INSTRUCTIONS
- 2C EXTERIOR WALL: VERTICAL FIBER CEMENT PANELS. CEDAR GRAIN (SMOOTH) FINISH W/ 4/4 x 2-1/2" FIBER CEMENT BATTENS AT 16" O.C. OVER (2) LAYERS GRADE 'D' MINIMUM BUILDING PAPER. INSTALL PER MANUF INSTRUCTIONS
- 3A TRIM: E.P.S. FOAM TRIM WITH EXTERIOR PLASTER OVER. REFER TO EXT ELEV AND DETAILS FOR SIZES AND SHAPES. OMIT JAMB TRIM WHEN SHUTTER OCCURS
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- 3C TRIM: CORNER (LAP SIDING) MITER TRANSITION - MTL. SIDING CORNER BY SIMPLICITY TOOL (199 SERIES) OR APPROVED EQUAL. INSTALL PER MANUF'S. INSTRUCTIONS
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- 4 FASCIA/BARGE: 2x4 WOOD FASCIA / 2x6 BARGE BOARD PREPRIMED
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- 7A SHUTTERS: WOOD COMPOSITE SHUTTERS. SEE EXT. ELEVATIONS FOR SIZE
- 7B SHUTTERS: MANUFACTURED FOAM SHUTTER. SEE EXT ELEVATION FOR SIZE
- 8A GABLE END VENT: 8"x28" GALV METAL LOUVERED VENT WITH 1/4" MAX GALV. METAL MESH SCREEN (BEHIND)
- 8B GABLE END ACCENT: DECORATIVE FOAM (W/ STUCCO O) GROUP - SEE EXT. ELEVATIONS AND DETAIL 6/AD-05 & 6/AD-05
- 8C GABLE END ACCENT: WOOD OUTLOOKER, KICKER, AND LEDGER; SEE DETAIL 7/AD-01 FOR TYPE AND SIZE
- 9 CORBEL, FOAM. SEE DETAIL 12/AD-05

ELEVATION NOTES

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STONEBROOK MEADOWS
 YUCAIPA, CA

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PLAN 3A FARMHOUSE - EXTERIOR ELEVATION



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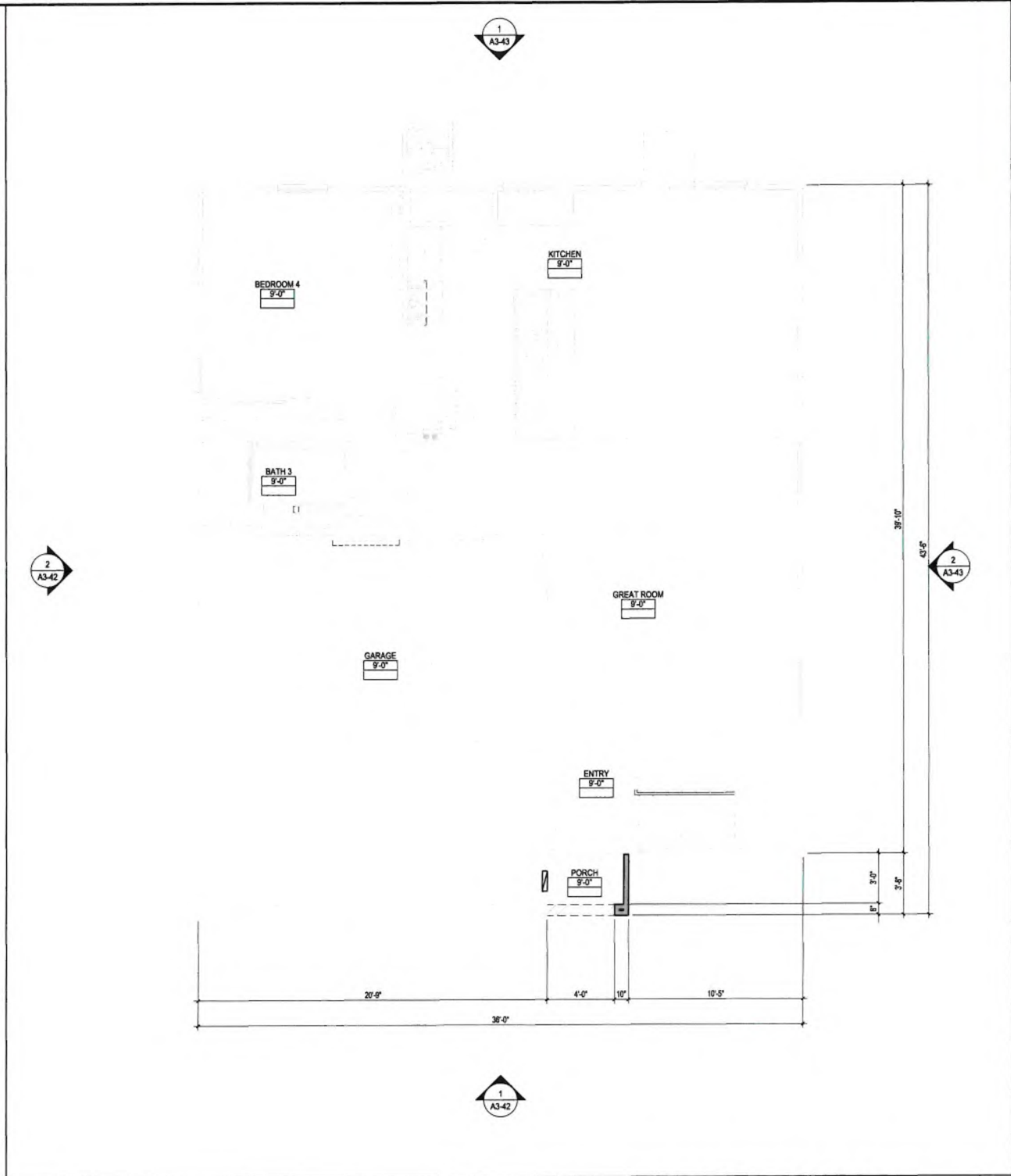
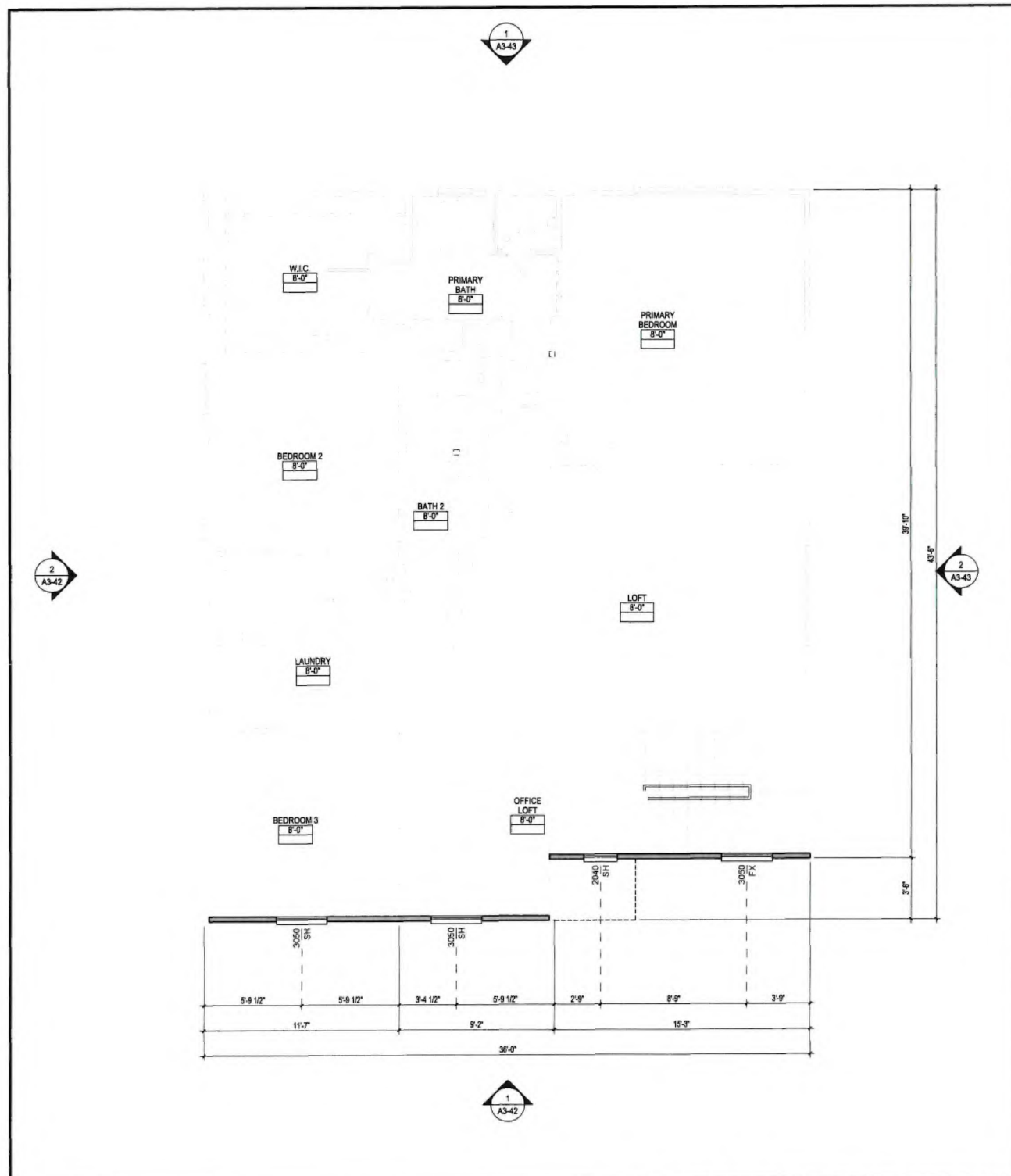
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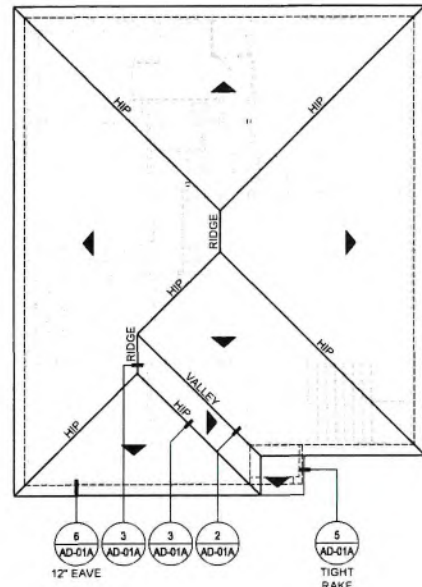
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PLAN 3B ITALIAN - PARTIAL FLOOR PLAN

A3-41





ROOF PLAN

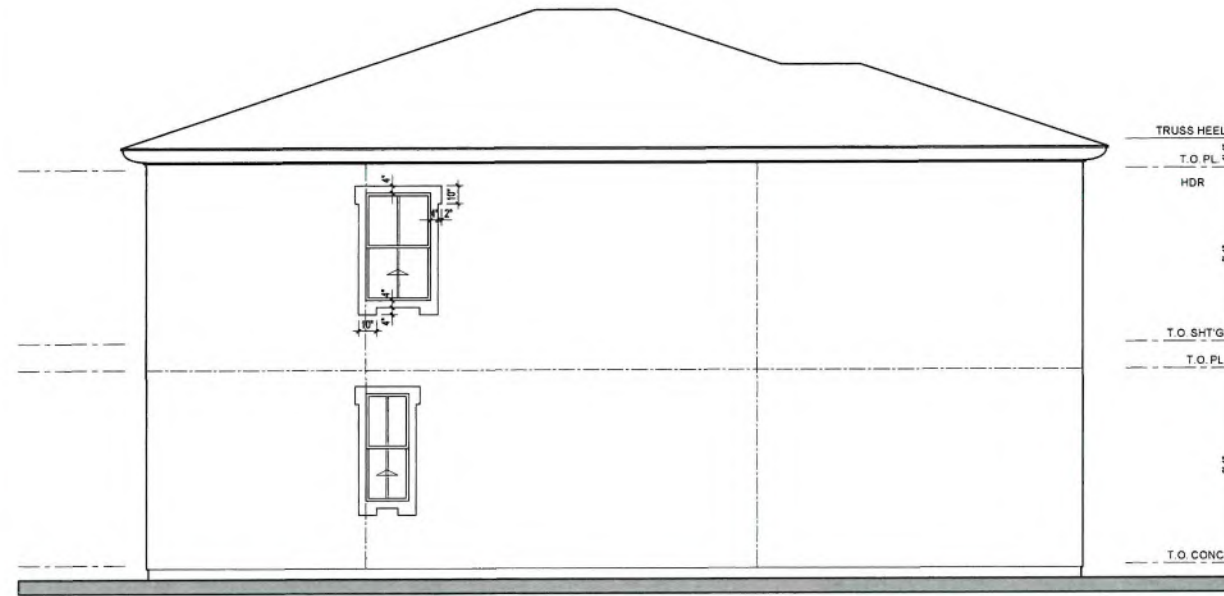
SCALE: 1/8"=1'-0" 3

ROOF PLAN NOTES

- ATTIC ACCESS: IN 'CALIFORNIA' DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION PER CRC R807.1. ATTIC ACCESS OPENING TO ATTIC AREAS REQUIRED IN AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SF. THE ROUGH FRAMED OPENING SHALL BE NOT LESS THAN 22" BY 30". IF 'CALIFORNIA' DOUBLE FRAME AREA HAS MORE THAN 30' HEADROOM PROVIDE A 22" BY 30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- NO ROOF PENETRATIONS (I.E. ATTIC VENTS, CHIMNEYS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEY, HIP, OR RIDGES.
- FOR TYPICAL ROOF DETAILS, SEE DETAILS ON SHEET AD-01 & AD-01A.
- RADIANT BARRIER WHEN REQUIRED BY ENERGY COMPLIANCE, RADIANT BARRIER ROOF SHEATHING SHALL OCCUR AT ALL SURFACES EXPOSED TO THE ATTIC INCLUDING ALL VERTICAL SURFACES, GABLE ENDS AND TRUSS HEELS.
- ROOF PITCH IS 4:12 TYP. U.N.O.

ATTIC VENTILATION NOTES

- UNVENTED ATTICS, PER CRC SEC. R806.5 UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND STRUCTURAL ROOF SHEATHING APPLIED DIRECTLY TO THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS SHALL BE PERMITTED WHERE CONDITIONS 1-5 OF R806.5 ARE MET.



LEFT ELEVATION

SCALE: 1/4"=1'-0" 2

ELEVATION KEYNOTES

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- TRIM: SHAPED E.P.S. FOAM (EXTENDED SILL) WITH EXTERIOR PLASTER OVER. SEE DETAIL 6/AD-05.
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FRONT ELEVATION

SCALE: 1/4"=1'-0" 1



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PLAN 3B ITALIAN -
EXTERIOR ELEVATION
AND ROOF PLAN



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**PLAN 3B ITALIAN -
 EXTERIOR
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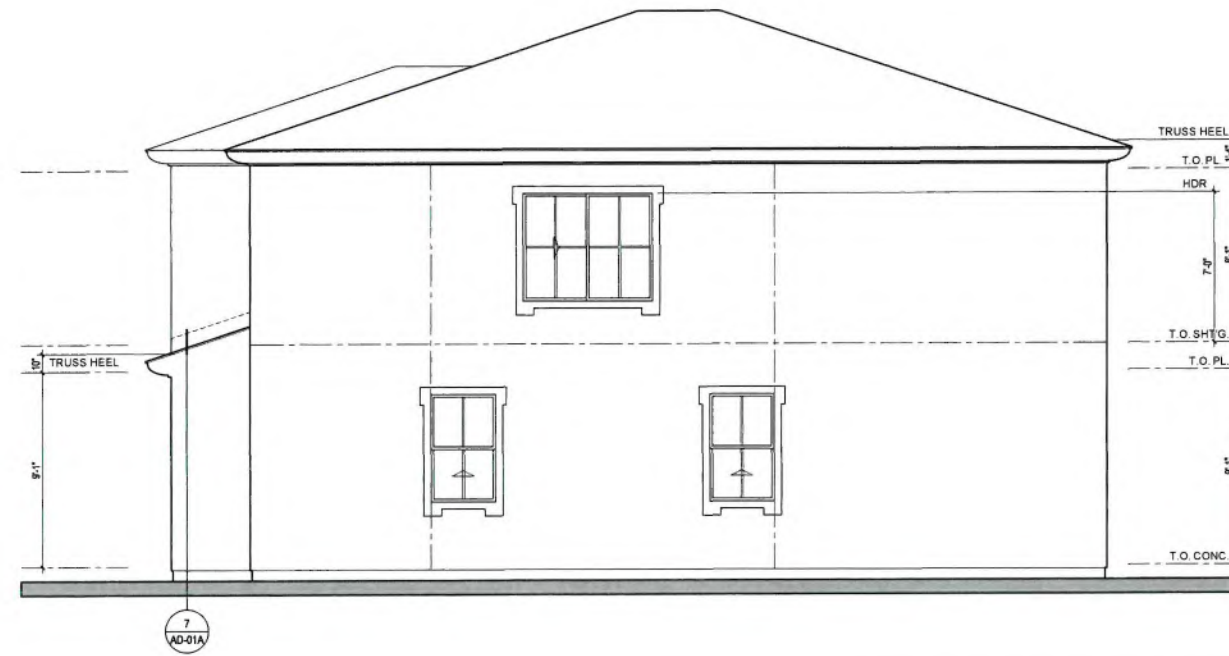
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6. DUCT TERMINATIONS TO OCCUR PER APPLIANCE MANUFACTURERS REQUIREMENTS VERIFY DISTANCE FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT.
7. HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER. LOCATE WHERE INDICATED ON ELEV. INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS AND NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCE BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1. HORIZONTAL JOINTS SHALL WRAP OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND REFER TO DETAIL 4/AD-05.



RIGHT ELEVATION SCALE: 1/4"=1'-0" 2



REAR ELEVATION SCALE: 1/4"=1'-0" 1